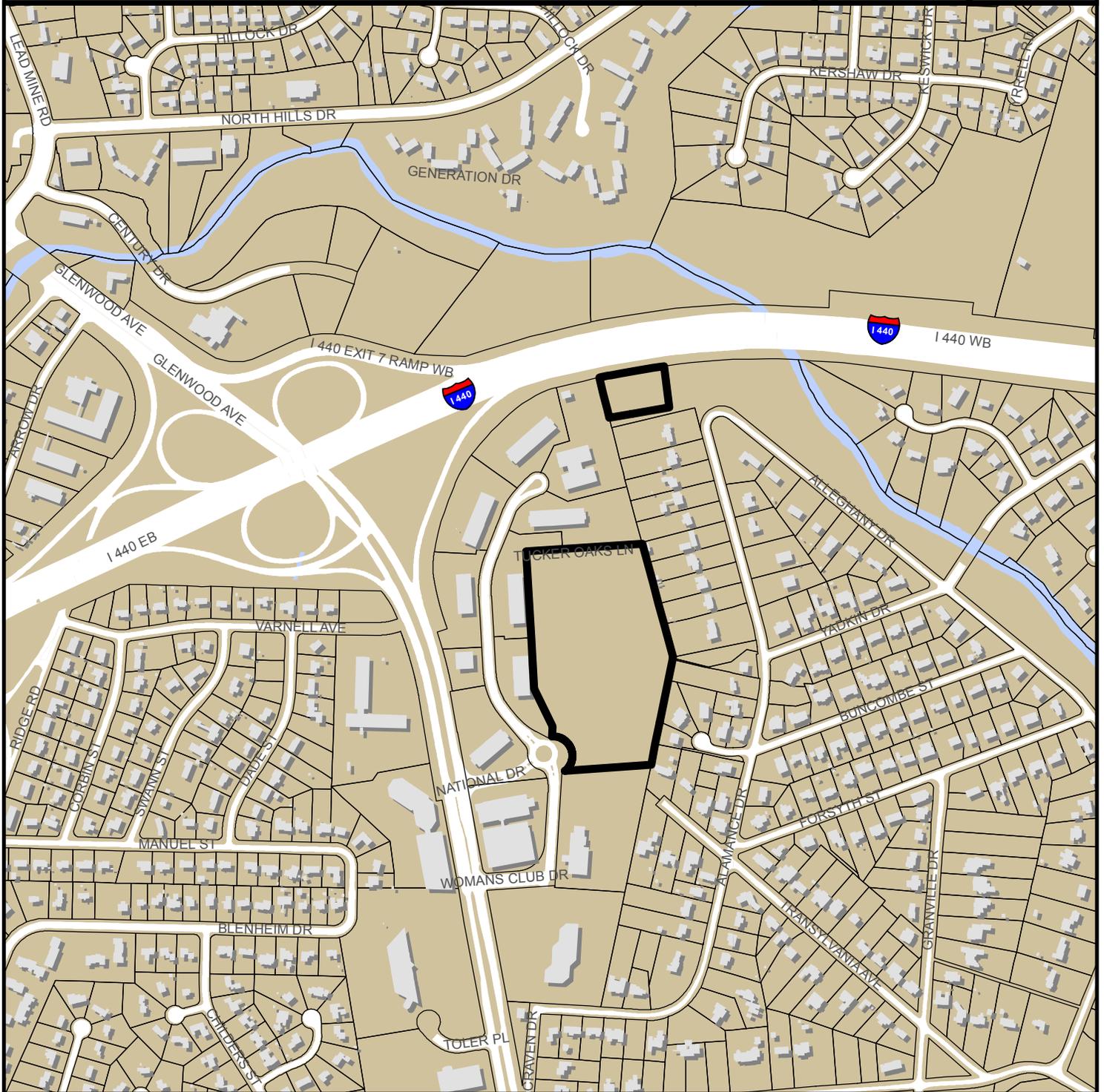


GLENWOOD PLACE APARTMENTS SR-25-2018



0 300 600 1,200 1,800 Feet

Zoning: **OX-5, CM, R-4 w/
SHOD-1**

CAC: **Glenwood**

Drainage Basin: **Crabtree Basin**

Acreage: **14.91**

Sq. Ft.: **218,000**

Planner: **Michael Walters**

Phone: **(919) 996-2636**

Applicant: **Tommy Craven**





Administrative Approval Action

AA # 3807 / SR-25-18, Glenwood Place Apartments
548635

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on Exchange Glenwood Place, in the complex at the southeast corner of the intersection of I-440 and Glenwood Avenue, at 3710 Exchange Glenwood Place.

REQUEST: **This is a change of use from office to retail within an existing building.** There are to be no additions to the existing building(s), no utility changes, and no increase in impervious with this proposal. However right of way is to be dedicated along an existing private street with small portions of land recombined into adjacent lots. The original development is on a 13.5 acre tract zoned OX-5 and CM.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: A Parking Study for Shared Parking (7.1.5 a) was reviewed and recommended for approval.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Priest Craven and Associates, Inc.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

STORMWATER

1. An amended stormwater control plan with revised nitrogen loading calculations for this site shall be submitted with any Preliminary Site Plan and/or Concurrent Review (whichever occurs first) for the adjacent Lot 6 and/or Lot 8 and shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

1. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Recombinations, Right of Way and/or Easement Dedications, and Tree Conservation Areas.

ENGINEERING

2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and be shown on a plat approved for recordation.
3. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

URBAN FORESTRY

4. Obtain required tree impact permits from the City of Raleigh.
5. A tree impact permit must be obtained for the approved streetscape trees in the right of way.



Administrative Approval Action

AA # 3807 / SR-25-18, Glenwood Place Apartments
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Prior to issuance of building occupancy permit:

1. **Next Step:** Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
2. **Next Step:** All street lights and street signs required as part of the development approval are installed.
3. As-built drawings and associated forms for all Stormwater devices if applicable, are accepted by the Engineering Services Department
4. **Next Step:** Final inspection of all required right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 6-8-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) Angie B. [Signature] Date: 6/8/2018

Staff Coordinator: Michael Walters

GLENWOOD PLACE APARTMENTS

T#- 548635
SR-25-18

VERTICAL DATUM - NAVD83
HORIZONTAL DATUM - NAD83

THIS ADMINISTRATIVE SITE REVIEW IS TO ESTABLISH RETAIL USES IN AN OX ZONING DISTRICT, ESTABLISH A PUBLIC STREET RIGHT OF WAY, AND ILLUSTRATE PROPERTY LINES TO BE RECOMBINED IN THE FUTURE FOR AN EXISTING DEVELOPMENT, GLENWOOD PLACE APARTMENTS, SP-24-13. THERE ARE NO PROPOSED ADDITIONS, NO EXTERIOR BUILDING CHANGES, NO UTILITY CHANGES, NO ADDITIONAL IMPERVIOUS SURFACES, AND NO ADDITIONAL TREE REMOVAL PROPOSED WITH THIS SITE REVIEW. THESE PLAN SHEETS ARE TAKEN FROM THE ORIGINAL APPROVAL OF GLENWOOD PLACE APARTMENTS AND THE SUBSEQUENT CONCURRENT REVIEW, TRANSACTION NO 465484 WHICH WAS APPROVED IN JUNE OF 2016. ADDITIONAL INFORMATION PERTINENT TO THE CURRENT REQUEST FOR ADMINISTRATIVE SITE REVIEW HAS BEEN ADDED BY PRIEST, CRAVEN & ASSOCIATES, INC."

PROJECT STATISTICS SR-25-18

PROPERTY OWNER: GLENWOOD PLACE VENTURES, LLC
3100 GLENWOOD PLACE AVE, SUITE 510
RALEIGH, NC 27612-5538

DEVELOPER: GRUBB VENTURES
3700 GLENWOOD AVENUE, SUITE 510
RALEIGH, NC 27612-5538

WAKE COUNTY PIN(S): TRACT 1 - 0745-48-3712
TRACT 2 - 0745-49-5448
TRACT 3 - 0745-50-1118
TRACT 4 - 0745-51-2236

ZONING: TRACT 1 - OX-5 (10.07 AC) AND CM (5.68 AC)
TRACT 2 - R-4
TRACT 3 - R-4
TRACT 4 - R-4

AREA OF EXISTING TRACT 1: 13.60 AC
AREA OF REVISED TRACT 1: 11.24 AC
AREA OF PROPOSED EXCHANGE GLENWOOD PLACE R/W: 1.84 AC
AREA TO BE RECOMBINED INTO LOT 6: 0.23 AC
AREA TO BE RECOMBINED INTO LOT 8: 0.24 AC
AREA OF TRACT 2 (STORMWATER): 1.36 AC

PROPOSED USE: MULTIFAMILY RESIDENTIAL AND RETAIL
SEE S.D.00 FOR ADDITIONAL SITE STATISTICS

IMPERVIOUS CALCULATIONS

EXISTING IMPERVIOUS	6.99 AC
NEW IMPERVIOUS	0 AC

SITE IMPROVEMENT QUANTITIES

EXISTING	PROPOSED
LINEAR FOOTAGE OF PUBLIC STREET	0 LF
LINEAR FOOTAGE OF PRIVATE STREET	3015 LF
LINEAR FOOTAGE OF PUBLIC SIDEWALK	505 LF
SQUARE FOOTAGE OF PRIVATE SIDEWALK	35000 SF
LINEAR FOOTAGE OF 8" DIP PUBLIC WATER	345 LF
LINEAR FOOTAGE OF 12" DIP PUBLIC WATER	1545 LF
LINEAR FOOTAGE OF 4" DIP PRIVATE WATER	1205 LF
LINEAR FOOTAGE OF 8" DIP PRIVATE WATER	1600 LF
LINEAR FOOTAGE OF 8" PUBLIC SEWER	655 LF
LINEAR FOOTAGE OF 8" PRIVATE SEWER	1150 LF

PUBLIC IMPROVEMENT QUANTITIES

PHASE	PHASE I
NUMBER OF LOTS	1
LOT NUMBERS BY PHASE	
OPEN SPACE	YES (PRVT)
NUMBER OF OPEN SPACE LOTS	1
LINEAR FOOTAGE OF PUBLIC WATERLINE	0 LF
LINEAR FOOTAGE OF PUBLIC SANITARY SEWER	0 LF
LINEAR FOOTAGE OF PUBLIC SIDEWALK	1245 LF
LINEAR FOOTAGE OF PUBLIC STREETS	881 LF
LINEAR FOOTAGE OF STREET SIGNS	0 LF

GENERAL NOTES:

- BOUNDARY INFORMATION IS TAKEN FROM A FIELD SURVEY PREPARED BY THIS OFFICE.
- SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A FIELD SURVEY BY THIS OFFICE.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OF RALEIGH, N.C. DOT, AND NCDOT STANDARDS AND SPECIFICATIONS.
- THERE ARE NO FEMA DESIGNATED FLOOD ZONES ON THIS PROPERTY.
- NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH.
- STRUCTURAL DESIGN OF ALL RETAINING WALLS TO BE PERFORMED BY OTHERS. RETAINING WALLS SHOWN ON THESE PLANS ARE FOR APPROXIMATE LOCATION PURPOSES ONLY.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
- HANDICAP ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH ENGINEERING STANDARD DRAWING STD T-20.01 OR ANSI 406.7(a). SEE SHEET C30.
- ALL STREET DIMENSIONS SHOWN ON PLANS ARE FROM THE BACK OF CURB (BOC) UNLESS OTHERWISE NOTED.
- NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDOT.

SOLID WASTE INSPECTION NOTE:

- THE DEVELOPER ACKNOWLEDGES THE PLAN MUST BE IN COMPLIANCE WITH AND DESIGNED IN ACCORDANCE TO THE CITY OF RALEIGH'S SOLID WASTE DESIGN MANUAL.
- THIS SITE WILL RECEIVE CENTRALLY LOCATED PRIVATE WASTE COLLECTION.

DEVELOPER AND APPLICANT:

GRUBB VENTURES
3700 GLENWOOD AVENUE, SUITE 510 RALEIGH, NC 27612-5538
PHONE 919 / 786-9905

CONSULTANT:

PRIEST, CRAVEN & ASSOCIATES, INC.
PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS
3803 - B COMPUTER DRIVE, SUITE 104, RALEIGH, N.C. 27609
PHONE 919 / 781-0300 FAX 919 / 782-1288
Email PCA@PriestCraven.com / Firm #: C-0488

PRIVATE STREET INSPECTION STATEMENT:

THE CONSTRUCTION INSPECTION OF PRIVATE STREETS WITHIN CLUSTER UNITS, CONDOMINIUMS, GROUP HOUSING, TOWNHOUSE DEVELOPMENTS AND MOBILE HOME PARKS SUBMITTED FOR CITY APPROVAL IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER. COPIES OF CERTIFIED INSPECTION REPORTS INVOLVING SUBGRADE/AGGREGATE BASE PROOF OF ROLLS, AGGREGATE BASE AND ASPHALT DENSITIES AND THICKNESS, AND OTHER PERTINENT INFORMATION MUST BE SUBMITTED TO THE CITY ENGINEERING INSPECTIONS MANAGER AT P.O. BOX 540, RALEIGH, NC 27602 OR FAXED TO (919) 831-6394. CONTACT PAUL KALLAM AT (919)816-2154 TO OBTAIN DETAILS OF THE ABOVE REQUIREMENTS.

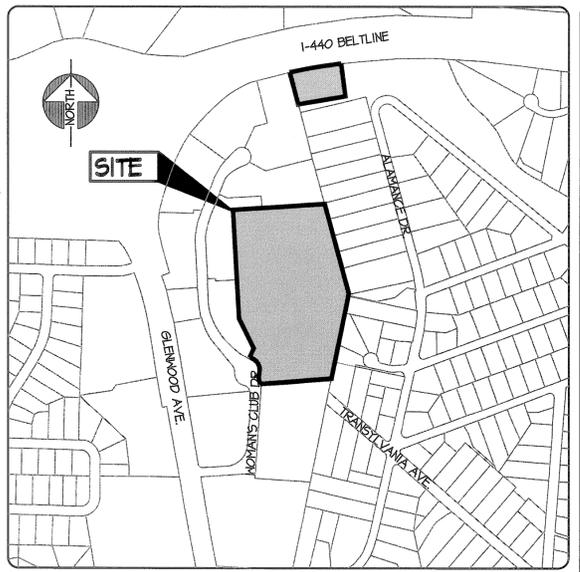
ATTENTION CONTRACTORS

THE CONSTRUCTION CONTRACTOR responsible for the extension of water and sewer, as approved in these plans, is responsible for contacting the PUBLIC WORKS DEPARTMENT at 919-556-2454, and the PUBLIC UTILITIES DEPARTMENT at 919-556-4550 at least TWENTY FOUR HOURS prior to beginning any of their construction.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF beginning construction will result in the issuance of MONETARY FINES, and require reinstallation of any water or sewer facilities not installed as a result of this notification failure.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSIDE FLOW PERMITTED PLANS ON THE JOBSITE, or any other VIOLATION OF CITY OF RALEIGH STANDARDS will result in a FINE AND POSSIBLE EXCLUSION from future work in the CITY OF RALEIGH.

RALEIGH, NORTH CAROLINA



VICINITY MAP SHEET INDEX:

- S.D.00 OVERALL SITE PLAN
- S.D.20 SITE DETAILS
- LP1.00 OVERALL LANDSCAPE PLAN
- LP2.00 LANDSCAPE PLAN DETAILS, AND CODE COMPLIANT PLANT LIST
- AM1.00 AMENITY AREA PLAN
- LI1.00 LIGHTING PLAN
- CO1 CIVIL GENERAL NOTES & LEGEND
- CO2 EXISTING CONDITIONS PLAN
- CO5 OVERALL SITE UTILITY PLAN
- CO6 SITE UTILITY PLAN
- CO7 SITE UTILITY PLAN
- CO4 SITE GRADING PLAN
- CO10 SITE GRADING PLAN
- CO11 SITE GRADING PLAN
- CO12 TREE CONSERVATION PLAN
- CO24 STORMWATER MANAGEMENT PLAN METPOND #1
- CO25 STORMWATER MANAGEMENT PLAN METPOND #2
- CO26 METPOND PLANTING PLAN
- CO34 FIRE APPARATUS & PROTECTION PLAN
- A2.1 NORTH AND SOUTH BUILDING ELEVATIONS
- A2.2 WEST BUILDING ELEVATIONS
- A2.3 EAST BUILDING ELEVATIONS

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s) OX-5 10.07 AC / CM 3.68 AC / R4 1.36 AC	Proposed building use(s) Multifamily/retail
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 218,000
Overlay District N/A	Proposed Building(s) sq. ft. gross 0
Total Site Acres Inside City Limits: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 13.75 / 1.36	Total sq. ft. gross (existing & proposed) 218,000
Off street parking: Required Provided	Proposed height of building(s) 58'-6" Max
COA (Certificate of Appropriateness) case # N/A	# of stories 4 and 5
BOA (Board of Adjustment) case # A- N/A	Ceiling height of 1 st Floor 11 FT Retail 9 FT Multifamily
CUD (Conditional Use District) case # Z- N/A	

FOR RESIDENTIAL DEVELOPMENTS

1. Total # Of Apartment, Condominium or Residential Units 298 Existing	5. Bedroom Units: 1br 147 2br 123 3br 26 4br or more 0
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7 No
3. Total Number of Hotel Units	7. Open Space (only) or Amenity Both
4. Overall Total # Of Dwelling Units (1-6 Above) 298 Existing	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate Thomas Craven, PriestCraven & Associates to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Printed Name Anne E. Stoddard Date 3/19/18

Signed _____ Date _____

Printed Name _____

DRAFT GLENWOOD PLACE APARTMENTS - ADMINISTRATIVE SITE REVIEW SHARED PARKING STUDY

Executive Summary
March 15, 2018

EXECUTIVE SUMMARY

Glenwood Place Apartments is a mixed-use development located in the southeast quadrant of the I-440/US 70 (Glenwood Avenue) interchange in Raleigh, NC. The project is submitting a site plan under the City of Raleigh Uniform Development Ordinance (UDO) and this study provides supporting information for that process. The UDO also identifies the minimum number of parking spaces required for each land use based on densities. According to the UDO, Glenwood Place Apartments is required to provide 552 parking spaces. The UDO also allows for a reduction in the minimum number of parking spaces required when uses in the same development will operate with different peak demands for parking. The UDO allows for the utilization of the Urban Land Institute (ULI) Shared Parking Model to determine an appropriate reduction of parking spaces. Using the ULI Shared Parking Model, a reduction of 228 was calculated resulting in a requirement of 430 parking spaces for Glenwood Place Apartments. Table ES-1 summarizes the parking space requirements for this development.

**Table ES-1
Glenwood Place Apartments
Minimum Parking Requirements**

Land Use	Density	Parking Required	Total Parking Spaces
Retail Sales	5,000/sf	3,33 sp / 1,000 sf	17 spaces
Restaurant/Bar	5,000/sf	6.67 sp / 1,000 sf	34 spaces
D-1 Bedroom Apartments	147 Units	1 sp / Unit for residents	147 spaces
D-2 Bedroom Apartments	123 Units	2 sp / Unit for residents	246 spaces
D-3 Bedroom Apartments	26 Units	3 sp / Unit for residents	78 spaces
Apartment Guests	296 Units	1 sp / 10 Units for guests	30 spaces
Total UDO Required Spaces			552 spaces
ULI Shared Parking Model Reduction (228)			(228 spaces)
Total ULI Shared Parking Model Required Spaces			430 spaces

Administrative Site Review Application (for UDO Districts only)

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | ext 919-996-1831
Litchford Satellite Office | 1320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE

Detached General Residential Building Office
 Attached Mixed Use Retail Industrial Building
 Apartment Open Lot Retail Cottage Court
 Townhouse Townhouse

FOR OFFICE USE ONLY

Resubmit Number
Approved Project Description
Approval Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: Glenwood Place Apartments
Zoning District: OX-5/CM/R4 Overlay District (if applicable): N/A Inside City Limits? Yes No

Proposed Use: Multifamily Residential and Retail
Property Address(es): 3710 Exchange Glenwood Place, 3638 Alameda Drive Major Street Location: Glenwood Ave.
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 0795983272 P.I.N. 0795995448 P.I.N. P.I.N.

What is your project type? Apartment Elderly Facilities Hospitals Hotels/Motels Office
 Mixed Residential Non-Residential Condo School Shopping Center Parks Industrial Building
 Duplex Telecommunication Tower Religious Institutions Residential Condo Retail Cottage Court
 Other: if other, please describe:

WORK SCOPE

Per City Code Section 10.2.8.0.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
Establish retail uses, public right-of-way and recombined property lines

DESIGN ADJUSTMENT OR ADMIN ALTERNATE

Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE
N/A

CLIENT/DEVELOPER/OWNER

Company: Grubb Ventures Name (I): Anne Stoddard
Address: 3700 Glenwood Avenue, Suite 330, Raleigh, NC, 27612
Phone: 919-786-9905 Email: astoddard@grubbvventures.com Fax:
Company: Priest, Craven & Associates Inc. Name (I): Tommy Craven
Address: 3803 B Computer Drive, Suite 104, Raleigh, NC, 27609
Phone: 919-781-0300 Email: tcraven@priestcraven.com Fax: 919-782-1288

CONSULTANT (Contact Person for Plans)

Per City Code Section 10.2.8.0.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
Establish retail uses, public right-of-way and recombined property lines

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS

REVISIONS:

CITY COMMENTS APRIL 19, 2016
CITY COMMENTS MAY 25, 2016
CITY COMMENTS JUNE 14, 2016
UDO ASR MARCH 12, 2018
UDO ASR CITY COMMENTS MAY 3, 2018

ORIGINAL DATE: MARCH 14, 2016

RELEASED FOR CONSTRUCTION

THIS ADMINISTRATIVE SITE REVIEW IS TO ESTABLISH RETAIL USES IN AN OX ZONING DISTRICT, ESTABLISH A PUBLIC STREET RIGHT OF WAY, AND ILLUSTRATE PROPERTY LINES TO BE RECOMBINED IN THE FUTURE FOR AN EXISTING DEVELOPMENT, GLENWOOD PLACE APARTMENTS, SP-24-13. THERE ARE NO PROPOSED ADDITIONS, NO EXTERIOR BUILDING CHANGES, NO UTILITY CHANGES, NO ADDITIONAL IMPERVIOUS SURFACES, AND NO ADDITIONAL TREE REMOVAL PROPOSED WITH THIS SITE REVIEW. THESE PLAN SHEETS ARE TAKEN FROM THE ORIGINAL APPROVAL OF GLENWOOD PLACE APARTMENTS AND THE SUBSEQUENT CONCURRENT REVIEW, TRANSACTION NO 465484 WHICH WAS APPROVED IN JUNE OF 2016. ADDITIONAL INFORMATION PERTINENT TO THE CURRENT REQUEST FOR ADMINISTRATIVE SITE REVIEW HAS BEEN ADDED BY PRIEST, CRAVEN & ASSOCIATES, INC."

SURVEY SYMBOL LEGEND

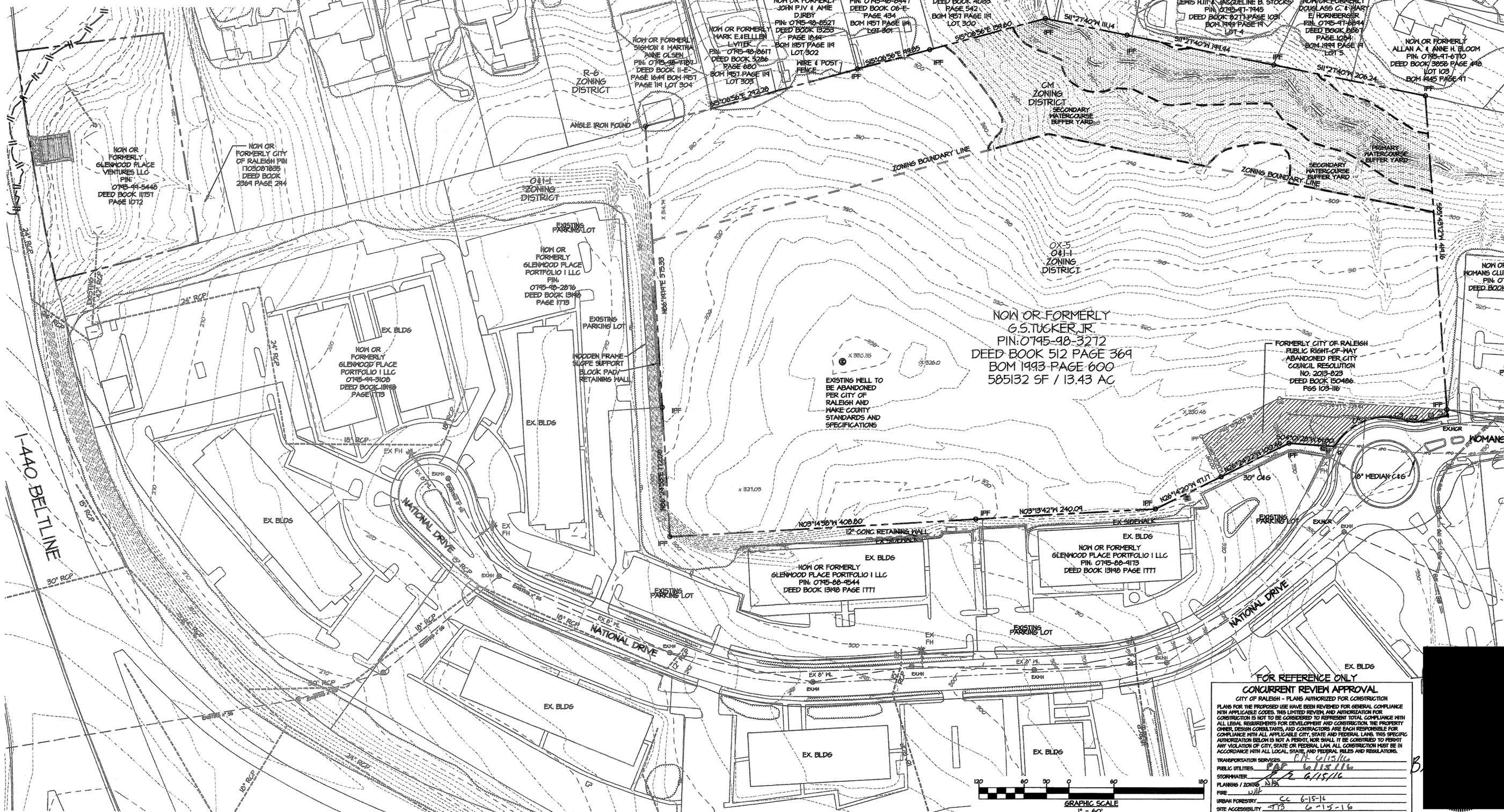
- ☐ CABLE PEDESTAL
- ☐ CABLE TV
- ☐ CATCH BASIN
- ☐ CLEAN OUT
- ☐ CURB INLET
- ☐ ELECTRIC BOX
- ☐ FIRE HYDRANT
- ☐ FENCE LINE
- ☐ FIBER OPTIC
- ☐ FLARED END SECTION
- 6 GAS
- ☐ GAS VALVE
- ☐ GRATED INLET
- ☐ LIGHT POLE
- ☐ OVERHEAD ELECTRIC
- ☐ SEWER MANHOLE
- ☐ STORM MANHOLE
- ☐ SWAMP
- ☐ TELEPHONE PEDESTAL
- ☐ TELEPHONE MANHOLE
- ☐ TEMPORARY BENCHMARK
- ☐ TREE
- UE UNDERGROUND ELECTRIC
- UP UNDERGROUND POWER
- UT UNDERGROUND TELEPHONE
- W UTILITY POLE
- WL WATER LINE
- WM WATER LINE MANHOLE
- WN WATER NETER
- WV WATER VALVE
- Y YARD INLET

CURVE TABLE

CURVE	DELTA	RADIUS	ARC	TANGENT	CHORD	CHORD BEARING
C1	08°54'28"	300.49	34.48	11.26	34.46	S11°56'15"E
C2	59°42'20"	36.19	21.25	10.94	20.95	N01°57'42"E
C3	11°25'37"	88.65	23.93	11.23	22.35	S10°24'01"E
C4	68°50'56"	16.00	88.25	44.84	85.96	S28°22'07"E

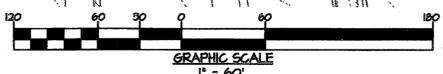
LINE TABLE

LINE	BEARING	DISTANCE
L1	S89°48'12"W	0.25



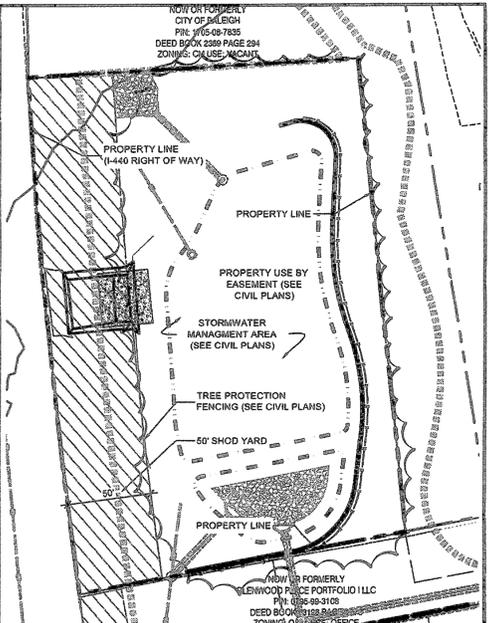
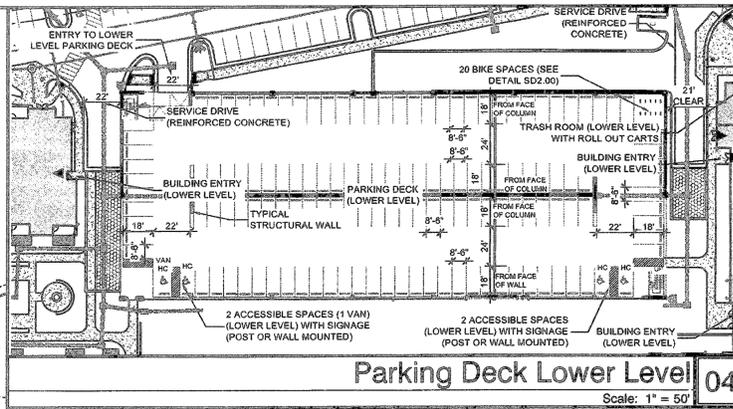
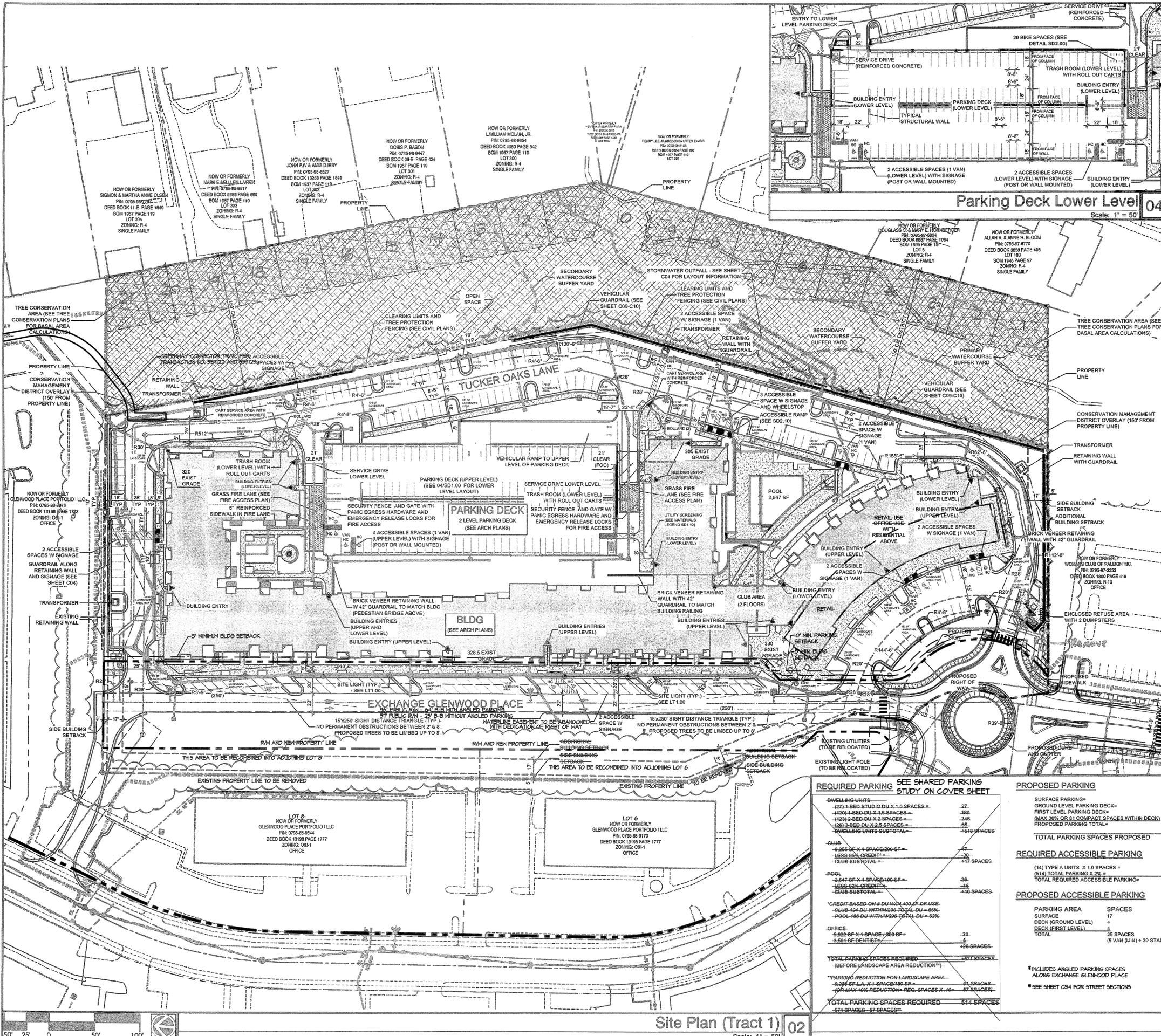
FOR REFERENCE ONLY
CONCURRENT REVIEW APPROVAL
 CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
 PLANS FOR THE PROPOSED USE HAVE BEEN REVIEWED FOR GENERAL COMPLIANCE WITH APPLICABLE CODES. THIS LIMITED REVIEW AND APPROVAL FOR CONSTRUCTION IS NOT TO BE CONSIDERED TO REPRESENT TOTAL COMPLIANCE WITH ALL LEGAL REQUIREMENTS FOR DEVELOPMENT AND CONSTRUCTION. THE PROPERTY OWNER, DESIGN CONSULTANTS, AND CONTRACTORS ARE EACH RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL LAWS. THIS SPECIFIC AUTHORIZATION BELOW IS NOT A PERMIT, NOR SHALL IT BE CONSIDERED TO PERMIT ANY VIOLATION OF CITY, STATE OR FEDERAL LAW. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL RULES AND REGULATIONS.

TRANSPORTATION SERVICES: P/N 6/15/16
 PUBLIC UTILITIES: PAF 6/15/16
 STORMWATER: P/N 6/15/16
 PLANNING / ZONING: N/S
 FIRE: W/P
 URBAN FORESTRY: Cc 6-15-16
 SITE ACCESSIBILITY: -T/B 6-15-16



	A MULTIFAMILY RESIDENTIAL APARTMENT AND OFFICE DEVELOPMENT GLENWOOD PLACE APARTMENTS SPONSORED BY: GRUBB VENTURES, LLC RALEIGH, NORTH CAROLINA	SCALE: 1" = 60' DATE: MARCH 14, 2016 PROJECT: 2012-015.001	EXISTING CONDITIONS SHEET	REVISION: _____ DATE: _____ CITY COMMENTS: APRIL 19, 2016 CITY COMMENTS: MAY 28, 2016 CITY COMMENTS: JUNE 14, 2016 LDC ASR: MARCH 12, 2018 LDC ASR CITY COMMENTS: MAY 3, 2018	PRIEST, CRAVEN & ASSOCIATES, INC. LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS 3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609. Phone 919 / 781-0300. Fax 919 / 782-1288. Email PCA@PriestCraven.com / Firm #: C-0488	CO2
	P:\LAND PROJECTS\190708\02-05-001 GRUBB - GLENWOOD PLACE - RALEIGH\CONSTRUCTION\1811\SUBMITTALS\022-DIST-CO2-DIST-16 - 10 14 2016 - 9:00 AM - 0205					

THIS ADMINISTRATIVE SITE REVIEW IS TO ESTABLISH RETAIL USES IN AN OX ZONING DISTRICT, ESTABLISH A PUBLIC STREET RIGHT OF WAY, AND ILLUSTRATE PROPERTY LINES TO BE RECOMBINED IN THE FUTURE FOR AN EXISTING DEVELOPMENT, GLENWOOD PLACE APARTMENTS, 5P-24-13. THERE ARE NO PROPOSED ADDITIONS, NO EXTERIOR BUILDING CHANGES, NO UTILITY CHANGES, NO ADDITIONAL IMPERVIOUS SURFACES, AND NO ADDITIONAL TREE REMOVAL PROPOSED WITH THIS SITE REVIEW. THESE PLAN SHEETS ARE TAKEN FROM THE ORIGINAL APPROVAL OF GLENWOOD PLACE APARTMENTS AND THE SUBSEQUENT CONCURRENT REVIEW, TRANSACTION NO 465484 WHICH WAS APPROVED IN JUNE OF 2016. ADDITIONAL INFORMATION PERTINENT TO THE CURRENT REQUEST FOR ADMINISTRATIVE SITE REVIEW HAS BEEN ADDED BY PRIEST, CRAVEN & ASSOCIATES, INC.



OWNER: GLENWOOD PLACE VENTURES, LLC
3700 GLENWOOD PLACE AVE, SUITE 510
RALEIGH, NC 27612-5539

DEVELOPER: GRUBB VENTURES
3700 GLENWOOD AVENUE
SUITE 510
RALEIGH, NC 27612

PIN: TRACT 1 - 0795-98-3272
TRACT 2 - 0795-99-5448

TOTAL ACREAGE: TRACT 1 - 13.751 AC (13.551 AFTER RAW DEDICATION)
TRACT 2 - 1.36 ACRES
(FOR STORMWATER ONLY, USE BY EASEMENT)

R/W DEDICATION: TRACT 1 - 0.50 AC GLENWOOD EXCHANGE PLACE - 124' AC

ZONING: TRACT 1 - OX-5 (FORMERLY O&I-1) (10.07 AC) AND CM (3.68 AC)
TRACT 2 - OX-5 (FORMERLY O&I-1)

EXISTING USE: VACANT

PROPOSED BUILDINGS: 5 STORIES, 1 BUILDING

PROPOSED USE: MULTIFAMILY RESIDENTIAL AND OFFICE RETAIL

MAXIMUM DENSITY ALLOWED: 300 UNITS

OVERALL DENSITY NOT TO EXCEED 30 UNITS/ACRE
1007 SQ FT (0.81) X 25' = 25775 SQ FT
25775 SQ FT / 862 SQ FT PER UNIT = 29.9 UNITS/ACRE
MAX 300 UNITS/ACRE = 30 UNITS/ACRE

PROPOSED DENSITY: 296 UNITS (29.4 UNITS/ACRE)

PROPOSED OFFICE RETAIL: 9,423 SF (33.54% DENSITY) 9200 SF (40,000 SF MAXIMUM)

MAX. BLDG HEIGHT ALLOWED: 40' (+ 1' ADD. SETBACK PER +1 HGT. ABOVE 40')

MAX. BLDG HEIGHT PROPOSED: 56'-6"

REQUIRED MIN. BUILDING SETBACKS:
FRONT 30' + 17' ADDITIONAL
SIDE 5' + 17' ADDITIONAL
REAR 20' + 17' ADDITIONAL

PRIMARY BUILD-TO: 645 LF/265 LF = 60.5%

OPEN SPACE:
REQUIRED 435.6 SF/AC = 126,760 SF
PROPOSED AREA = 140,000 SF

TREE CONSERVATION:
SEE TREE CONSERVATION PLANS FOR DETAILED CALCS
REQUIRED 10% AREA OF (13.55 AC TRACT 1) = 1.36 ACRES
REQ. 30% AREA OF (3.68 AC) CM = 1.10 ACRES
PROPOSED AREA (TRACT 1) = 1.37 ACRES
(10.2% OF 13.55 AC, 37.5% OF 3.68 AC)

REQUIRED PARKING - SEE SHARED PARKING STUDY ON COVER SHEET

DWELLING UNITS		
(271) 1-BED STUDIO DU X 1.0 SPACES =	271	
(120) 1-BED DU X 1.5 SPACES =	180	
(123) 2-BED DU X 2 SPACES =	246	
(20) 3-BED DU X 2.5 SPACES =	50	
DWELLING UNITS SUB-TOTAL =	487 SPACES	
CLUB		
5,294 SF X 1 SPACE/200 SF =	26	
LESS 50% CREDIT =	-13	
CLUB SUB-TOTAL =	13 SPACES	
POOL		
2,547 SF X 1 SPACE/100 SF =	26	
LESS 50% CREDIT =	-13	
POOL SUB-TOTAL =	13 SPACES	
*CREDIT BASED ON # DU WITHIN 100 SF OF USE		
2,547 SF DU WITHIN 100 SF DU = 65%		
POOL - 186 DU WITHIN 200' TOTAL DU = 62%		
OFFICE		
5,022 SF X 1 SPACE/1,000 SF =	5	
3,501 SF DENSITY =	-5	
OFFICE SUB-TOTAL =	0 SPACES	
TOTAL PARKING SPACES REQUIRED (BEFORE LANDSCAPE AREA REDUCTIONS)	517 SPACES	
*PARKING REDUCTION FOR LANDSCAPE AREA =	-21 SPACES	
0.33% SF L.A. X 1 SPACE/150 SF =		
FOR MAX 10% REDUCTION - REQ. SPACES X .10 =	57 SPACES	
TOTAL PARKING SPACES REQUIRED	544 SPACES	
571 SPACES - 27 SPACES		

PROPOSED PARKING

SURFACE PARKING*	240 SPACES*
GROUND LEVEL PARKING DECK*	137 SPACES
FIRST LEVEL PARKING DECK*	137 SPACES
(MAX 30% OR 81 COMPACT SPACES WITHIN DECK)	
PROPOSED PARKING TOTAL =	514 SPACES
TOTAL PARKING SPACES PROPOSED	514 SPACES

REQUIRED ACCESSIBLE PARKING

(14) TYPE A UNITS X 1.0 SPACES =	14
(514) TOTAL PARKING X 2% =	11
TOTAL REQUIRED ACCESSIBLE PARKING =	25 SPACES

PROPOSED ACCESSIBLE PARKING

PARKING AREA	SPACES
SURFACE	17
DECK (GROUND LEVEL)	4
DECK (FIRST LEVEL)	4
TOTAL	25 SPACES
(5 VAN (MIN) + 20 STANDARD)	

*INCLUDES ANGLED PARKING SPACES ALONG EXCHANGE GLENWOOD PLACE
*SEE SHEET C34 FOR STREET SECTIONS

SITE NOTES

- ALL DIMENSIONS ARE FROM BACK OF CURB, UNLESS OTHERWISE INDICATED ON THE PLANS.
- THE PLAN INCLUDES NO POLE MOUNTED LIGHT FIXTURES AT THE TOP OF THE PROPOSED PARKING STRUCTURE. A SOLID PARAPET WALL IS INCLUDED AROUND THE TOP OF THE PARKING STRUCTURE TO MINIMIZE VEHICULAR LIGHT POLLUTION TOWARDS THE ADJACENT PROPERTIES.
- COMPACT SPACES WITHIN PARKING DECK TO MEET THE SIZING AND SIGNAGE REQUIREMENTS OF SEC 7.1.8 OF THE RALEIGH UDC, NO MORE THAN 2 COMPACT SPACES MAY ABUT EACH OTHER.

FOR REFERENCE ONLY

CONCURRENT REVIEW APPROVAL
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

PLANS FOR THE PROPOSED USE HAVE BEEN REVIEWED FOR GENERAL COMPLIANCE WITH APPLICABLE CODES. THIS LIMITED REVIEW AND AUTHORIZATION FOR CONSTRUCTION IS NOT TO BE CONSIDERED TO REPRESENT TOTAL COMPLIANCE WITH ALL LEGAL REQUIREMENTS FOR DEVELOPMENT AND CONSTRUCTION. THE PROPERTY OWNER, DESIGN CONSULTANTS, AND CONTRACTORS ARE EACH RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL LAWS. THIS SPECIFIC AUTHORIZATION BELOW IS NOT A PERMIT, NOR SHALL IT BE CONSTRUED TO PERMIT VIOLATION OF CITY, STATE OR FEDERAL LAW. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.

TRANSPORTATION SERVICES
PUBLIC UTILITIES
STORMWATER
PLANNING / ZONING
FIRE
URBAN FORESTRY
SITE ACCESSIBILITY

DATE: 03.14.2016
REVISIONS: DATE
Resubmittal 04.19.2016
Resubmittal 05.25.2016
Resubmittal 06.15.2016
UDO ASR 03.12.2016
UDO ASR CITY COMMENTS 05.3.2016

DRAWN BY: EWB
CHECKED BY: MWL

Preliminary Overall Site Plan

Site Plan (Tract 1) 02
Scale: 1" = 50'

Site Notes 01

SD1.00

THIS ADMINISTRATIVE SITE REVIEW IS TO ESTABLISH RETAIL USES IN AN OX ZONING DISTRICT, ESTABLISH A PUBLIC STREET RIGHT OF WAY, AND ILLUSTRATE PROPERTY LINES TO BE RECOMBINED IN THE FUTURE FOR AN EXISTING DEVELOPMENT, GLENWOOD PLACE APARTMENTS, SP-24-13. THERE ARE NO PROPOSED ADDITIONS, NO EXTERIOR BUILDING CHANGES, NO UTILITY CHANGES, NO ADDITIONAL IMPERVIOUS SURFACES, AND NO ADDITIONAL TREE REMOVAL PROPOSED WITH THIS SITE REVIEW. THESE PLAN SHEETS ARE TAKEN FROM THE ORIGINAL APPROVAL OF GLENWOOD PLACE APARTMENTS AND THE SUBSEQUENT CONCURRENT REVIEW, TRANSACTION NO 465489 WHICH WAS APPROVED IN JUNE OF 2016. ADDITIONAL INFORMATION PERTINENT TO THE CURRENT REQUEST FOR ADMINISTRATIVE SITE REVIEW HAS BEEN ADDED BY PRIEST, CRAVEN & ASSOCIATES, INC.*



MATCHLINE - SEE SHEET C07

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

EXISTING UTILITIES NOTES:
CONTRACTOR TO INQUIRE CLOSELY WITH ALL UTILITY COMPANIES TO ENSURE THAT ONCE FINAL GRADES HAVE BEEN ESTABLISHED, PROPER DEPTH AND COVER IS MAINTAINED ON ALL EXISTING UTILITY LINES. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY NECESSARY RELOCATIONS OF EXISTING UTILITIES.

SYMBOL LEGEND

- EXIST. UTILITIES**
- ⊙ EXIST. S.S. MH
 - ⊕ EXIST. TRANSFORMER
 - ⊖ EXIST. POWER/TELEPHONE POLE
 - ⊕ EXIST. OVERHEAD POWER
 - ⊖ EXIST. OVERHEAD TELEPHONE
 - EXIST. GABLE
 - EXIST. FIBER OPTIC
 - EXIST. FIBER OPTIC TELEVISION
 - EXIST. WATER MAIN
- MATERIALS**
- ⊕ FIRE HYDRANT (WITH 6" G.V.)
 - ⊖ GATE VALVE
 - ⊕ BLOW OFF AND G.V.
 - ⊖ WATER REDUCER
 - ⊕ SEWER MANHOLE
 - ⊖ CLEANOUT SEWER
- FINISHES**
- FLARED END SECTION (WITH RCP RAP LEVEL SPREADER APRON)
 - HEADWALL (WITH RCP RAP LEVEL SPREADER APRON)
 - RCP RAP LEVEL SPREADER APRON
 - COR. CATCH BASIN
 - N.C.D.O.T. CATCH BASIN
 - GRADED INLET
 - STORM MANHOLE
 - LANDSCAPE INLETS (SLOPE TIED TO ROOF LEADER)
 - COR. SANITARY SEWER EASEMENT (CORSE)
 - PRIVATE DRAINAGE EASEMENT (PDE)
 - COR. WATER LINE EASEMENT (CORPLE)

PUBLIC SEWER COLLECTION / EXTENSION SYSTEM
THE CITY OF RALEIGH CONSENTS TO THE CONTRACTOR'S PROPOSED PUBLIC SEWER SYSTEM AS SHOWN ON THIS PLAN. THE PERMITS AND CONNECTIONS REQUIRED FOR THIS PROJECT SHALL BE OBTAINED AND APPROVED BY THE CITY OF RALEIGH. CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # 4191
APPROVED BY CONTRACTOR: [Signature]
DATE: 6/15/16

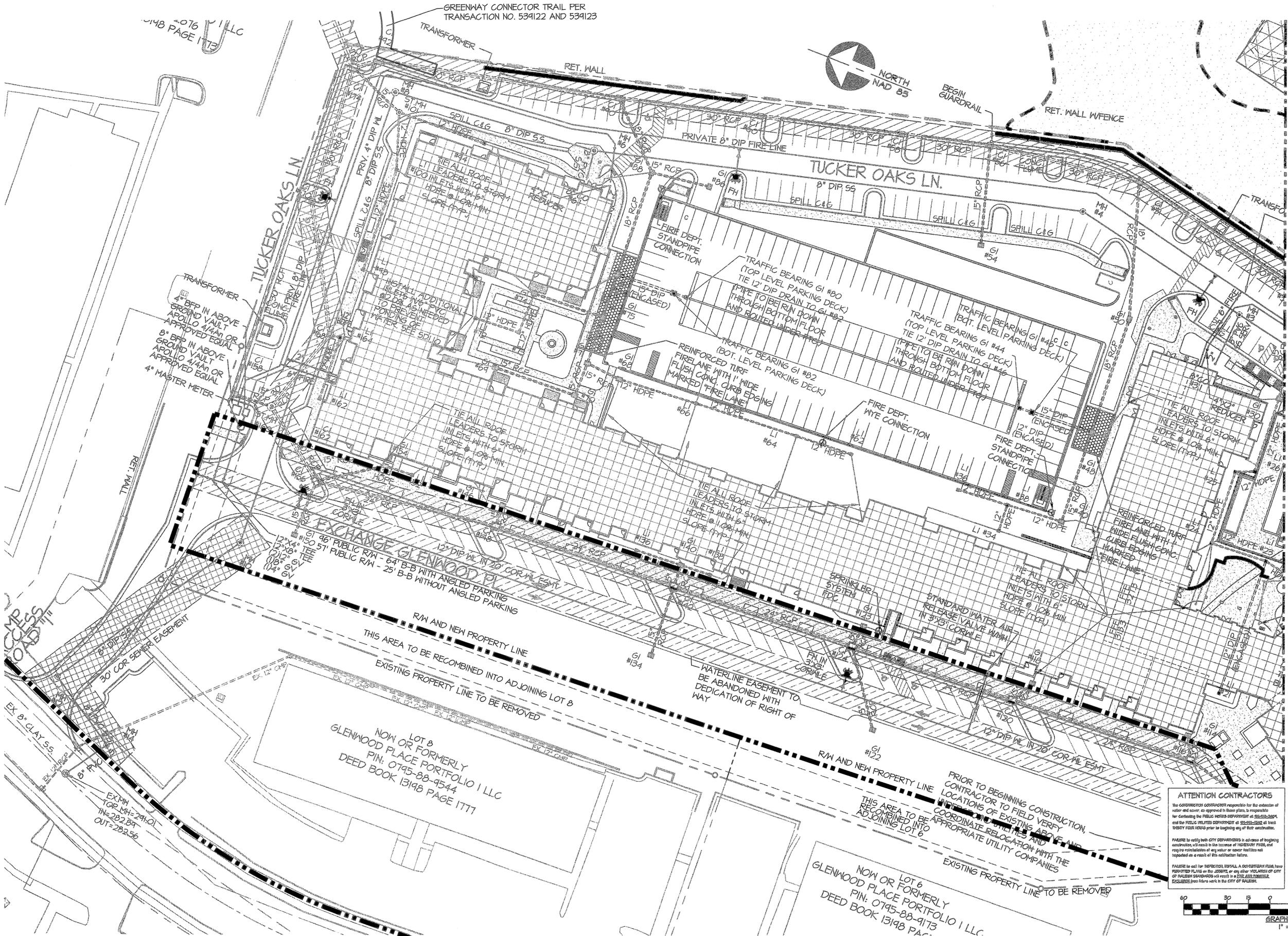
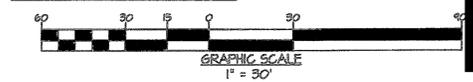
PUBLIC WATER DISTRIBUTION / EXTENSION SYSTEM
THE CITY OF RALEIGH CONSENTS TO THE CONTRACTOR'S PROPOSED WATER DISTRIBUTION SYSTEM AS SHOWN ON THIS PLAN. THE PERMITS AND CONNECTIONS REQUIRED FOR THIS PROJECT SHALL BE OBTAINED AND APPROVED BY THE CITY OF RALEIGH. CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # 4192
APPROVED BY CONTRACTOR: [Signature]
DATE: 6/15/16

PRIVATE SEWER COLLECTION / EXTENSION SYSTEM
THE CITY OF RALEIGH CONSENTS TO THE CONTRACTOR'S PROPOSED PRIVATE SEWER SYSTEM AS SHOWN ON THIS PLAN. THE PERMITS AND CONNECTIONS REQUIRED FOR THIS PROJECT SHALL BE OBTAINED AND APPROVED BY THE CITY OF RALEIGH. CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # 4192P
APPROVED BY CONTRACTOR: [Signature]
DATE: 6/15/16

FOR REFERENCE ONLY

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CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
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TRANSPORTATION SERVICES: [Signature]
PUBLIC UTILITIES: [Signature]
STORMWATER: [Signature]
PLANNING / ZONING: [Signature]
FIRE: [Signature]
URBAN FORESTRY: [Signature]
SITE ACCESSIBILITY: [Signature]

ATTENTION CONTRACTORS
The construction contractor responsible for the extension of water and sewer as approved in these plans is responsible for contacting the PUBLIC UTILITIES DEPARTMENT at 360-282-2824, and the PUBLIC UTILITIES DEPARTMENT at 360-282-2824 at least 10 BUSINESS DAYS PRIOR TO BEGINNING ANY OF THESE CONSTRUCTION.
FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF STOP WORK ORDERS, AND require relocations of any water or sewer facilities not depicted on a result of this notification failure.
FAILURE TO CALL FOR INSPECTION BEFORE A DOCUMENTED PLAN HAVE BEEN REVISIONS TO THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN THE ISSUANCE OF STOP WORK ORDERS FROM HERE ON IN THE CITY OF RALEIGH.



A MULTIFAMILY RESIDENTIAL APARTMENT AND OFFICE DEVELOPMENT
GLENWOOD PLACE APARTMENTS
SPONSORED BY: GRUBBS VENTURES, LLC
RALEIGH, NORTH CAROLINA

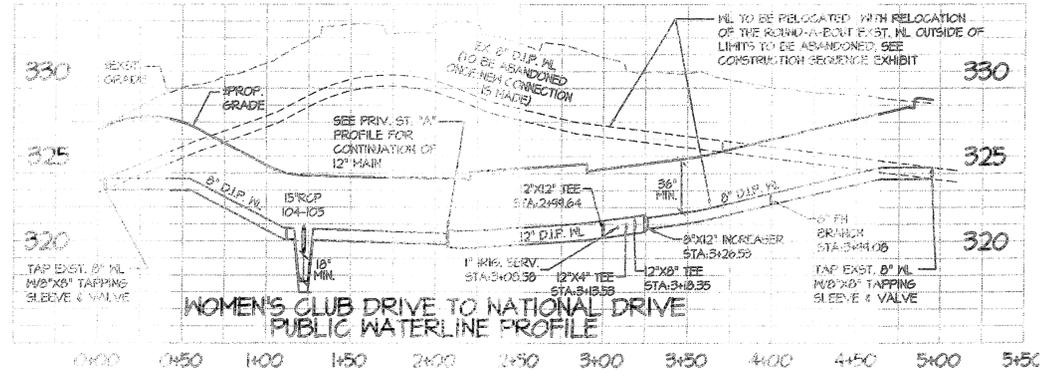
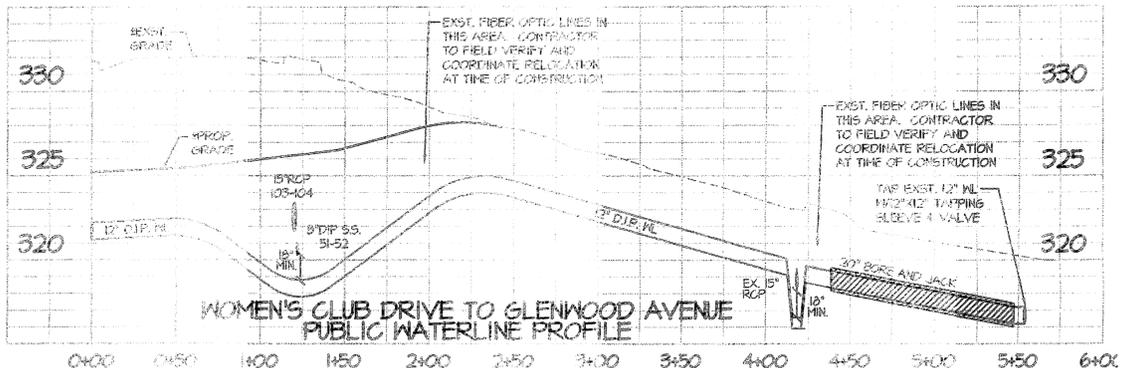
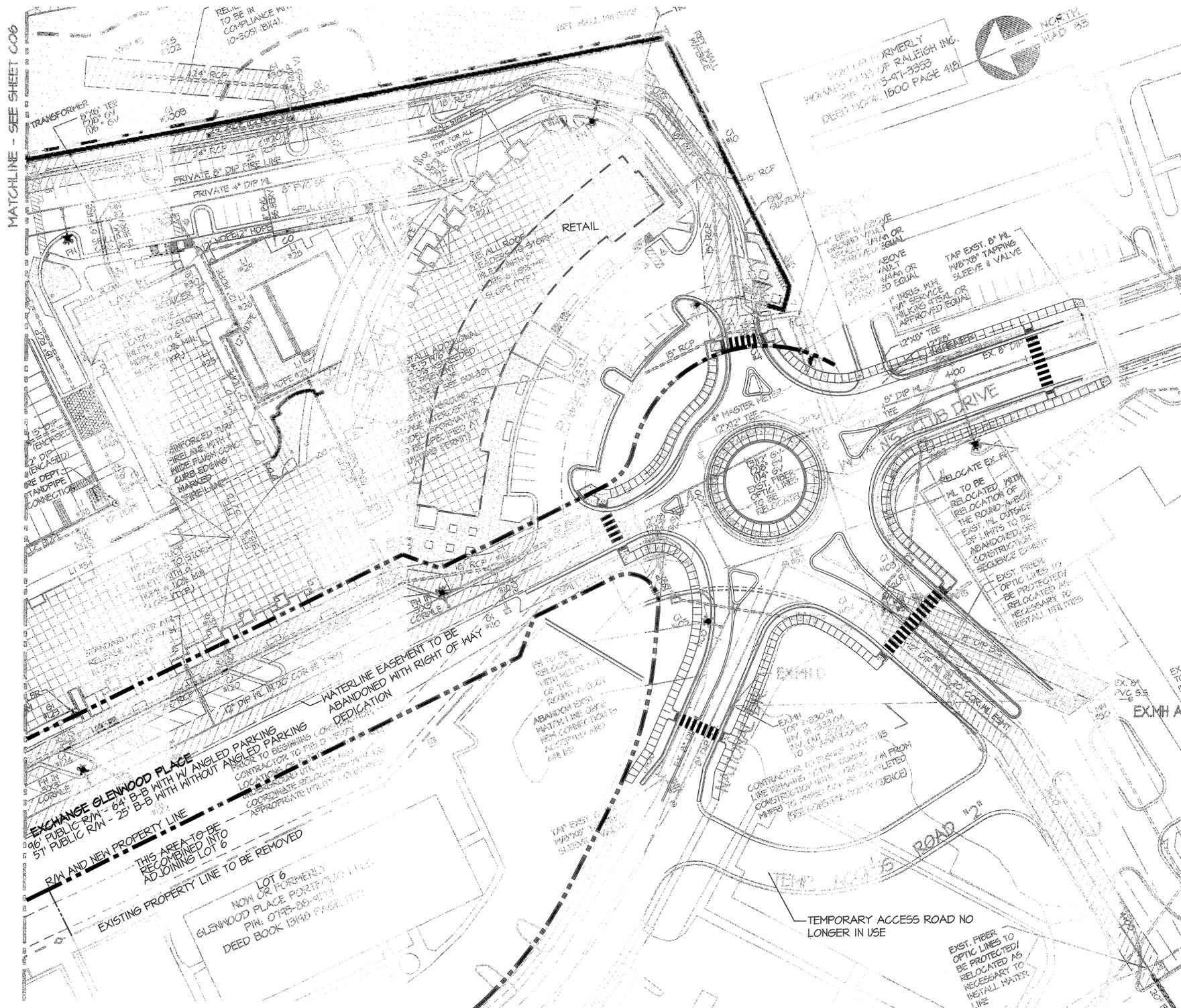
SCALE: 1"=30'
DATE: MARCH 14, 2016
PROJECT: 2012-015.001

SITE UTILITY PLAN

REVISION	DATE
CITY COMMENTS	APRIL 14, 2016
CITY COMMENTS	MAY 23, 2016
CITY COMMENTS	JUNE 14, 2016
UDO ASR	MARCH 12, 2016
UDO ASR CITY COMMENTS	MAY 3, 2016

PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS
3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609. Phone 919 / 781-0300. Fax 919 / 782-1288. Email PCA@PriestCraven.com / Firm #: C-0488

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SYMBOL LEGEND

- EXIST UTILITIES**
 - 8" EXIST. 8" DI. W. (Water)
 - 12" EXIST. 12" DI. W. (Water)
 - 18" EXIST. 18" DI. W. (Water)
 - 24" EXIST. 24" DI. W. (Water)
 - 36" EXIST. 36" DI. W. (Water)
 - 48" EXIST. 48" DI. W. (Water)
 - 60" EXIST. 60" DI. W. (Water)
 - 8" EXIST. 8" DI. M. (Manhole)
 - 12" EXIST. 12" DI. M. (Manhole)
 - 18" EXIST. 18" DI. M. (Manhole)
 - 24" EXIST. 24" DI. M. (Manhole)
 - 36" EXIST. 36" DI. M. (Manhole)
 - 48" EXIST. 48" DI. M. (Manhole)
 - 60" EXIST. 60" DI. M. (Manhole)
 - 8" EXIST. 8" DI. T. (Tapping)
 - 12" EXIST. 12" DI. T. (Tapping)
 - 18" EXIST. 18" DI. T. (Tapping)
 - 24" EXIST. 24" DI. T. (Tapping)
 - 36" EXIST. 36" DI. T. (Tapping)
 - 48" EXIST. 48" DI. T. (Tapping)
 - 60" EXIST. 60" DI. T. (Tapping)
 - 8" EXIST. 8" DI. V. (Valve)
 - 12" EXIST. 12" DI. V. (Valve)
 - 18" EXIST. 18" DI. V. (Valve)
 - 24" EXIST. 24" DI. V. (Valve)
 - 36" EXIST. 36" DI. V. (Valve)
 - 48" EXIST. 48" DI. V. (Valve)
 - 60" EXIST. 60" DI. V. (Valve)
- WATER & SEWER**
 - 8" PROPOSED 8" DI. W. (Water)
 - 12" PROPOSED 12" DI. W. (Water)
 - 18" PROPOSED 18" DI. W. (Water)
 - 24" PROPOSED 24" DI. W. (Water)
 - 36" PROPOSED 36" DI. W. (Water)
 - 48" PROPOSED 48" DI. W. (Water)
 - 60" PROPOSED 60" DI. W. (Water)
 - 8" PROPOSED 8" DI. M. (Manhole)
 - 12" PROPOSED 12" DI. M. (Manhole)
 - 18" PROPOSED 18" DI. M. (Manhole)
 - 24" PROPOSED 24" DI. M. (Manhole)
 - 36" PROPOSED 36" DI. M. (Manhole)
 - 48" PROPOSED 48" DI. M. (Manhole)
 - 60" PROPOSED 60" DI. M. (Manhole)
 - 8" PROPOSED 8" DI. T. (Tapping)
 - 12" PROPOSED 12" DI. T. (Tapping)
 - 18" PROPOSED 18" DI. T. (Tapping)
 - 24" PROPOSED 24" DI. T. (Tapping)
 - 36" PROPOSED 36" DI. T. (Tapping)
 - 48" PROPOSED 48" DI. T. (Tapping)
 - 60" PROPOSED 60" DI. T. (Tapping)
 - 8" PROPOSED 8" DI. V. (Valve)
 - 12" PROPOSED 12" DI. V. (Valve)
 - 18" PROPOSED 18" DI. V. (Valve)
 - 24" PROPOSED 24" DI. V. (Valve)
 - 36" PROPOSED 36" DI. V. (Valve)
 - 48" PROPOSED 48" DI. V. (Valve)
 - 60" PROPOSED 60" DI. V. (Valve)
- DRAINAGE**
 - 8" PROPOSED 8" DI. D. (Drainage)
 - 12" PROPOSED 12" DI. D. (Drainage)
 - 18" PROPOSED 18" DI. D. (Drainage)
 - 24" PROPOSED 24" DI. D. (Drainage)
 - 36" PROPOSED 36" DI. D. (Drainage)
 - 48" PROPOSED 48" DI. D. (Drainage)
 - 60" PROPOSED 60" DI. D. (Drainage)
- OTHER**
 - 8" PROPOSED 8" DI. S. (Sanitary Sewer)
 - 12" PROPOSED 12" DI. S. (Sanitary Sewer)
 - 18" PROPOSED 18" DI. S. (Sanitary Sewer)
 - 24" PROPOSED 24" DI. S. (Sanitary Sewer)
 - 36" PROPOSED 36" DI. S. (Sanitary Sewer)
 - 48" PROPOSED 48" DI. S. (Sanitary Sewer)
 - 60" PROPOSED 60" DI. S. (Sanitary Sewer)

ATTENTION CONTRACTORS
 The construction contractor is responsible for the location of all utilities shown on this plan. It is the contractor's responsibility to verify the location of all utilities shown on this plan. If any utilities are not shown on this plan, the contractor shall be responsible for their location. The contractor shall be responsible for the location of all utilities shown on this plan. If any utilities are not shown on this plan, the contractor shall be responsible for their location. The contractor shall be responsible for the location of all utilities shown on this plan. If any utilities are not shown on this plan, the contractor shall be responsible for their location.

PUBLIC SEWER COLLECTION / EXTENSION SYSTEM
 The City of Raleigh is authorized to construct, operate, and maintain the public sewer collection and extension system. The contractor shall be responsible for the location of all utilities shown on this plan. If any utilities are not shown on this plan, the contractor shall be responsible for their location. The contractor shall be responsible for the location of all utilities shown on this plan. If any utilities are not shown on this plan, the contractor shall be responsible for their location.

PUBLIC WATER COLLECTION / EXTENSION SYSTEM
 The City of Raleigh is authorized to construct, operate, and maintain the public water collection and extension system. The contractor shall be responsible for the location of all utilities shown on this plan. If any utilities are not shown on this plan, the contractor shall be responsible for their location. The contractor shall be responsible for the location of all utilities shown on this plan. If any utilities are not shown on this plan, the contractor shall be responsible for their location.

PRIVATE SEWER COLLECTION / EXTENSION SYSTEM
 The City of Raleigh is authorized to construct, operate, and maintain the private sewer collection and extension system. The contractor shall be responsible for the location of all utilities shown on this plan. If any utilities are not shown on this plan, the contractor shall be responsible for their location. The contractor shall be responsible for the location of all utilities shown on this plan. If any utilities are not shown on this plan, the contractor shall be responsible for their location.

SANITARY SEWER CONSTRUCTION SEQUENCE

1. INSTALL TEMPORARY ACCESS ROAD.
2. WHEN GRADING FOR NEW ROUNDABOUT, AVOID LOWERING GRADE OVER EXISTING PVC SANITARY SEWER BETWEEN EX.MH A AND EX.MH B.
3. INSTALL NEW MANHOLES 80-33, AND THE ASSOCIATED SANITARY SEWER LINES TO EXISTING LINES PER CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
4. REMOVE EXISTING SANITARY SEWER FROM NEW MH 53 TO NEW MH 50.
5. CONTRACTOR SHALL COORDINATE WITH CITY INSPECTOR TO VERIFY FLOW FROM EXIST. BUILDING AT 3700 GLENWOOD AVE. TO NEW SANITARY SEWER COLLECTION SYSTEM FROM MH 453 TO MH 463.

EXISTING UTILITIES NOTES:

CONTRACTOR TO WORK CLOSELY WITH ALL UTILITY COMPANIES TO VERIFY THE LOCATION OF ALL UTILITIES SHOWN ON THIS PLAN. IF ANY UTILITIES ARE NOT SHOWN ON THIS PLAN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR LOCATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES SHOWN ON THIS PLAN. IF ANY UTILITIES ARE NOT SHOWN ON THIS PLAN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR LOCATION.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDDOT STANDARDS AND SPECIFICATIONS.

FOR REFERENCE ONLY

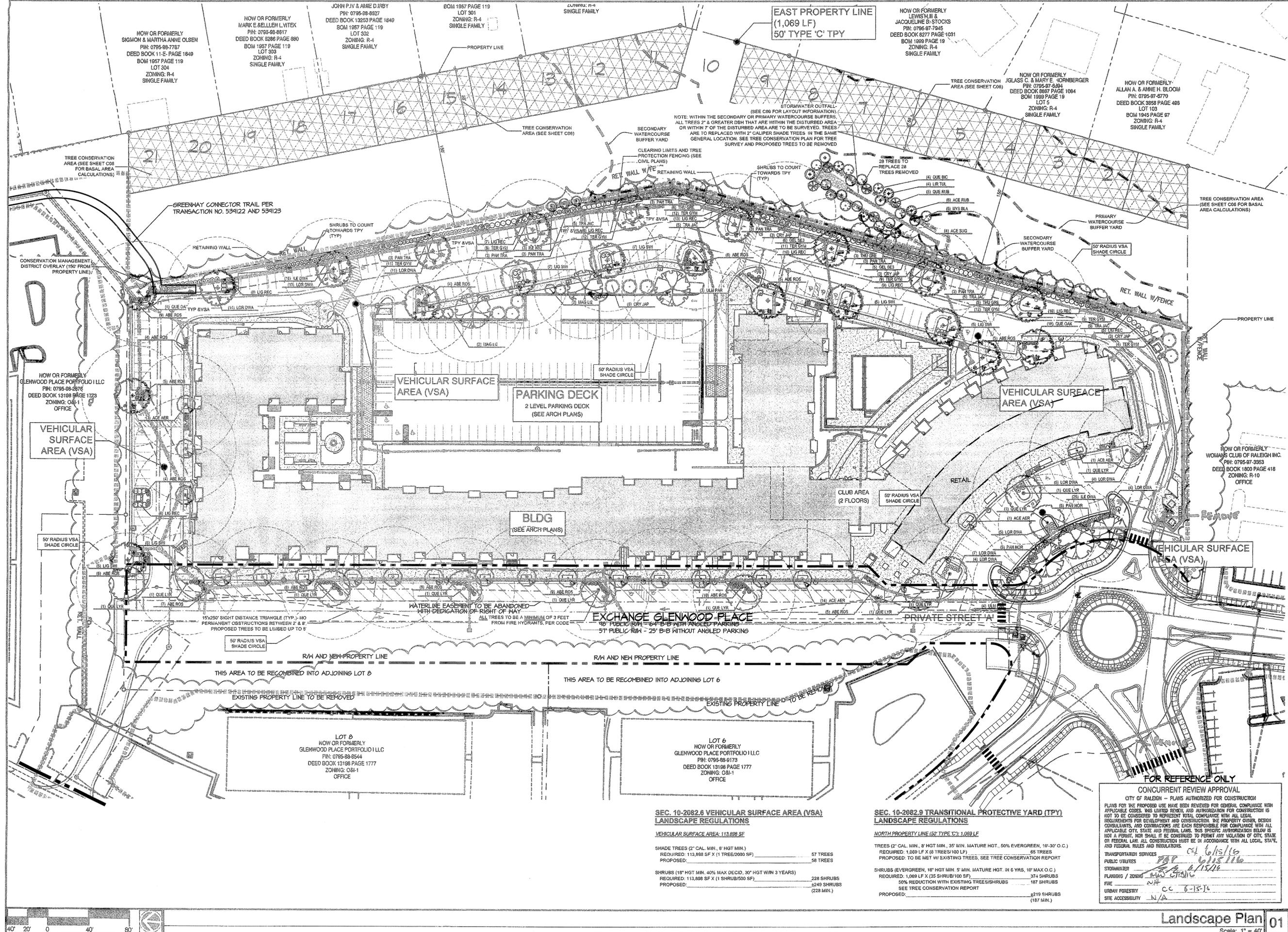
CONCURRENT REVIEW APPROVAL
 CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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INFORMATION SERVICES: [Signature]
 PUBLIC UTILITIES: [Signature]
 WASTEWATER: [Signature]
 PLANNING / ZONING: [Signature]
 FIRE: [Signature]
 URBAN FORESTRY: [Signature]
 SITE ACCESSIBILITY: [Signature]

GLENWOOD PLACE APARTMENTS A MULTIFAMILY RESIDENTIAL APARTMENT AND OFFICE DEVELOPMENT SPONSORED BY: GRUBB VENTURES, LLC RALEIGH, NORTH CAROLINA		SCALE: 1"=30' DATE: MARCH 14, 2016 PROJECT: 2012-015.001	SITE UTILITY PLAN	REVISION: [Table with 3 columns: No., Description, Date] CITY COMMENTS: [Table with 3 columns: No., Description, Date] CITY COMMENTS: [Table with 3 columns: No., Description, Date] LDO ASR: MARCH 12, 2016 LDO ASR CITY COMMENTS: MAY 3, 2016	PRIEST, CRAVEN & ASSOCIATES, INC. LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS 3903 - B Computer Drive, Suite 104 Raleigh, NC 27606 Phone: 919-781-0300 Fax: 919-782-1288 Email: PCAs@Pcra.com www.pcra.com
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THIS ADMINISTRATIVE SITE REVIEW IS TO ESTABLISH RETAIL USES IN AN OX ZONING DISTRICT, ESTABLISH A PUBLIC STREET RIGHT OF WAY, AND ILLUSTRATE PROPERTY LINES TO BE RECOMBINED IN THE FUTURE FOR AN EXISTING DEVELOPMENT, GLENWOOD PLACE APARTMENTS, SP-24-13. THERE ARE NO PROPOSED ADDITIONS, NO EXTERIOR BUILDING CHANGES, NO UTILITY CHANGES, NO ADDITIONAL IMPERVIOUS SURFACES, AND NO ADDITIONAL TREE REMOVAL PROPOSED WITH THIS SITE REVIEW. THESE PLAN SHEETS ARE TAKEN FROM THE ORIGINAL APPROVAL OF GLENWOOD PLACE APARTMENTS AND THE SUBSEQUENT CONCURRENT REVIEW, TRANSACTION NO 465489 WHICH WAS APPROVED IN JUNE OF 2016. ADDITIONAL INFORMATION PERTINENT TO THE CURRENT REQUEST FOR ADMINISTRATIVE SITE REVIEW HAS BEEN ADDED BY PRIEST, CRAVEN & ASSOCIATES, INC.



SEC. 10-2082.6 VEHICULAR SURFACE AREA (VSA) LANDSCAPE REGULATIONS

VEHICULAR SURFACE AREA: 113,898 SF

SHADE TREES (2" CAL. MIN., 8' HGT MIN.)	57 TREES
REQUIRED: 113,898 SF X (1 TREE/2000 SF)	
PROPOSED:	58 TREES
SHRUBS (18" HGT MIN., 40% MAX. DECID., 30" HGT WIN 3 YEARS)	228 SHRUBS
REQUIRED: 113,898 SF X (1 SHRUB/500 SF)	
PROPOSED:	229 SHRUBS (228 MIN.)

SEC. 10-2082.9 TRANSITIONAL PROTECTIVE YARD (TPY) LANDSCAPE REGULATIONS

NORTH PROPERTY LINE (50' TYPE 'C'): 1,069 LF

TREES (2" CAL. MIN., 8' HGT MIN., 35' MIN. MATURE HGT., 50% EVERGREEN, 10'-30' O.C.)	65 TREES
REQUIRED: 1,069 LF X (6 TREES/100 LF)	
PROPOSED: TO BE MET W/ EXISTING TREES, SEE TREE CONSERVATION REPORT	
SHRUBS (EVERGREEN, 18" HGT MIN., 5' MIN. MATURE HGT., IN 6 YRS., 10' MAX O.C.)	374 SHRUBS
REQUIRED: 1,069 LF X (35 SHRUB/100 SF)	
50% REDUCTION WITH EXISTING TREES/SHRUBS	187 SHRUBS
PROPOSED:	219 SHRUBS (187 MIN.)

FOR REFERENCE ONLY

CONCURRENT REVIEW APPROVAL

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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TRANSPORTATION SERVICES
PUBLIC UTILITIES
STORMWATER
PLANNING / ZONING
FIRE
URBAN FORESTRY
SITE ACCESSIBILITY

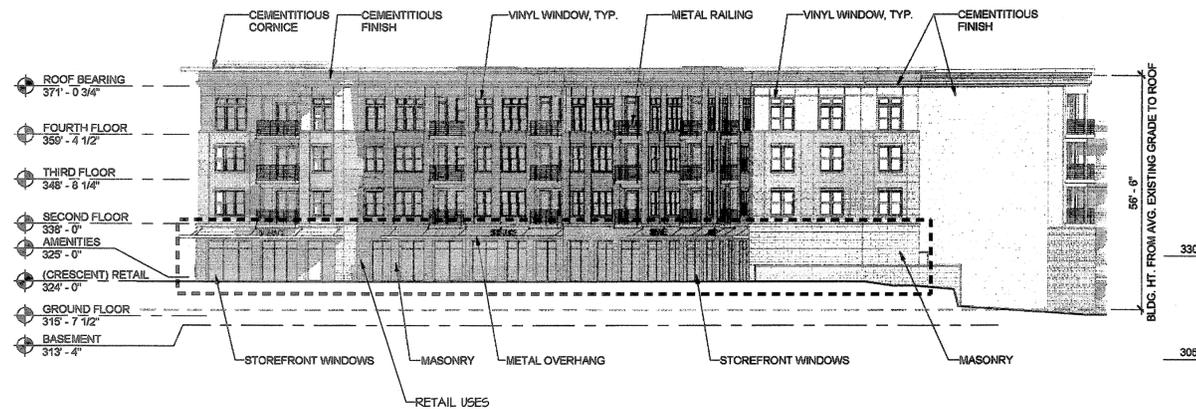
DATE: 03/14/2016
REVISIONS: [DATE]
Resubmittal: 04.19.2016
Resubmittal: 05.25.2016
Resubmittal: 06.15.2016
UDO ASR: 03.12.2016
UDO ASR CITY COMMENTS: 05.3.2016

DRAWN BY: EWB
CHECKED BY: MWL

Overall Landscape Plan

THIS ADMINISTRATIVE SITE REVIEW IS TO ESTABLISH RETAIL USES IN AN OX ZONING DISTRICT, ESTABLISH A PUBLIC STREET RIGHT OF WAY, AND ILLUSTRATE PROPERTY LINES TO BE RECOMBINED IN THE FUTURE FOR AN EXISTING DEVELOPMENT, GLENWOOD PLACE APARTMENTS, SP-24-13. THERE ARE NO PROPOSED ADDITIONS, NO EXTERIOR BUILDING CHANGES, NO UTILITY CHANGES, NO ADDITIONAL IMPERVIOUS SURFACES, AND NO ADDITIONAL TREE REMOVAL PROPOSED WITH THIS SITE REVIEW. THESE PLAN SHEETS ARE TAKEN FROM THE ORIGINAL APPROVAL OF GLENWOOD PLACE APARTMENTS AND THE SUBSEQUENT CONCURRENT REVIEW, TRANSACTION NO 465489 WHICH WAS APPROVED IN JUNE OF 2016. ADDITIONAL INFORMATION PERTINENT TO THE CURRENT REQUEST FOR ADMINISTRATIVE SITE REVIEW HAS BEEN ADDED BY PRIEST, CRAVEN & ASSOCIATES, INC."

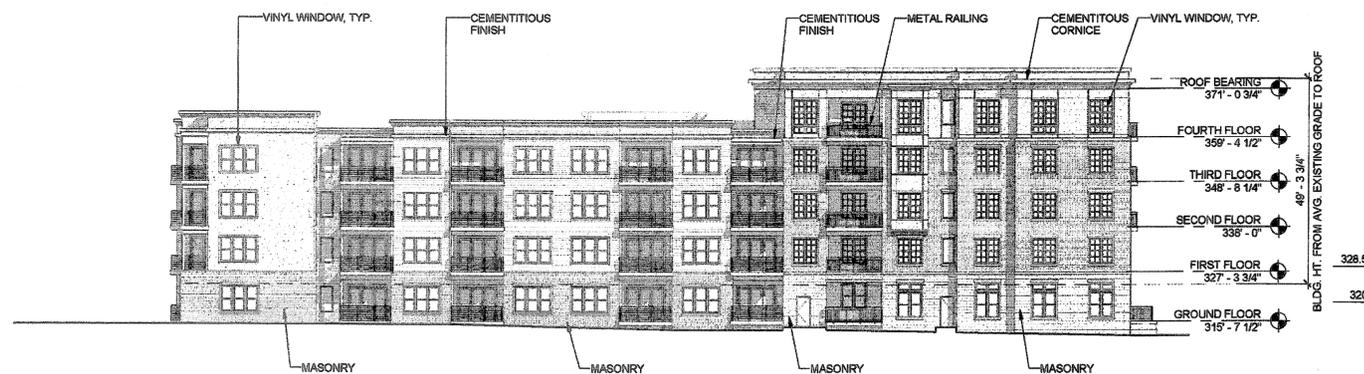
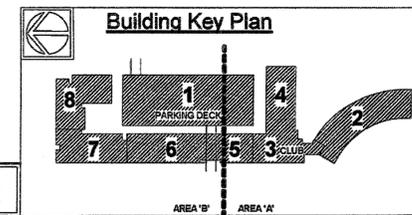
Grubb Ventures GLENWOOD PLACE APARTMENTS Raleigh, NC



SOUTH ELEVATION - ENLARGED

1" = 20'-0"

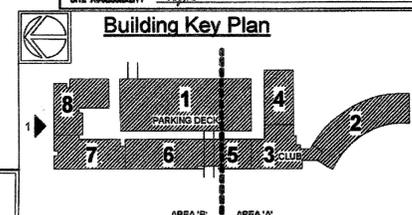
2



NORTH ELEVATION - ENLARGED

1" = 20'-0"

1



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PUBLIC UTILITIES: *N/A*
STORMWATER: *N/A*
PLANNING / ZONING: *N/A*
FIRE: *N/A*
URBAN FORESTRY: *N/A*
SITE ACCESSIBILITY: *N/A*

PROJECT: 012011
DATE: 03.14.2016
REVISIONS: _____ DATE: _____
UDO ASR CITY COMMENTS: _____ MAY 3, 2016

DRAWN BY: ZS, AG
CHECKED BY: JL
NORTH & SOUTH ELEVATIONS

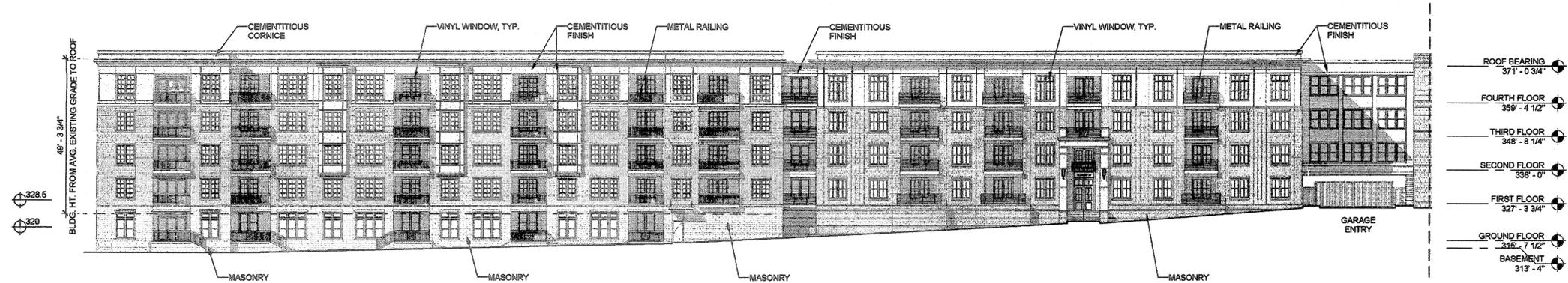
A2.1

THIS ADMINISTRATIVE SITE REVIEW IS TO ESTABLISH RETAIL USES IN AN OX ZONING DISTRICT, ESTABLISH A PUBLIC STREET RIGHT OF WAY, AND ILLUSTRATE PROPERTY LINES TO BE RECOMBINED IN THE FUTURE FOR AN EXISTING DEVELOPMENT, GLENWOOD PLACE APARTMENTS, 9P-24-1B. THERE ARE NO PROPOSED ADDITIONS, NO EXTERIOR BUILDING CHANGES, NO UTILITY CHANGES, NO ADDITIONAL IMPERVIOUS SURFACES, AND NO ADDITIONAL TREE REMOVAL PROPOSED WITH THIS SITE REVIEW. THESE PLAN SHEETS ARE TAKEN FROM THE ORIGINAL APPROVAL OF GLENWOOD PLACE APARTMENTS AND THE SUBSEQUENT CONCURRENT REVIEW, TRANSACTION NO 465484 WHICH WAS APPROVED IN JUNE OF 2016. ADDITIONAL INFORMATION PERTINENT TO THE CURRENT REQUEST FOR ADMINISTRATIVE SITE REVIEW HAS BEEN ADDED BY PRIEST, CRAVEN & ASSOCIATES, INC.

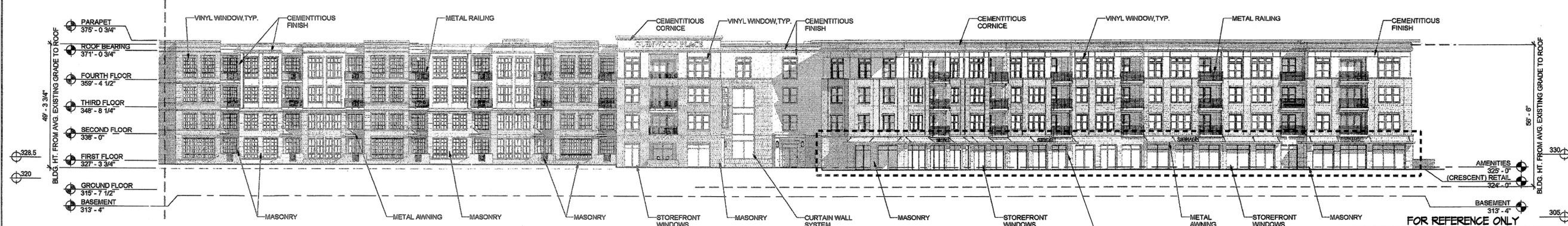
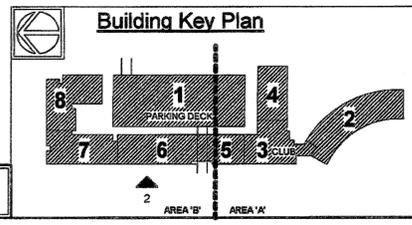
© 2006 CLINE DESIGN ASSOCIATES, PA. EXHIBIT 17. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WITHOUT THE WRITTEN PERMISSION AND CONSENT OF CLINE DESIGN ASSOCIATES, PA.

NOT FOR CONSTRUCTION

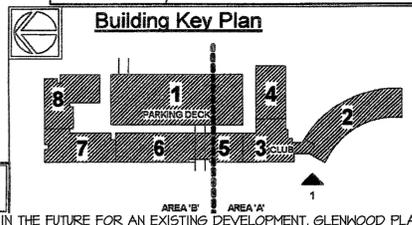
SITE PLAN SUBMITTAL



WEST ELEVATION B - NATIONAL DRIVE 2
1" = 20'-0"



WEST ELEVATION A - NATIONAL DRIVE 1
1" = 20'-0"



FOR REFERENCE ONLY

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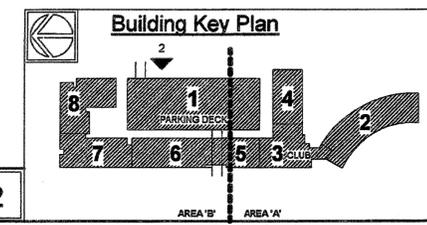
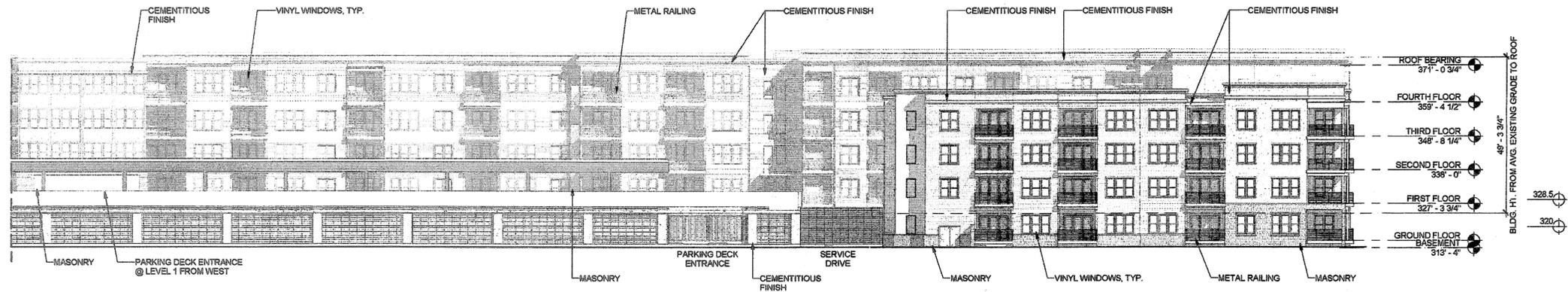
TRANSPORTATION SERVICES	N/A
PUBLIC UTILITIES	N/A
STORMWATER	N/A
PLANNING / ZONING	N/A
FIRE	N/A
URBAN FORESTRY	N/A
SITE ACCESSIBILITY	N/A

PROJECT:	012011
DATE:	03.14.2016
REVISIONS:	DATE
LDG ASR CITY COMMENTS	MAY 3, 2016

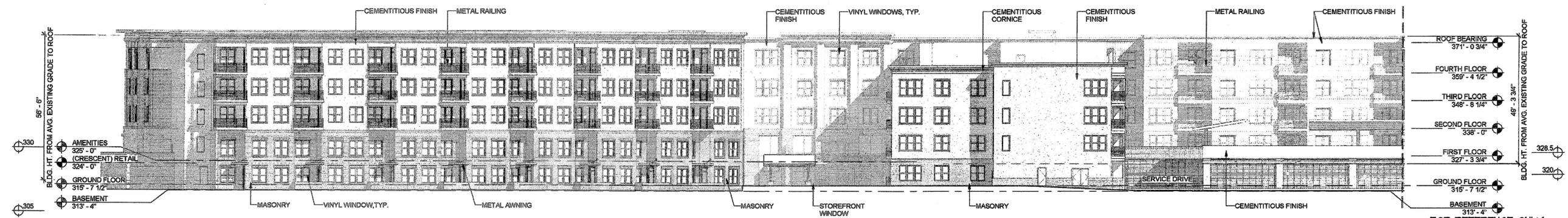
DRAWN BY: ZS, AG
CHECKED BY: JL
WEST ELEVATION

A2.2

THIS ADMINISTRATIVE SITE REVIEW IS TO ESTABLISH RETAIL USES IN AN OX ZONING DISTRICT, ESTABLISH A PUBLIC STREET RIGHT OF WAY, AND ILLUSTRATE PROPERTY LINES TO BE RECOMBINED IN THE FUTURE FOR AN EXISTING DEVELOPMENT, GLENWOOD PLACE APARTMENTS, SP-24-13. THERE ARE NO PROPOSED ADDITIONS, NO EXTERIOR BUILDING CHANGES, NO UTILITY CHANGES, NO ADDITIONAL IMPERVIOUS SURFACES, AND NO ADDITIONAL TREE REMOVAL PROPOSED WITH THIS SITE REVIEW. THESE PLAN SHEETS ARE TAKEN FROM THE ORIGINAL APPROVAL OF GLENWOOD PLACE APARTMENTS AND THE SUBSEQUENT CONCURRENT REVIEW, TRANSACTION NO 465484 WHICH WAS APPROVED IN JUNE OF 2016. ADDITIONAL INFORMATION PERTINENT TO THE CURRENT REQUEST FOR ADMINISTRATIVE SITE REVIEW HAS BEEN ADDED BY PRIEST, CRAVEN & ASSOCIATES, INC.



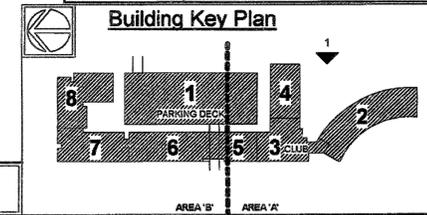
EAST ELEVATION B - ENLARGED 2
1" = 20'-0"



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TRANSPORTATION SERVICES	N/A
PUBLIC UTILITIES	N/A
STORMWATER	N/A
PLANNING / ZONING	N/A
FIRE	N/A
URBAN FORESTRY	N/A
SITE ACCESSIBILITY	N/A



EAST ELEVATION A - ENLARGED 1
1" = 20'-0"

NOT FOR CONSTRUCTION

SITE PLAN SUBMITTAL

PROJECT: 012011
DATE: 03.14.2016
REVISIONS: _____ DATE: _____
LDO ASR CITY COMMENTS MAY 3, 2016

DRAWN BY: ZS, AG
CHECKED BY: JL

EAST ELEVATION
A2.3

THIS ADMINISTRATIVE SITE REVIEW IS TO ESTABLISH RETAIL USES IN AN OX ZONING DISTRICT, ESTABLISH A PUBLIC STREET RIGHT OF WAY, AND ILLUSTRATE PROPERTY LINES TO BE RECOMBINED IN THE FUTURE FOR AN EXISTING DEVELOPMENT, GLENWOOD PLACE APARTMENTS, SP-24-13. THERE ARE NO PROPOSED ADDITIONS, NO EXTERIOR BUILDING CHANGES, NO UTILITY CHANGES, NO ADDITIONAL IMPERVIOUS SURFACES, AND NO ADDITIONAL TREE REMOVAL PROPOSED WITH THIS SITE REVIEW. THESE PLAN SHEETS ARE TAKEN FROM THE ORIGINAL APPROVAL OF GLENWOOD PLACE APARTMENTS AND THE SUBSEQUENT CONCURRENT REVIEW, TRANSACTION NO 465484 WHICH WAS APPROVED IN JUNE OF 2016. ADDITIONAL INFORMATION PERTINENT TO THE CURRENT REQUEST FOR ADMINISTRATIVE SITE REVIEW HAS BEEN ADDED BY PRIEST, CRAVEN & ASSOCIATES, INC.