

Administrative Site Review Application (for UDO Districts only)

OAK PARK SHOPPING CENTER
SR-25-19



DEVELOPMENT
SERVICES
DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number 592134 Assigned Project Coordinator SUNE Assigned Team Leader STEGALL
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #		
GENERAL INFORMATION		
Development Name Oak Park Shopping Center		
Zoning District CX-3-PL	Overlay District (if applicable) NA	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Use Commercial / Retail		
Property Address(es) 6005 Glenwood Ave.		Major Street Locator: Oak Park Road
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
P.I.N. 00786-85-4932	P.I.N.	P.I.N.
What is your project type?		
<input type="checkbox"/> Apartment <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Duplex <input type="checkbox"/> Other: If other, please describe:	<input type="checkbox"/> Elderly Facilities <input type="checkbox"/> School <input type="checkbox"/> Religious Institutions	<input type="checkbox"/> Hospitals <input checked="" type="checkbox"/> Shopping Center <input type="checkbox"/> Residential Condo
<input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> Telecommunication Tower	<input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Banks <input type="checkbox"/> Retail	<input type="checkbox"/> Office <input type="checkbox"/> Industrial Building <input type="checkbox"/> Cottage Court
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Construct new building on-site. Existing buildings to remain as is. Parking requirements to be met with 10% reduction per UDO Sec.7.1.4.A.1, Proximity to Transit.	
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE	
CLIENT/DEVELOPER/ OWNER	Company Oak Park, Inc. Name (s) Holly Tehan	
	Address 6001 Glenwood Ave., Raleigh, NC 27612-2601	
	Phone 919.787.0181	Email htehan@oakparkshops.com Fax
CONSULTANT (Contact Person for Plans)	Company Rivers and Associates, Inc. Name (s) Paul Meder	
	Address 742 McKnight Dr., Suite 200, Knightdale, NC 27545	
	Phone 919-215-2492	Email pmeder@riversandassociates.com Fax

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information		Building Information	
Zoning District(s) CX-3PL		Proposed building use(s) commercial/retail	
If more than one district, provide the acreage of each: NA		Existing Building(s) sq. ft. gross 43,510	
Overlay District NA		Proposed Building(s) sq. ft. gross 8,727	
Total Site Acres	Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 4.655	Total sq. ft. gross (existing & proposed) 52,237	
Off street parking: Required 194 Provided 211		Proposed height of building(s) 40'-6"	
COA (Certificate of Appropriateness) case # NA		# of stories 2	
BOA (Board of Adjustment) case # A- NA		Ceiling height of 1 st Floor 12'-6"	
CUD (Conditional Use District) case # Z- NA			
Stormwater Information			
Existing Impervious Surface 175,104.47 acres/square feet		Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Proposed Impervious Surface 174,327.52 acres/square feet		If Yes, please provide:	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Alluvial Soils FEMA Map Panel #	

FOR RESIDENTIAL DEVELOPMENTS

1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **Paul Meder** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed Holly C. Tehan Date 3/27/2019

Printed Name Holly C. Tehan

Signed _____ Date _____

Printed Name _____

ATTENTION CONTRACTORS

THE **CONSTRUCTION CONTRACTOR** RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR **CONTACTING THE PUBLIC WORKS DEPARTMENT AT (919) 996-2409, AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-4540** AT LEAST **TWENTY FOUR HOURS** PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH **CITY DEPARTMENTS** IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF **MONETARY FINES**, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR **INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS** WILL RESULT IN A **FINE AND POSSIBLE EXCLUSION** FROM FUTURE WORK IN THE **CITY OF RALEIGH**.

NOTES

1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

2. THERE ARE RETAINING WALLS GREATER THAN 5' IN HEIGHT ON THE SITE. AS SUCH, A BUILDING PERMIT MUST BE SUBMITTED AND A SPECIAL INSPECTION PERFORMED. (CODE REFERENCE: 2012 NC BUILDING CODE 1704 SPECIAL INSPECTIONS)

RIGHT-OF-WAY OBSTRUCTION NOTES:

1. **STREET, LANE, AND SIDEWALK CLOSURES OR DETOURS:** PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.
2. A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN SHALL BE SUBMITTED TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV AT WWW.RALEIGHNC.GOV, KEYWORD "RIGHT-OF-WAY SERVICES"
3. PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
4. THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
5. ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
6. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

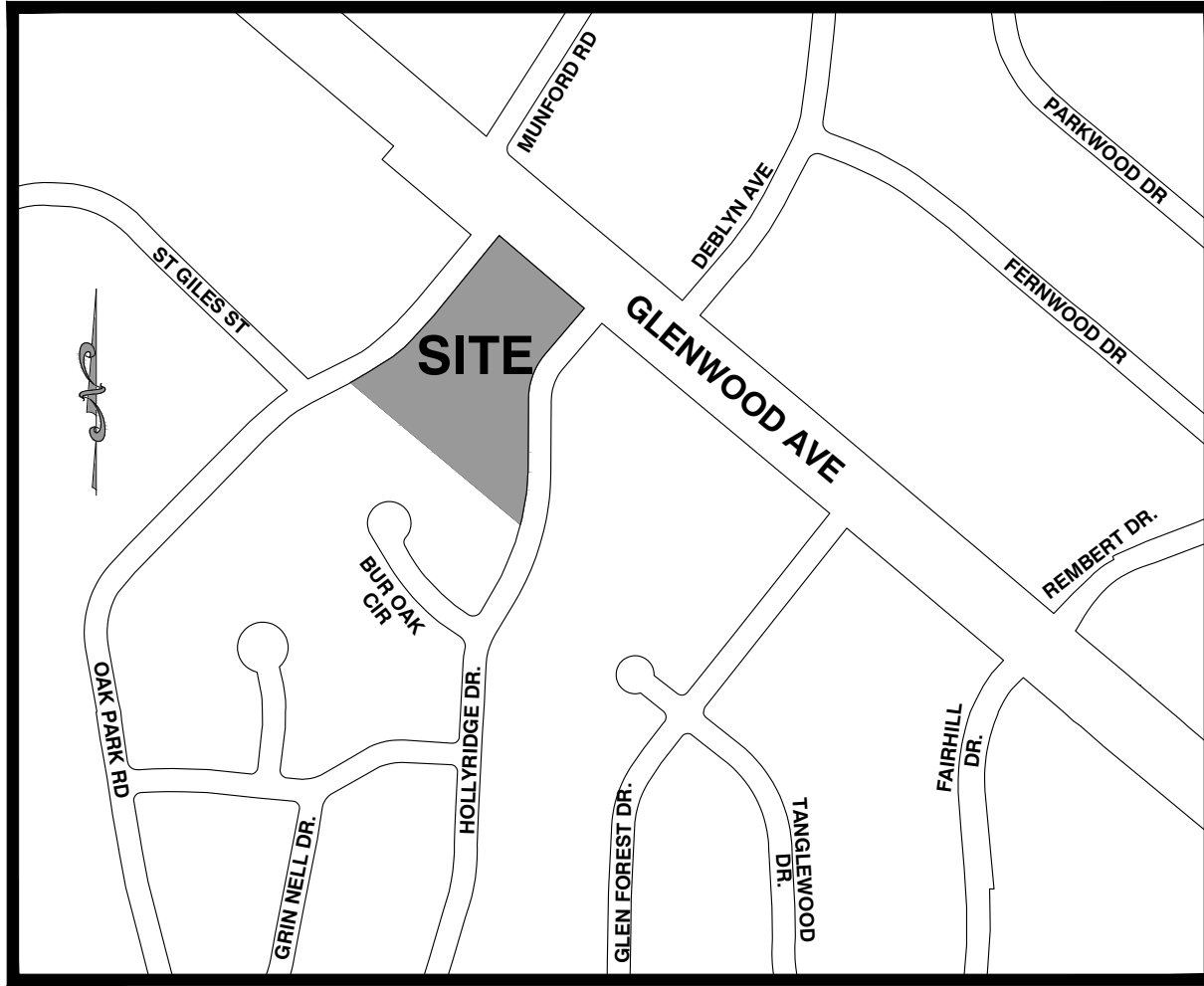
NOTE(s)

1. **ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.**

2. **THERE ARE RETAINING WALLS GREATER THAN 5' IN HEIGHT ON THE SITE. AS SUCH A BUILDING PERMIT MUST BE SUBMITTED AND A SPECIAL INSPECTION PERFORMED. (CODE REFERENCE: 2012 NC BUILDING CODE 1704 SPECIAL INSPECTIONS)**

GENERAL NOTES

1. PROPOSED USES SHALL COMPLY WITH CITY OF RALEIGH ZONING REGULATIONS FOR CX-3-PL ZONING DISTRICT.
2. PAVED AREAS SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY EXCEPT FOR THE TOP 6" OF SUBGRADE WHICH SHALL BE COMPACTED TO 100% MAXIMUM DRY DENSITY IN ACCORDANCE WITH AASHTO-T99.
3. AGGREGATE BASE COURSE SHALL BE TYPE ABC CONFORMING TO SECTION 529 OF THE NCDOT STANDARD SPECIFICATIONS.
4. BITUMINOUS CONCRETE SURFACE COURSE SHALL BE TYPE SP9.5B CONFORMING TO SECTION 645 OF THE NCDOT STANDARD SPECIFICATIONS.
5. ALL MATERIALS AND INSTALLATION METHODS FOR WATER SYSTEM SHALL MEET THE MINIMUM REQUIREMENTS OF THE CITY OF RALEIGH SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER SYSTEM EXTENSIONS.
6. ALL MATERIALS AND INSTALLATION METHODS FOR SANITARY SEWER SYSTEM SHALL MEET THE MINIMUM REQUIREMENTS OF THE CITY OF RALEIGH SPECIFICATIONS.
7. CONTRACTOR(S) SHALL VERIFY ALL EXISTING AND PROPOSED INVERTS ON SITE AND NOTIFY THE ENGINEER OF ANY CONFLICTS PRIOR TO ANY INSTALLATION OF UTILITIES.
8. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
9. PROVIDE EXTERIOR CONCRETE WALLS AND CONCRETE AREAS WITH EXPANSION AND CONTROL JOINTS IN PRE-APPROVED LOCATIONS. EXPANSION JOINTS SHALL BE 1/2" WIDE WITH EDGES TOoled TO 1/8" RAD. AND FILLED WITH HOT RUBBER ASPHALT SEALANT. PROVIDE EXPANSION JOINTS AS SHOWN ON THE PLANS AND AT ALL CORNERS, INTERSECTIONS, CHANGES IN SLOPE OR DIRECTION, AGAINST EXISTING OR NEW WALLS OR PAVEMENTS, AND AT INTERVALS NOT TO EXCEED 30'. CONTROL JOINTS SHALL BE 1" DEEP MINIMUM AND RADIUS 1/8". AND SHALL BE PLACED AS SHOWN ON THE PLANES AND AT INTERVALS NOT TO EXCEED 6 FEET.
10. EACH PRIME CONTRACTOR PERFORMING EXCAVATIONS OR UNDERGROUND WORK SHALL BE RESPONSIBLE FOR THE LOCATION OF ANY EXISTING UTILITIES IN THE AREA OF THEIR WORK. NOTIFY THE UTILITY LOCATOR SERVICE (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION IN ORDER THAT EXISTING UTILITIES IN THE AREA MAY BE FLAGGED AND STAKED. CONTRACTOR SHALL USE ALL CARE NECESSARY WHEN WORKING IN AREAS KNOWN OR SUSPECTED TO CONTAIN UNDERGROUND UTILITIES, INCLUDING HAND DIGGING.
11. AN APPROVED STORM WATER MANAGEMENT PLAN IS REQUIRED.
12. NCDOT DRIVEWAY PERMIT IS NOT REQUIRED.
13. AN APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS REQUIRED.
14. A LANDSCAPING PLAN INDICATING CITY OF RALEIGH REQUIREMENTS AND LOCATION OF PROPOSED LANDSCAPING WILL BE SUBMITTED TO THE CITY OF RALEIGH PLANNING DEPARTMENT FOR REVIEW AND APPROVAL.
15. THE NEW BUILDING WILL NOT HAVE A FIRE SPRINKLER SYSTEM.
16. CITY OF RALEIGH UTILITIES POINT OF SERVICE FOR WATER SHALL BE AT THE WATER METER LOCATED AT THE RIGHT-OF-WAY OR AT THE EDGE OF THE WATERLINE EASEMENT.
17. NEW BUILDING CONSTRUCTION MUST COMPLY WITH ALL APPLICABLE BUILDING CODES.
18. SITE SHALL MEET ALL ACCESSIBILITY REQUIREMENTS OF THE NC BUILDING CODE VOL. I-C, DEPT. OF INSURANCE APPROVAL OF CONSTRUCTION.
19. NO WETLANDS EXIST WITHIN THE CONSTRUCTION LIMITS OF THIS PROPERTY.
20. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET THE CITY OF RALEIGH AND/OR NCDOT STANDARDS.
21. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET THE LATEST VERSION AND/OR INTERPRETATION OF THE MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
22. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER AND IN ACCORDANCE WITH MUTCD STANDARDS.
23. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
24. ALL PAVEMENT MARKINGS FOR PARKING SPACES AND CROSSINGS SHALL BE 4" SOLID WHITE STRIPES.
25. A PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY OF RALEIGH ROADWAY. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED. CONTACT THE CITY OF RALEIGH FOR MORE DETAILS.
26. GENERAL CONTRACTOR WILL COORDINATE WITH EXISTING UTILITY PROVIDERS FOR INSTALLATION OR MODIFICATION OF UTILITY SERVICES.
27. HANDICAP PARKING SPACES SHALL BE PROVIDED DURING CONSTRUCTION PHASES. WHERE TEMPORARY HANDICAP SPACES ARE NECESSARY, INSTALL SIGNAGE AS REQUIRED.
28. USE HYDRANT FLOW TEST TO CONDUCT FIRE FLOW ANALYSIS AND ADD TO PLANS PER NCFC 507.1 USING NCFC APPENDIX B METHOD OR THE ISO METHOD AT TIME OF BUILDING PERMIT REVIEW.
29. WITHIN THE AREA DELINEATED AS A SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERRIS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
30. DUMPSTER ENCLOSURES SHALL BE COMPATIBLE WITH BUILDING MATERIALS AND COLORS.



VICINITY MAP

1" = 500'

SOLID WASTE INSPECTION STATEMENT

1. **SOLID WASTE SERVICES TO BE PROVIDED BY PRIVATE VENDOR.**
2. **THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.**
3. **THIS PROJECT HAS DUMPSTERS FOR SOLID WASTE AND CARDBOARD RECYCLING.**

OAK PARK SHOPPING CENTER

RETAIL/RESTAURANT/OFFICE BUILDING

Raleigh, Wake County, North Carolina

ADMINISTRATIVE SITE REVIEW

ISSUE / REVISIONS:		
1	1ST ASR SUBMITTAL	04.02.19
2	2ND ASR SUBMITTAL	08.16.19
3	BOA - W/ PRELIM. REV.	11.04.19
4	COR COORD.	02.24.20
5	3RD ASR SUBMITTAL	09.02.20
6	4TH ASR SUBMITTAL	03.19.21
7	NCDOT ST TREE REVW	09.28.21
8	5TH ASR SUBMITTAL	10.07.21
9	6TH ASR SUBMITTAL	04.28.22

DESIGN TEAM

OWNER/DEVELOPER:
OAK PARK, INC.
6001 GLENWOOD AVE.
RALEIGH NC 27612-2601
919-757-0181
HTEHAN@OAKPARKSHOPS.COM

ARCHITECT:
D. ALLEN POOVEY, R.A.
CONSULTING ARCHITECT
1421 SCALES ST.
RALEIGH, NC 27608
919-215-8985
DWAYNEPOOVEY@ATT.NET

LANDSCAPE ARCHITECT:
RIVERS AND ASSOCIATES, INC.
742 MCNIGHT DR., SUITE 200
KNIGHTDALE, NC 27545
919-295-5463
PMEDER@RIVERSANDASSOCIATES.COM

CIVIL ENGINEER:
RIVERS AND ASSOCIATES, INC.
742 MCNIGHT DR., SUITE 200
KNIGHTDALE, NC 27545
919-295-5463
SJANOWSKI@RIVERSANDASSOCIATES.COM

STRUCTURAL ENGINEER
QUEEN ENGINEERING AND DESIGN, PA
5530 MUNFORD RD #115,
RALEIGH, NC 27612
919-420-0480
BRUCE@QEDPA.NET

SURVEYOR: EXISTING CONDITIONS
JOHN Y. PHELPS, JR. SURVEYORS
5110 BUR OAK CIR
RALEIGH, NC 27612-3101
919-787-3658
JR81@BELLSOUTH.NET

MUNICIPAL CONTACTS

PLANNING AND ZONING
CITY OF RALEIGH
PLANNING DEPARTMENT
MICHAEL WALTERS
ONE EXCHANGE PLAZA, SUITE 304
RALEIGH, NC 27601
919-996-2636

STREETS AND HIGHWAYS
NCDOT
DIVISION 5, DISTRICT 1
M. SCOTT WHEELER, PE
4009 DISTRICT DRIVE
RALEIGH, NC 27607
919-733-3213
919-715-5778 FAX

BUILDING INSPECTIONS
CITY OF RALEIGH
INSPECTIONS DEPARTMENT
ONE EXCHANGE PLAZA, SUITE 504
RALEIGH, NC 27602
919-516-2723

EROSION CONTROL
CITY OF RALEIGH
STORMWATER UTILITY
222 WEST HARGETT ST., SUITE 301
RALEIGH, NC
919-516-2168

TRANSPORTATION
CITY OF RALEIGH
PUBLIC WORKS DEPT.
RALEIGH, NC
919-996-2409

Administrative Site Review Application (for UDO Districts only)

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | ext 919-996-1831
11000000 Satellite Offices | 8300 - 1300 Laidlaw Road | Raleigh, NC 27601 | 919-996-0200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Transaction Number	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Assigned Project Coordinator	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot	Assigned Team Leader	
<input type="checkbox"/> Townhouse			
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #			
GENERAL INFORMATION			
Development Name: Oak Park Shopping Center			
Zoning District: CX-3-PL		Overlay District (if applicable): NA	
Proposed Use: Retail/Restaurant/Office		Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Property Address(es): 6005 Glenwood Ave.		Major Street Location: Oak Park Road	
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:			
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What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels			
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<input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> Industrial Building			
<input type="checkbox"/> Other: if other, please describe: <input type="checkbox"/> Cottage Court			
WORK SCOPE			
Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.			
Sketch Plan Transaction No.: 560263. Construct new building on site. Existing buildings to remain as is. Parking requirements to be met with 10% reduction per UDO Sec 7.1.4.A.1. Proximity to Transit, and shared parking as delineated in the attached parking study.			
DESIGN ADJUSTMENT OR ADMIN ALTERNATE			
Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative At			
CLIENT/DEVELOPER/OWNER			
Company Oak Park, Inc.		Name (s) Holly Tehan	
Address: 6001 Glenwood Ave., Raleigh, NC 27612-2601			
Phone 919.787.0181 Email htehan@oakparkshops.com		Fax	
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Phone 919-215-2492 Email pmeder@riversandassociates.com		Fax	

PAGE 1 OF 3

WWW.RALEIGHNC.GOV

REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District: CX-3-PL	Proposed building use(s): Retail/Restaurant/Office
If more than one district, provide the acreage of each: NA	Existing building(s) sq. ft. gross: 43,510
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Inside City Limits: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Proposed height of building(s): 41'-6"
Off street parking: Required: 194 Provided: 211	# of stories: 2
COA (Certificate of Appropriateness) case # NA	Ceiling height of 1 st floor: 12'-6"
ROA (Board of Adjustment) case # NA	
CUD (Conditional Use District) case # NA	
Stormwater Information	
Existing Impervious Surface: 41,175,567 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface: 41,169,703 acres/square feet	If Yes, please provide: Abstracted FEMA Map Panel #
Neuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
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I hereby designate: Paul Meder to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
View have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed: Holly C. Tehan, Executive VP	Date: 04/28/2019
Printed Name: Holly C. Tehan, Executive Vice President	
Signed: _____	Date: _____
Printed Name: _____	

PAGE 2 OF 3

WWW.RALEIGHNC.GOV

REVISION 05.13.16

Sheet List Table

Sheet #	Sheet Title
C1.01	COVER SHEET
C1.02	APPROVAL DOCUMENTS
C2.01	EXISTING CONDITIONS PLAN
C2.02	SITE DEMOLITION PLAN
C3.01	SITE PLAN
C3.02	GRADING, DRAINAGE & UTILITIES PLAN
C3.03	IMPERVIOUS SURFACE - EXISTING
C3.04	IMPERVIOUS SURFACE - PROPOSED
C3.07	TRANSPORTATION PLAN
C3.08	TRANSPORTATION PLAN - DETAIL
C3.11	DETAILED LAYOUT - NEW BUILDING
C3.12	DETAILED GRADING - NEW BUILDING
C3.31	DETAILED PLANS - SERVICE ROAD
C3.41	DETAILED PLANS - OAK PARK RD.
C3.51	DETAILED PLANS - HOLLYRIDGE DR.-NORTH
C3.52	DETAILED PLANS - HOLLYRIDGE DR.-SOUTH
C4.01	SITE DETAILS
C4.02	SITE DETAILS
C4.03	SITE DETAILS
C4.04	STORMWATER DETAILS
C4.05	UTILITIES DETAILS
L1.01	TREE CONSERVATION PLAN
L1.02	LANDSCAPE PLAN
L1.03	LANDSCAPE AREAS PLAN
L2.01	LANDSCAPE DETAILS
A1.01	FIRST FLOOR PLAN
A1.02	SECOND FLOOR PLAN
A1.03	ROOF PLAN
A2.01	BUILDING ELEVATIONS
A2.02	BUILDING ELEVATIONS
A2.03	TRANSPARENCY CALCULATIONS
DE1.01	SITE LIGHTING PLAN

ASR-SR-25-2019

TRANSACTION

SKETCH PLAN	560263	
ASR	529134	ASR-SR-2019

SHARED PARKING STUDY PARKING REDUCTION SR-25-2019
SHARED PARKING REDUCTION APPLIES IF THE 2 EXISTING RESTAURANTS, THE PEDDLER STEAK HOUSE & CASA CARBONE, ARE LIMITED TO 3,000 SF & 3,200 SF OF OPERATIONS, RESPECTIVELY, BEFORE 5:00PM.

PROXIMITY TO TRANSIT PARKING REDUCTION SR-25-2019
THE DEVELOPMENT MEETS THE TRANSIT REDUCTION REQUIREMENTS BASED ON THE FUTURE TRANSIT PLAN IN THE AREA.

COR OAK PARK PARKING STUDY CONCLUSION SR-25-2019
WITH THE APPROVAL OF 2 PARKING REDUCTIONS, ABOVE, AND THE RESTRICTIONS IN PLACE, THE MINIMUM PARKING SPACES REQUIRED FOR THE DEVELOPMENT IS 163 PARKING SPACES.

BLOCK PERIMETER: AS PER UDO, SEC. 8.3.2.A.2.b, THE SITE BLOCK CONTAINS MORE THAN 1 ZONING DISTRICT, INCLUDING R-4. MAX. BLOCK PERIMETER IS 6,000 LF (LEAST RESTRICTIVE REQUIREMENT). EX. BLOCK PERIMETER OF 4,250 LF MEETS CODE REQUIREMENTS.

CROSS ACCESS:
THE TWO LOTS, THAT SHARE CONTIGUOUS STREET FRONTAGE WITH THE SITE, HAVE EXISTING CROSS ACCESS DRIVEWAYS IN PLACE THAT BENEFIT BOTHE PROPERTIES AND THE SITE.

AS PER UDO SEC. 8.3.5.D.5, CROSS ACCESS REQUIREMENTS DO NOT APPLY TO THE ADJOINER, THAT LACKS CONTIGUOUS STREET FRONTAGE, BECAUSE THE ADJOINER IS OCCUPIED BY A TOWNHOUSE TYPE BUILDING, THE EXISTING IMPROVEMENTS EXCEED THE VALUE OF THE ADJOINER'S LOT AND THERE ARE SLOPE IN EXCESS OF 25% W/IN 10' OF THE PROPERTY LINE.



CALL BEFORE YOU DIG
WWW.NC811.ORG
N.C. ONE-CALL CENTER
IT'S THE LAW!

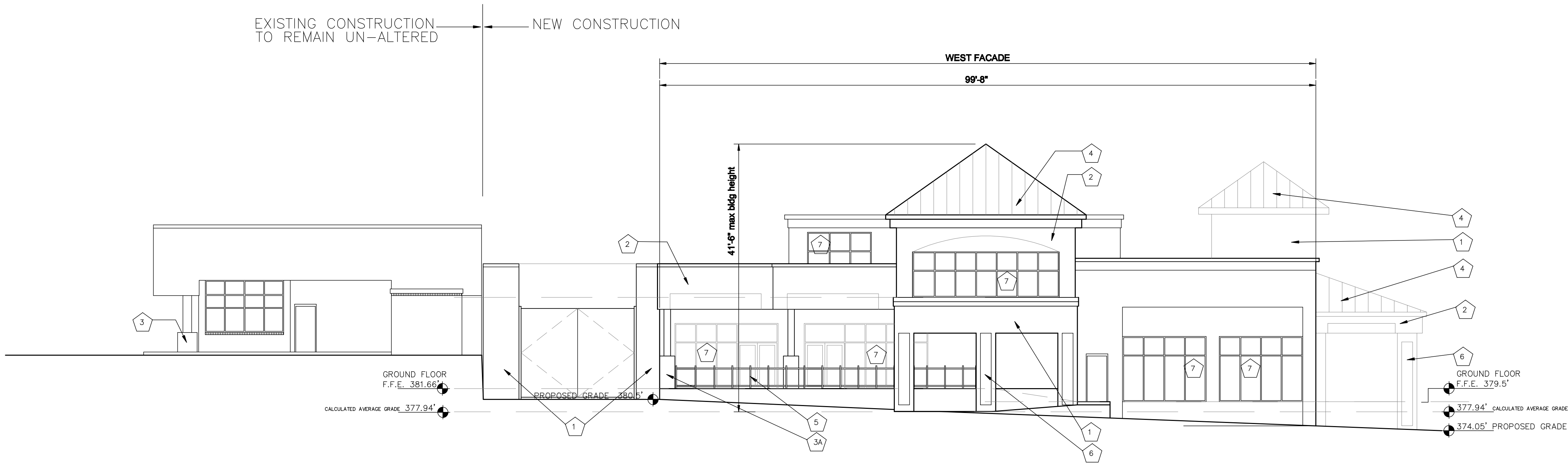
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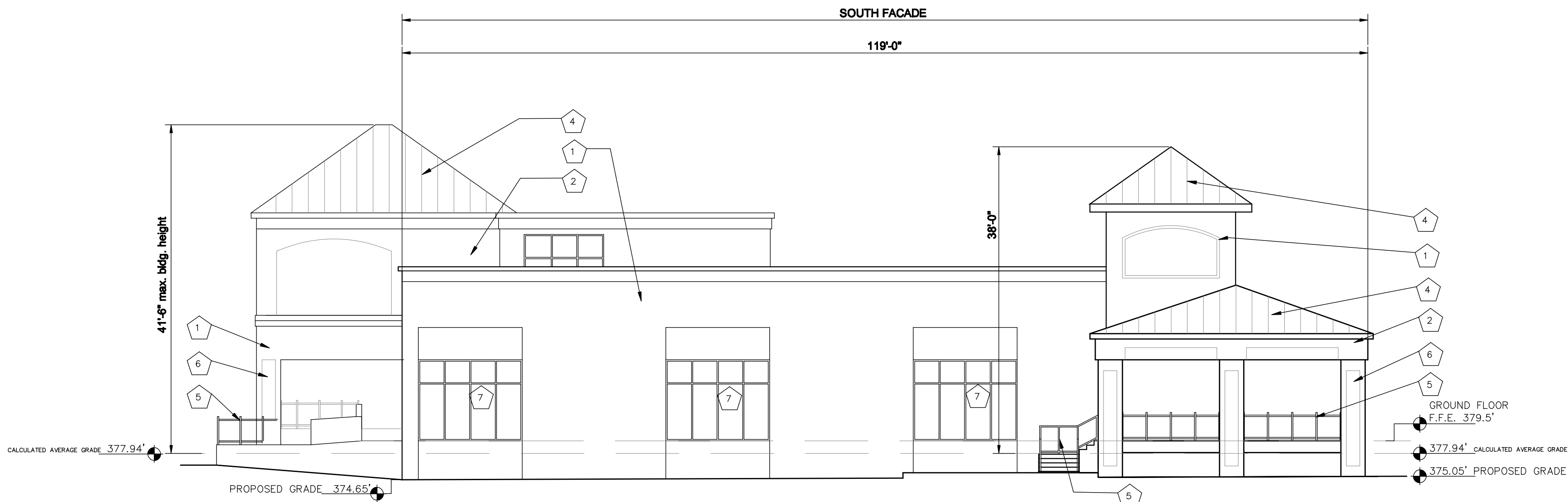
OAK PARK, INC.
Oak Park Shopping Center
6005 GLENWOOD AV. ~ CITY OF RALEIGH ~ WAKE COUNTY ~ NORTH CAROLINA

COVER SHEET

DATE: **APRIL 2, 2019**
DESIGNED BY: **PRM**
DRAWN BY: **PM, SC, MS**
CHECKED BY: **JSJ**
PROJECT No.: **2017140**
DRAWING No.: **W-3813**
SCALE: **AS NOTED**
SHEET No.: **C1.01**



1 WEST ELEVATION
OAK PARK ROAD ELEVATION



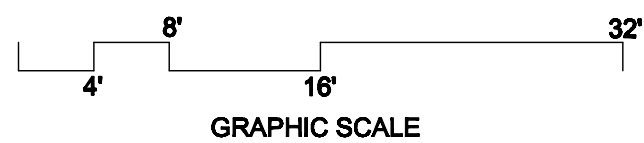
2 SOUTH ELEVATION

NOTES KEYED BY SYMBOL: #

- FACE BRICK TO MATCH EXISTING MAIN BLDG. (RED/BROWN BLEND)
- EFIS PANEL TO MATCH EXISTING MAIN BLDG.(WHITE AND GRAY)
- EXISTING STRUCTURAL COLUMN AT "FRESH" - CONTEXT FOR NEW CONSTRUCTION TO PROVIDE DESIGN CONTINUITY
- STRUCTURAL COLUMN - DETAILED TO MATCH CONTEXT OF EXISTING "FRESH" BUILDING TO PROVIDE DESIGN CONTINUITY
- BLACK STANDING SEAM METAL ROOF TO MATCH EXISTING MAIN BLDG.
- DECORATIVE RAILING - STYLE TO MATCH EXISTING ON SITE- COLOR: BLACK
- DECORATIVE GATE- STYLE TO MATCH COLOR: BLACK
- BRICK PIER- DETAIL TO MATCH HERRINGBONE PATTERN OF EXISTING MAIN BLDG.
- INSULATED GLAZING IN CLEAR ANODIZED ALUM. STOREFRONT TO MATCH EXISTING
- SIGNAGE TO MATCH EXISTING SHOPPING CENTER MOTIF
- RECESSED BRICK PANEL WALL FEATURE
- MASONRY SCREEN WALL

AVERAGE GRADE CALCULATIONS (PER ELEVATION)			
A BUILDING FACADE ELEVATION DRAWING	B PROPOSED GRADE LOW POINT	C PROPOSED GRADE HIGH POINT	D _{AVERAGE} PROPOSED AVERAGE GRADE B+C/2
NORTH FACADE 2/A2.02	380.50'	381.55'	D _N 381.025'
SOUTH FACADE 2/A2.01	374.65'	375.05'	D _S 374.85'
EAST FACADE 1/A2.02	375.05'	381.55'	D _E 378.30'
WEST FACADE 1/A2.01	374.65'	380.50'	D _W 377.575'

BUILDING AVERAGE GRADE CALCULATION	
$D_N + D_S + D_E + D_W / 4 = \text{AVERAGE GRADE FOR BUILDING}$	
$381.025 + 374.85 + 378.30 + 377.575 = 1511.75 / 4 = 377.9375' (377.94')$	



D. ALLEN POOVEY, ARCHITECT
1421 SCALES STREET
RALEIGH, NC 27608
1 919 215 8985
dpoovey@nc.rr.com

DESCRIPTION	DATE	ISSUE/REV.
SITE PLAN APPROVAL SUBMITTAL	2018.08.25	ASR 001
SITE PLAN APPROVAL SUBMITTAL #002	2018.08.14	ASR 002

DATE: 2018.08.14

DATE: DATE:

DATE: DATE:

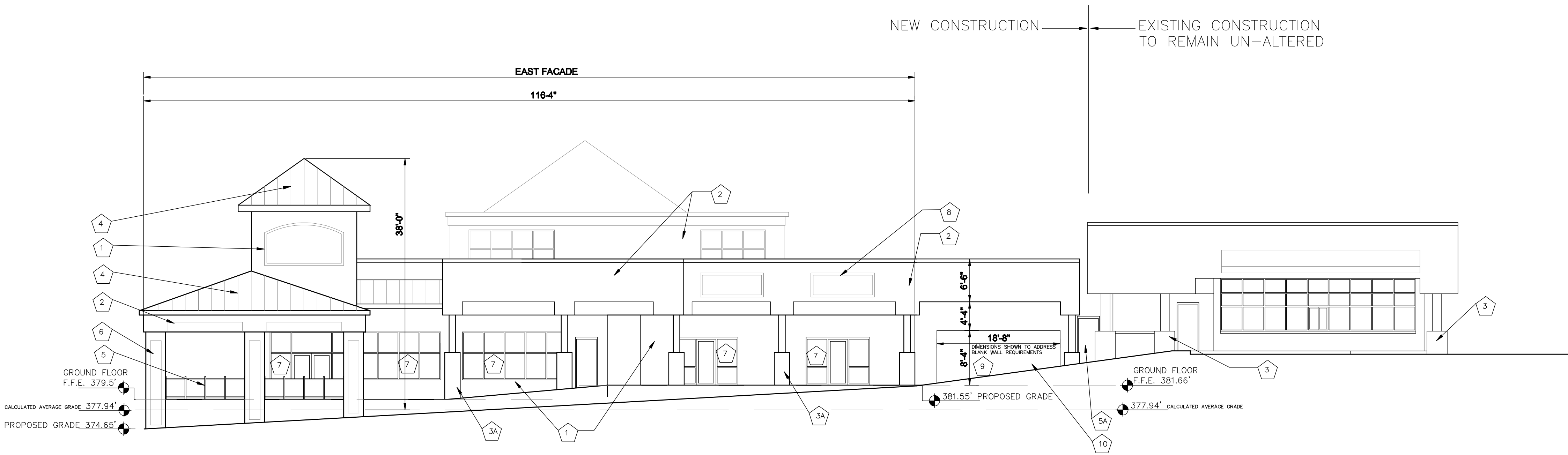
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PROJECT

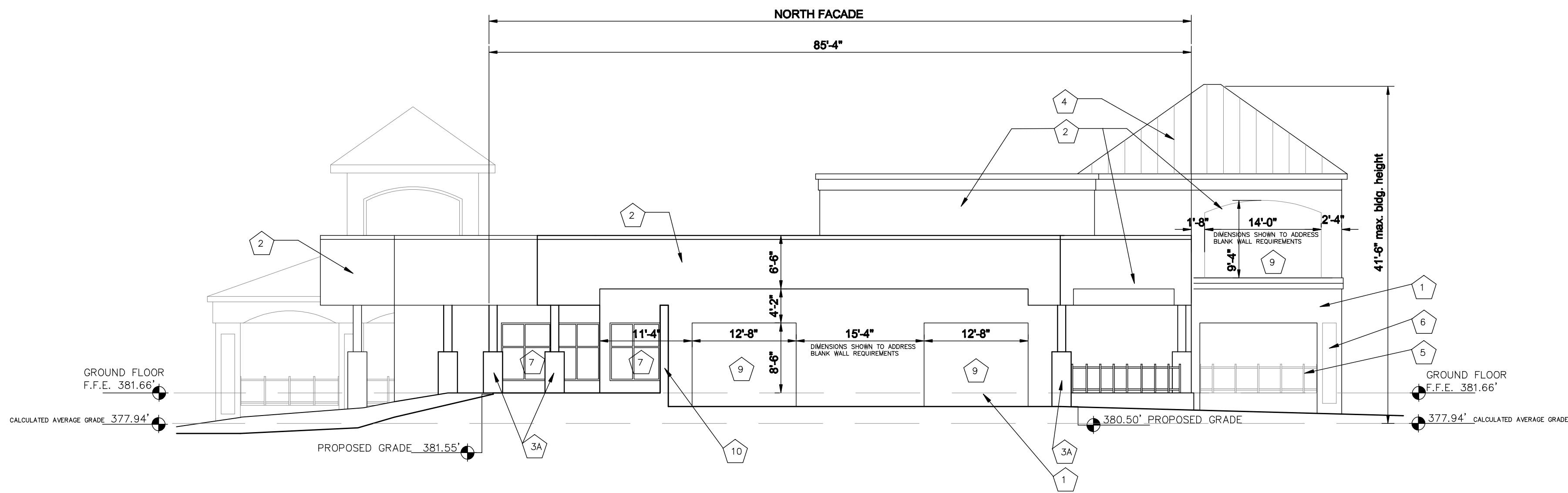
NEW BUILDING FOR OAK PARK SHOPPING CENTER

SHEET NUMBER

A2.01



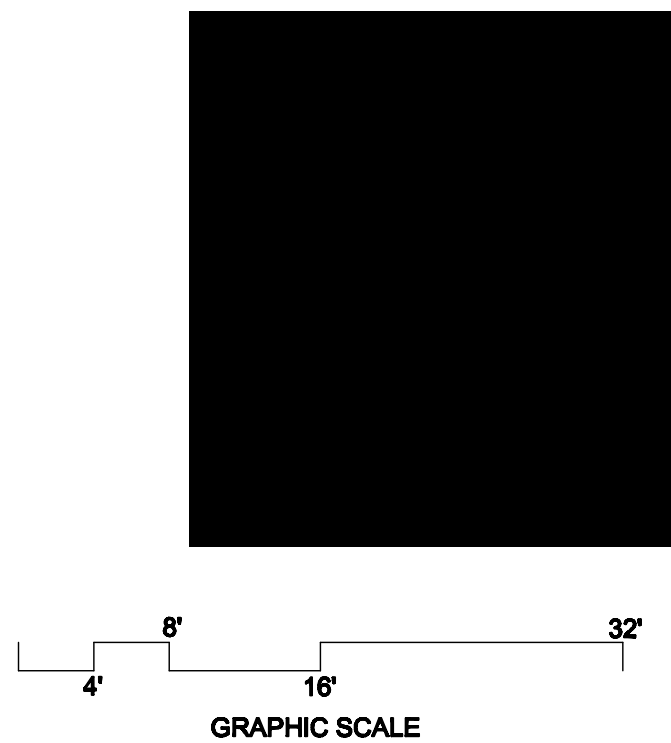
1 EAST ELEVATION
PARKING LOT ELEVATION



2 NORTH ELEVATION

NOTES KEYED BY SYMBOL: #

- 1 FACE BRICK TO MATCH EXISTING MAIN BLDG. (RED/BROWN BLEND)
- 2 EIFS PANEL TO MATCH EXISTING MAIN BLDG.(WHITE AND GRAY)
- 3 EXISTING STRUCTURAL COLUMN AT "FRESH" - CONTEXT FOR NEW CONSTRUCTION TO PROVIDE DESIGN CONTINUITY
- 3A STRUCTURAL COLUMN - DETAILED TO MATCH CONTEXT OF EXISTING "FRESH" BUILDING TO PROVIDE DESIGN CONTINUITY
- 4 BLACK STANDING SEAM METAL ROOF TO MATCH EXISTING MAIN BLDG.
- 5 DECORATIVE RAILING - STYLE TO MATCH EXISTING ON SITE- COLOR: BLACK
- 5A DECORATIVE GATE- STYLE TO MATCH RAILING COLOR: BLACK
- 6 BRICK PIER- DETAIL TO MATCH HERRINGBONE PATTERN OF EXISTING MAIN BLDG.
- 7 INSULATED GLAZING IN CLEAR ANODIZED ALUM. STOREFRONT TO MATCH EXISTING
- 8 SIGNAGE TO MATCH EXISTING SHOPPING CENTER MOTIF
- 9 RECESSED BRICK PANEL WALL FEATURE
- 10 MASONRY SCREEN WALL



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DESCRIPTION	DATE	ISSUE/REV.
SITE PLAN APPROVAL SUBMITTAL	2018.03.25	ASR 01
SITE PLAN APPROVAL SUBMITTAL 1002	2018.08.14	ASR 02

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NEW BUILDING
FOR
OAK PARK SHOPPING CENTER

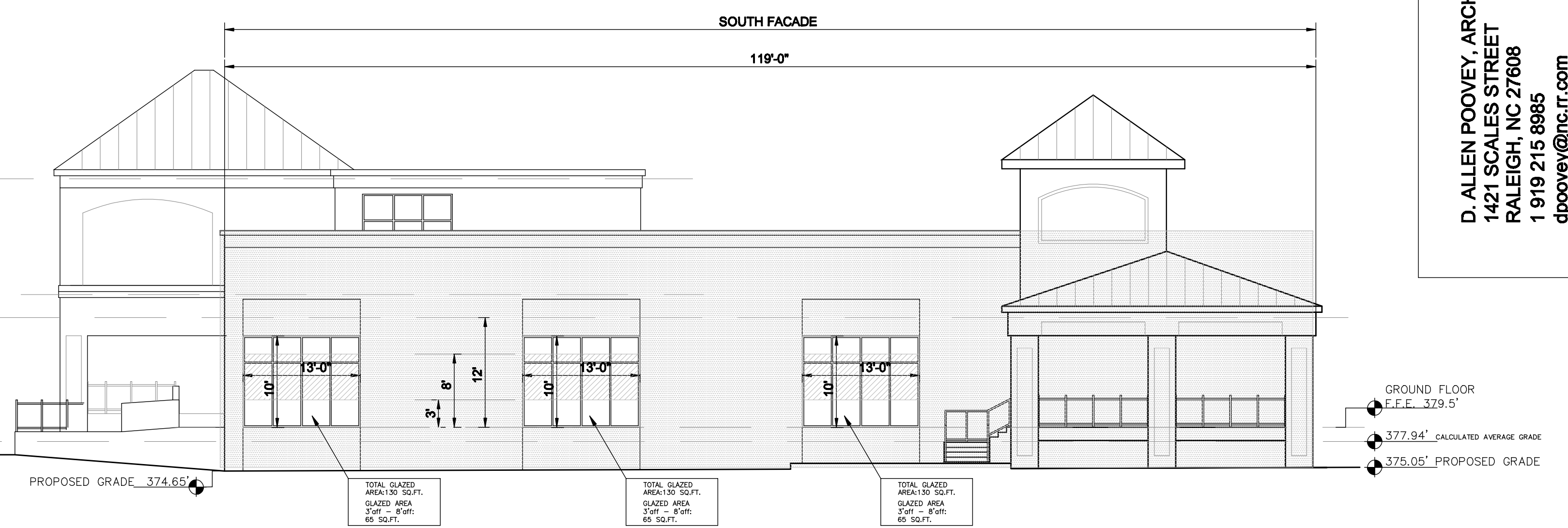
PROJECT

SHEET NUMBER

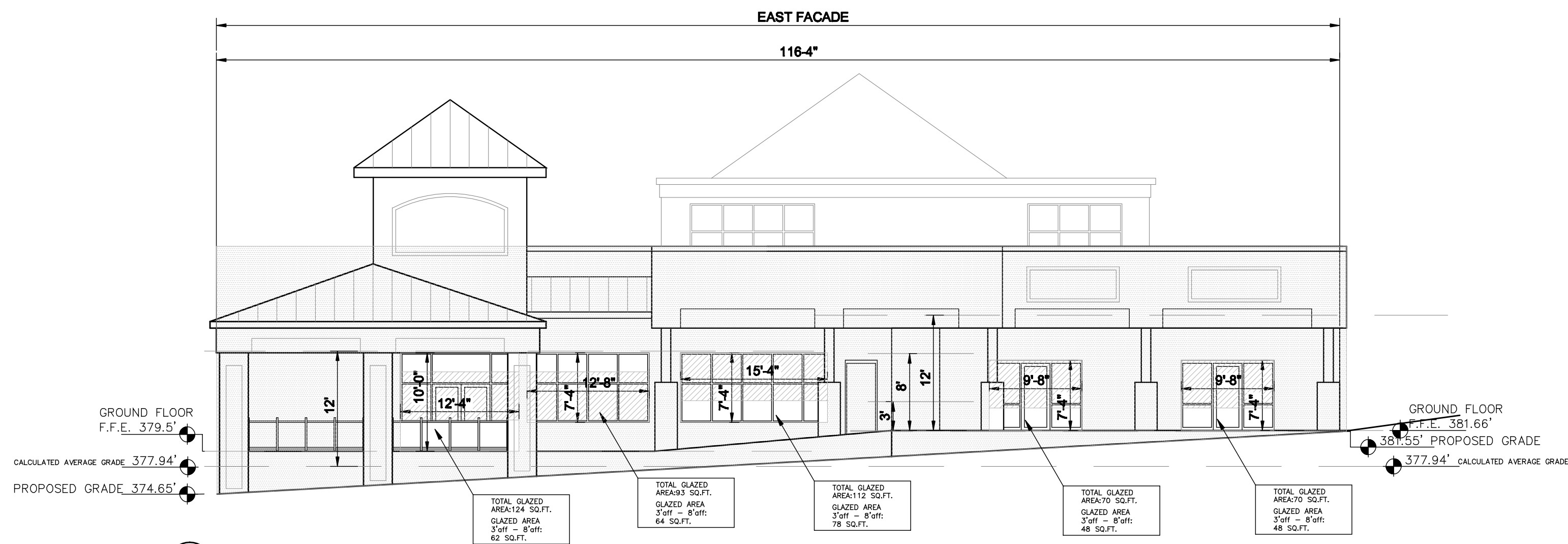
A2.02



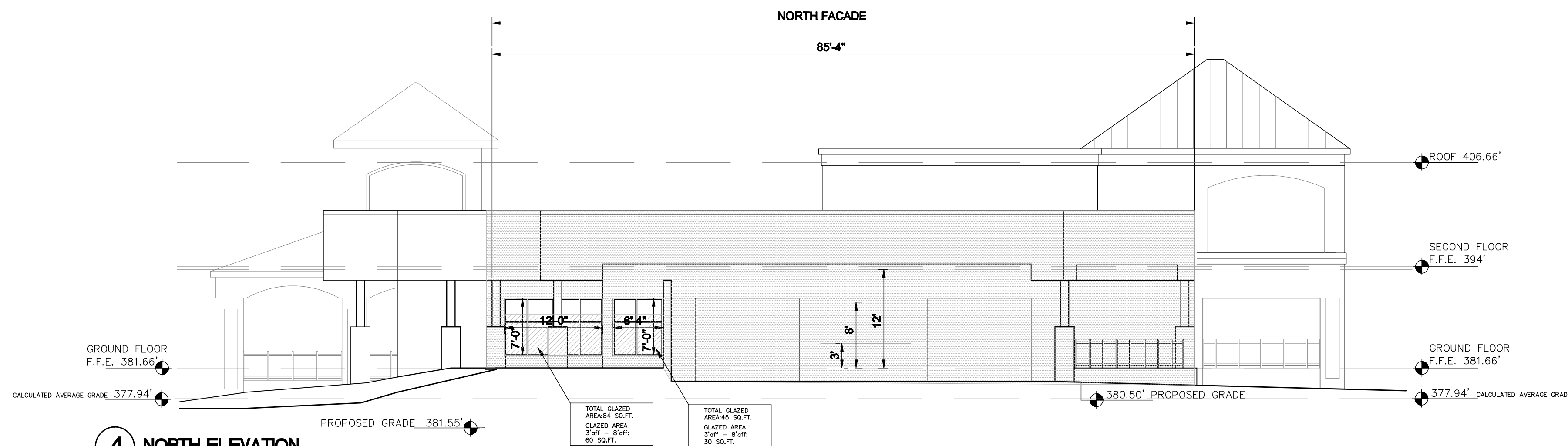
1 WEST ELEVATION
OAK PARK ROAD ELEVATION



2 SOUTH ELEVATION



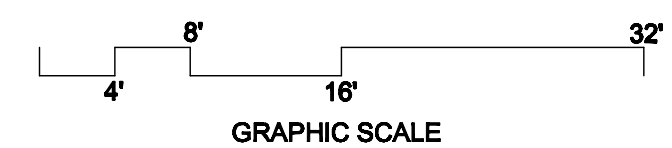
3 EAST ELEVATION
PARKING LOT ELEVATION



4 NORTH ELEVATION

TRANSPARENCY CALCULATIONS (PER ELEVATION)					
A BUILDING FACADE ELEVATION DRAWING	B APPROXIMATE AREA OF FACADE	C APPROXIMATE AREA OF GLAZING	D _{FACADE} PERCENT FACADE GLAZED C/B = D	E APPROXIMATE AREA OF GLAZING 3' off- 8' off	F PERCENT OF GLAZING 3' off- 8' off E/D = F
GROUND LEVEL WEST FACADE* 1/A2.03	1628 SQ.FT.	610 SQ. FT.	D _W = 37.5 33% REQUIRED	305 SQ. FT.	50
SECOND LEVEL WEST FACADE* 1/A2.03	622 SQ. FT.	158 SQ. FT.	D _W = 25.4 20% REQUIRED	NA	NA
SOUTH FACADE 2/A2.03	3095 SQ.FT.	390 SQ. FT.	D _S = 12.6	NA	NA
EAST FACADE 3/A2.03	2650 SQ.FT.	470 SQ. FT.	D _E = 18	NA	NA
NORTH FACADE 4/A2.03	1772 SQ. FT.	128 SQ. FT.	D _N = 7.2	NA	NA

* TRANSPARENCY REQUIREMENTS APPLICABLE TO WEST FACADE ONLY.
WEST FACADE OF BUILDING ONLY PORTION OF FACING CITY OF RALEIGH
RIGHT OF WAY (OAK PARK ROAD).



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SITE PLAN APPROVAL SUBMITTAL	2018.08.25	ASR 001
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NEW BUILDING
FOR
OAK PARK SHOPPING CENTER

A2.03