

# JEFFERS LAW FIRM SR-26-2017



Zoning: **OX-3-GR/ NCOD**  
CAC: **South Central**

Drainage Basin: **Pigeon House**  
Acreage: **0.2**  
Sq. Ft.: **4,882**

Planner: **Daniel Stegall**  
Phone: **(919) 996-2712**

Applicant: **Jeffers Law Firm**  
Phone: **(919) 546-0099**





## Administrative Action Administrative Site Review

City of Raleigh  
Development Plans Review Center  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2626  
www.raleighnc.gov

**Case File / Name:** SR-26-17 / Jeffers Law Office Building (918 New Bern Avenue)

**General Location:** This site is located on the south side of New Bern Avenue and west of the intersection of New Bern Avenue and North State Street.

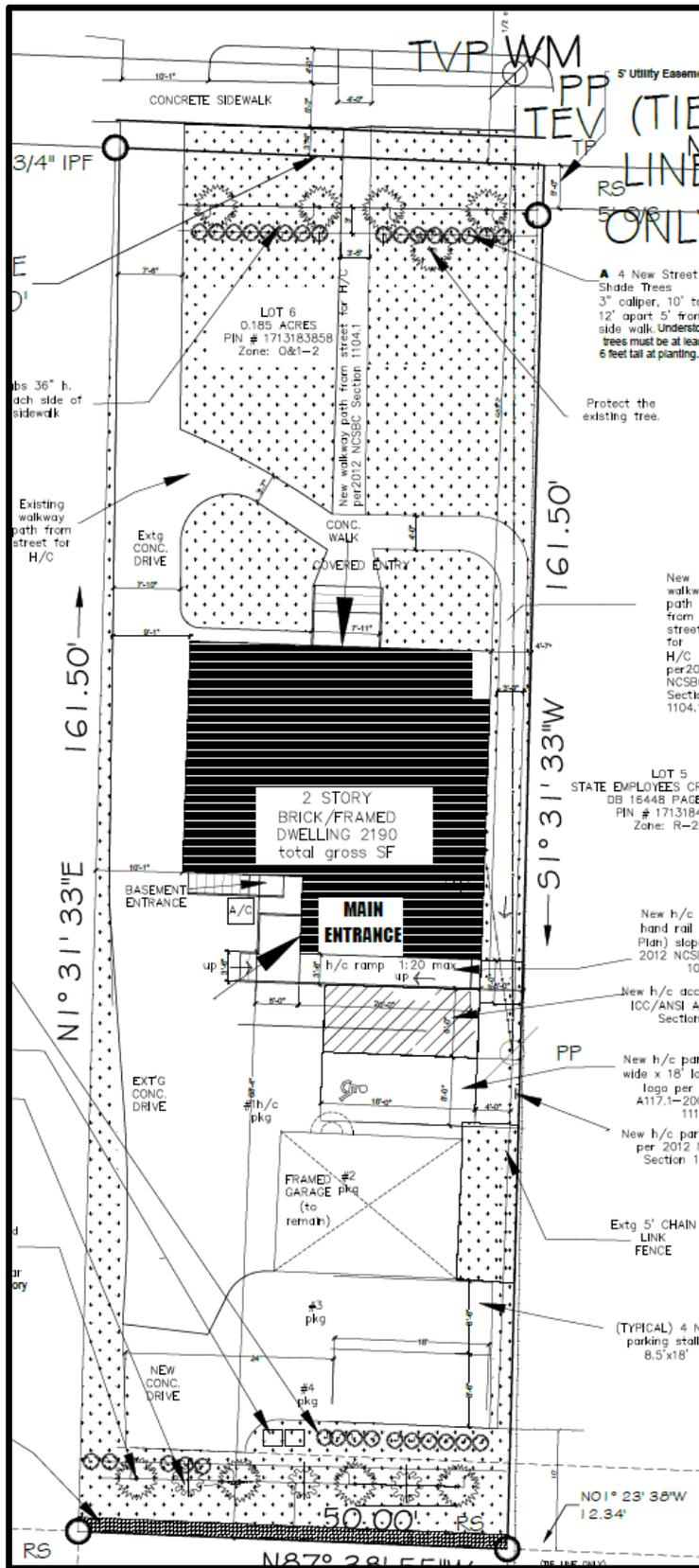
**CAC:** South Central

**Request:** Development of a 0.2 acre tract zoned OX-3-GR/ NCOD. This is an existing single family home being converted into an office building. The gross floor area of the existing building is 2,190 square feet.

**Cross-Reference:** Transaction# 506330



SR-26-17 Location Map



SR-26-17 Preliminary Site Plan

<b>Code Conformance:</b>		<b>Code Section(s)</b>
<b>Zoning District:</b>	OX-3-GR	<a href="#">2.1</a> , <a href="#">3.1</a>
<b>Overlay District:</b>	NCOD- New Bern – Edenton: The existing building setback from New Bern Road shall remain as it is (approximately 60' from the primary street, 9' feet from western side yard setback and 5 feet from eastern side yard setback.)	<a href="#">5.1</a>
<b>Parking:</b>	4 spaces required based on 1/500sf of office space. 4 spaces are provided. Bicycle parking is not required.	<a href="#">7.1.3.C.</a>
<b>Street Type(s):</b>	New Bern Avenue is classified as an Avenue 4-Lane with parallel parking and is maintained by NCDOT. New Bern Avenue is part of a one-way pair in this location so 1/2 of a 77' right of way is required to be dedicated to the City.	<a href="#">8.4</a>
<b>Streetscape:</b>	New Bern Avenue is a Major Street maintained by NCDOT. A C2 yard is required. The required streetscape is a 10' sidewalk and a 6' planting strip with street trees. A fee-in-lieu of construction is required to meet this standard.	<a href="#">8.5</a>
<b>Setbacks/Frontage:</b>	The required front setback is minimum 5' and the required setback from the side lot line is 1' or 6'.	<a href="#">3.4</a> , <a href="#">3.2</a> , <a href="#">2.2</a>
<b>Neighborhood Transitions:</b>	A Type 1 neighborhood transition yard is required at the rear of the site abutting R-10 zoning. 4 New rear yard shade trees and 3 new understory trees and shrubs. An 8' masonry wall will be located along the rear property line.	<a href="#">3.5</a>
<b>Transitional Protective Yards:</b>	No transitional yard required aside from the above requirement.	<a href="#">7.2.4</a>
<b>Stormwater:</b>	61% of impervious surface is being proposed. The site is exempt from storm water controls per UDO 9.2.2.A1 b.ii. This includes any plot plan or site plan situated on any lot of ½ acre or less in size recorded prior to 05/01/01.	<a href="#">9.2</a>
<b>Tree Conservation:</b>	This site is less than two acres in size and therefore exempt from Article 9.1, Tree Conservation.	<a href="#">9.1</a>
<b>Variances, Design Adjustments, Administrative Alternates:</b>	None.	
<b>Other:</b>	None.	

OFFICIAL ACTION: Approval with conditions

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**CONDITIONS OF  
APPROVAL:**

**Prior to issuance of a mass land disturbing permit for the site:**

1. In accordance with Part 10A Section 9.4.4, a surety equal to the cost of clearing, grubbing and reseeding the site, shall be paid to the City;

**Prior to issuance of building permits:**

2. Submit a revised site plan set with the following items shown and labeled: the required dedication of ½ of 77' of right-of-way, the dedication of a 5' general utility placement easement, and a 20' slope easement outside the right-of-way;
  3. A recorded plat shall be completed prior to building permit showing the required dedication of ½ of 77' right-of-way, dedication of 5' general utility placement easement, and a 20' slope easement outside the right-of-way;
  4. A fee-in-lieu for 1' of sidewalk width to supplement the existing 5' sidewalk shall be paid prior to building permit;
- 

I hereby certify this administrative decision.

Signed: (Planning Dir.) Kenneth Bowen (BT) Date: 5/26/2017

Staff Coordinator: Daniel L. Stegall

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN  
THE PROCESS.

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**FINDINGS:** City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 02/24/17, submitted by Joseph H. Yongue, Sr.

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**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date: 05/26/2020**

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

**WHAT NEXT?:**

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.

**CITY OF RALEIGH**  
**BUILDING CODE SUMMARY**  
**FOR ALL COMMERCIAL PROJECTS**  
**(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)**  
 (Reproduce the following data on the building plans sheet 1 or 2.)



Name of Project: Attorney Jessie Jeffers, Office  
 Address: 918 New Bern Avenue Suite #: NA  
 Owner or Authorized Agent: Jessie Jeffers Phone: \_\_\_\_\_  
 Email: jefferslawfirm@bell.south.net Fax: 919-546-0098  
 Owned By:  Privately  City/County  State  
 Code Enforcement Jurisdiction:  City  County  City/County  
 Name of Jurisdiction: City of Raleigh

**PROJECT SUMMARY:**  
**Building Description:**  
 An Existing Brick Veneer One Story with upper left story (Cape Cod Style) with storage basement Residence; built approximately 50+ years ago is being converted with minor changes from residential use for the use of a law firm by the attorney as owner.

**Scope of Work:**  
 For this application, all proposed changes are interior for the structure to provide an entrance for the rear of the house into the reception area, secretary area, conference room, and attorney's office on the first floor and administrative office on the second floor. The basement is to be unoccupied only for use for Admin storage. Site-work for minimal changes for site plan compliance.  
**Code Compliance Summary:**  
 Base Site Development: supplemental to 4 parking stalls including one HIC, ADA accessibility, Grandfathered Existing (no changes) Garage, new planting, trash bin location designation, storm water impervious calculations.

**Alternative Means of Compliance Request:**  
 Grandfathered Existing Garage use

**Lead Design Professional/Project Coordinator:**  
 DESIGNER FIRM NAME LICENSE TELEPHONE  
 Architectural: YONGUE ARCHITECTS, PA Joseph H. Yonque, Sr. 50826 919-544-0145  
 Civil: NA  
 Electrical: TBD  
 Fire Alarm: NA  
 Plumbing: TBD  
 Mechanical: TBD  
 Sprinkler-Standpipe: NANA  
 Structural: TBD  
 Precast: NA  
 Trusses: NA  
 Retaining Walls >5' High: NA  
 Other: TBD

Note: Special Inspections to be listed at end of this document.

Building Code:  2015 NC Existing Building Code  
 2012 North Carolina State Building Code (NCSBC)  
 2012 NC Rehab  
 New Building:  New Building  Shell Building  First Time Interior Completion  
 Addition  Alteration to Shell  
**Accessibility Compliance Form (when applicable)**  
 Existing Building:  Renovation  Interior Completion  Tenant Alteration  
 Reconstruction  Repair  Alteration to Shell  
 Change of Use/Tenant Space  Change of Occupancy  
 Note: Zoning Review May Be Required for Change of Use or Occupancy  
 Original Occupancy: Residential  
 Proposed Occupancy: Commercial

**OCCUPANCY INFORMATION**  
**Primary Occupancies:** Assembly:  A-1  A-2  A-3  A-4  A-5  
 Business  Educational  Factory-Industrial:  F-1  F-2  
 High-Hazard:  H-1  H-2  H-3  H-4  H-5  
 Institutional:  I-1  I-2  I-3  I-4  
 I-3 USE CONDITION:  1  2  3  4  5  
 Mercantile Residential:  R-1  R-2  R-3  R-4  
 Storage:  S-1  S-2  High-piled  
 S-1 SPECIAL CONDITION:  Repair Garage (406.6)  
 S-2 SPECIAL CONDITION - Parking Garage:  Open (406.3)  Enclosed (406.4)  
 Utility and Miscellaneous

**Accessory Occupancies:**  
 Accessory Uses (Indicate Percentages): NA  
 Incidental Uses: NA

**Special Occupancies:**  402  403  404  405  406  407  408  
 409  410  411  412  413  414  415  
 416  417  418  419  420  421  422  
 423  424  425  426  427

**Special Provisions:** NA

Mixed Occupancy:  No  Yes Separation: \_\_\_\_\_  
 Exception: \_\_\_\_\_  
 Non-Separated Mixed Occupancy (508.3.2)  
 Separated Mixed Occupancy (508.3.3)  

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

**ALLOWABLE AREA AND HEIGHT CALCULATIONS**  
 THIS SECTION FOR NEW, ADDITIONS, CHANGE OF USE, AND INTERIOR COMPLETIONS

EXTERIOR WALL	ACTUAL LENGTH	OPEN LENGTH	WIDTH OF PUBLIC WAY OR OPEN SPACE
North	36'		
South	36'		
East	36'		
West	36'		
<b>Total</b>	<b>144'</b>	<b>P</b>	<b>F</b>

INCREASE FRONTAGE: NA %  
 SPRINKLERS: NA %

FRONTAGE INCREASE FORMULA ALLOWABLE AREA FORMULA  

$$I_f = \frac{100(F - 0.25)W}{P}$$

**BOTH BUILDING AND TENANT MUST BE INDICATED ON CHART BELOW**

STORY NO.	OCCUPANCY	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 503 AREA	(C) % OPEN SPACE INCREASE	(D) SPRINKLER INCREASE	(E) ALLOWABLE FLOOR AREA OR UNLIMITED	(F) RATIO OF ACTUAL/ALLOWABLE	(G) MAXIMUM BUILDING AREA	(H) SEPARATION RATIO REQUIRED
1	Commercial	1138		none	NA	1138	1:1	1138	NA
2	Commercial	1052		none	NA	1052	1:1	1052	NA

1 Frontage area increases from Section 506.2 are computed thus:  
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = 36 ft (F)  
 b. Total Building Perimeter = 144 ft (P)  
 c. Ratio (FP) = 36 / 144 = 0.25 (FP)  
 d. W = Minimum width of public way = 20 ft (W)  
 e. Percent of frontage increase  $I_f = 100 [(F/P) - 0.25] \times W/30 = 0$  (%)  
 2 The sprinkler increase per Section 506.3 is as follows:  
 a. Multi-story building  $I_s = 200$  percent  
 b. Single story building  $I_s = 300$  percent  
 3 Unlimited area applicable under conditions of Sections Group B, F, M, S, A-4 (507.1, 507.2, 507.3, 507.4, 507.7); Group A motion picture (507.10); Malls (507.11); and H-2 aircraft paint hangars (507.8).  
 4 Maximum Building Area = total number of stories in the building x E but not greater than 3 x E.  
 5 The maximum area of parking garages must comply with 406.3.5. The maximum area of air traffic control towers must comply with 412.3.2.

**ALLOWABLE HEIGHT**

MOST RESTRICTIVE USE (GROUP)	ALLOWABLE HEIGHT (TABLE 503)	INCREASE FOR SPRINKLERS	SHOWN ON PLANS	CODE REFERENCE
Type of Construction	Type IV		Type	Table 601
Building Height in Feet	H = 29 ft	H + 20 ft = NA ft	H = 12 ft	Table 503
Building Height in Stories	S = 2	S + 1 =	S = 1	Table 503

**BUILDING DATA**  
 THIS SECTION REQUIRED FOR ALL PROJECTS

**Construction Type:**  I-A  I-B  II-A  II-B  III-A  III-B  
 IV-HT  V-A  V-B  
 Mixed construction:  No  Yes Types \_\_\_\_\_  
**Sprinklers:**  No  Yes  NFPA 13  NFPA 13R  NFPA 13D  
 Partially Sprinklered  Special Suppression  
**Standpipes:**  No  Yes Class:  I  II  III  Wet  Dry  
**Fire District:**  No  Yes (Appendix D) Flood Hazard Area:  No  Yes  
**Building Height:** 29 Feet 2 Story  
**Basement:**  No  Yes  
**Mezzanine:**  No  Yes  
**High Rise:**  No  Yes Life Safety Plan Sheet # (if provided): \_\_\_\_\_

**Gross Building Area:**

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
Basement	1138	0	1138
Ground Floor	1138	0	1138
Mezzanine			
2nd Floor	1052	0	1052
3rd Floor	NA	NA	NA
4th Floor	NA	NA	NA
<b>TOTAL</b>	<b>3328</b>		

Area of Project Tenant/Alteration/Renovation: 0  
 Area of Construction: 2188

**FIRE PROTECTION REQUIREMENTS**  
 THIS SECTION REQUIRED FOR ALL PROJECTS

Life Safety Plan Sheet #, if Provided \_\_\_\_\_

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	REQ'D*	RATING	PROVIDED (W/ "R" REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	DESIGN # FOR RATED JOINTS
<b>Bearing walls Exterior</b>								
North	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)
East	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)
West	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)
South	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)
<b>Nonbearing walls Exterior</b>								
North	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)
East	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)
West	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)
South	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)
<b>Interior Non Bearing Walls</b>								
North	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)
East	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)
West	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)
South	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)
<b>Structural frame, including columns, girders, trusses</b>								
Floor construction, including supporting beams and joists. List construction type.	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)
Floor Ceiling Assembly	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)
Columns Supporting Floors	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)
Roof construction, including supporting beams and joists**	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)
Roof Ceiling Assembly	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)
Columns Supporting Roof	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)
Shafts - Exit Enclosures	NA	NA	NA	NA	NA	NA	NA	NA
Shafts - Other (describe)	NA	NA	NA	NA	NA	NA	NA	NA
Shafts - Other (describe)	NA	NA	NA	NA	NA	NA	NA	NA
Corridor Separation	NA	NA	NA	NA	NA	NA	NA	NA
Party/Fire Wall Separation	NA	NA	NA	NA	NA	NA	NA	NA
Incidental Use Separation	NA	NA	NA	NA	NA	NA	NA	NA
Dwelling/Sleeping unit Separation	NA	NA	NA	NA	NA	NA	NA	NA
Smoke Barrier Separation	NA	NA	NA	NA	NA	NA	NA	NA
Tenant Separation	NA	NA	NA	NA	NA	NA	NA	NA

\*Indicate section number permitting reduction  
 \*\* Indicated if using Table 601 Note C exception

**PERCENTAGE OF WALL OPENING CALCULATIONS**  
 THIS SECTION FOR ADDITIONS, NEW, AND CHANGE OF USE

Allowable openings per Table 705.8  
NA

**WALL LEGENDS**  
 THIS SECTION REQUIRED FOR ALL PROJECTS

CHECK IF THE FOLLOWING ARE PRESENT AND INDICATE BY A WALL LEGEND ON ALL PLANS  
 Fire Partitions 708  Fire Walls 705  Fire Barriers 706  Smoke Partitions 710  
 Smoke Barriers 709  Shaft Enclosure 707

**LIFE SAFETY SYSTEM REQUIREMENTS**  
 THIS SECTION REQUIRED FOR ALL PROJECTS

Emergency Lighting:  No  Yes  
 Exit Signs:  No  Yes  
 Fire Alarms:  No  Yes  
 Smoke Detection Systems:  No  Yes  
 Panic Hardware:  No  Yes

**EXIT REQUIREMENTS**  
 NUMBER AND ARRANGEMENT OF EXITS  
 THIS SECTION REQUIRED FOR ALL PROJECTS

FLOOR, ROOM AND/OR SPACE DESIGNATION	MINIMUM NUMBER OF EXITS REQUIRED	TRAVEL DISTANCE	ARRANGEMENT MEANS OF EGRESS
First Floor	1	75'	NA
Second Floor	1	75'	NA

1 Corridor dead ends (Section 1017.3)  
 2 Single exits (Section 1015.1; Section 1019.2)  
 3 Common Path of Egress Travel (Section 1014.3)

**OCCUPANT LOAD AND EXIT WIDTH**  
 THIS SECTION REQUIRED FOR ALL PROJECTS

USE GROUP AND/OR SPACE DESIGNATION	(a) AREA <sup>1</sup> SQ. FT.	(b) AREA <sup>1</sup> PER OCCUPANT	(c) EGRESS WIDTH PER OCCUPANT (TABLE 1005.1)		(d) EXIT WIDTH (in) <sup>2,3,4,5</sup>			
			STAIR	LEVEL	STAIR	LEVEL	STAIR	LEVEL
Commercial	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)

1 See Table 1004.1.1 to determine whether net or gross area is applicable.  
 2 Minimum stairway width (Section 1009.1); min. corridor width (Section 1017.2); min. door width (Section 1008.1.1)  
 3 Minimum width of exit passageway (Section 1012.2)  
 4 The loss of 1 means of egress shall not reduce the available capacity to less than 50 percent of the total required (Section 1005.1)  
 5 Assembly occupancies (Section 1025)

**ASSEMBLY OCCUPANCY INFORMATION**  
 THIS SECTION FOR ASSEMBLY USE AREAS

Space Description	Area - SF	Occupant Load Factor	Occupant Load	Exit Width	Exit Quantity
First Floor	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)
Second Floor	(TBD)	(TBD)	(TBD)	(TBD)	(TBD)
<b>TOTAL</b>					

**PLUMBING FIXTURE REQUIREMENTS**  
 THIS SECTION REQUIRED FOR ALL PROJECTS

OCCUPANCY	WATER CLOSETS	URINALS	LAVATORIES	SHOWERS/TUBS	DRINKING FOUNTAINS
Building	1		1		
Total Required					
Total Provided					

BUILDING	NUMBER OF BUILDING DRAINS	TOTAL FUTURE UNIT LOAD	WATER SERVICE SIZE	NUMBER OF WATER SERVICES	TOTAL FUTURE UNIT LOAD	NOTES
(TBD)						

**Structural Design Loads**

Structure Conforms to "Conventional Light Frame Provisions of 2308

- Yes, continue \_\_\_ No, Go to Line 9
- Roof Live Load = TBD PSF
- Floor Live Load = TBD PSF
- Ground Snow Load (Pg) = TBD PSF
- Basic Wind Speed, 3 sec. Gust = TBD MPH
- Seismic Site Class = TBD
- Seismic Design Category = TBD
- Go to Line 44
- Live Loads
- Floor Live Load (indicate area) = TBD PSF
- Floor Live Load (indicate area) = TBD PSF
- Live Load Reduction used in Design DYs/DNo
- Roof Live Load = TBD PSF
- Roof Snow Load Data
- Flat-Roof Snow Load (P<sub>f</sub>) = TBD PSF
- Snow Exposure Factor (Ce) = TBD
- Snow Importance Factor (Is) = TBD
- Thermal Factor (Ct) = TBD
- Wind Design Data
- Basic Wind Speed, 3 sec. Gust = TBD MPH
- Wind Importance Factor (Iw) = TBD
- Wind Exposure
- Internal Pressure Coefficient
- Components and Cladding Loads = TBD
- Wind Base Shear, Wx = TBD
- Wind Base Shear, Wyx = TBD
- Earthquake Design Data
- Seismic Important Factor (Ie) = TBD
- Occupancy Category
- Mapped Spectral Response Acceleration Ss = TBD
- Mapped Spectral Response Acceleration S1 = TBD
- Site Class = TBD
- Spectral Response Coefficient, Sds = TBD
- Spectral Response Coefficient, Sd1 = TBD
- Seismic Design Category = TBD
- Building (Structural) System = TBD
- Basic Seismic Force Resisting System = TBD
- Seismic Response Coefficient (Cs) = TBD

Area  
 (If multiple exposures are used indicate directions)  
 (If elements are not designed by the registered design professional)  
 (Provide soils report if Site Class is not "D")

40 Response Modification Factor, R = TBD  
 41 Analysis Procedure Used = TBD  
 42 Seismic Base Shear, Sx = TBD KIPS  
 43 Seismic Base Shear, Sy = TBD KIPS  
 44 Soil Data  
 45 Presumptive Soil Bearing Pressure = TBD PSF  
 46 Bearing Pressure per Soils Report = TBD PSF  
 47 Deep Foundation Type = TBD  
 48 Deep Foundation Allowable Loads = TBD TONS, downward  
 49 Uplift = TBD KIPS  
 50 Lateral = TBD KIPS

**ACCESSIBLE PARKING**

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	PROVIDED	# OF ACCESSIBLE SPACES PROVIDED	TOTAL # ACCESSIBLE PROVIDED
Single	4	4	1	1
<b>TOTAL</b>	<b>4</b>	<b>4</b>	<b>1</b>	<b>1</b>

**SPECIAL APPROVALS**

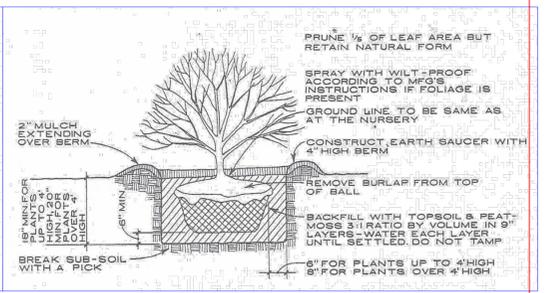
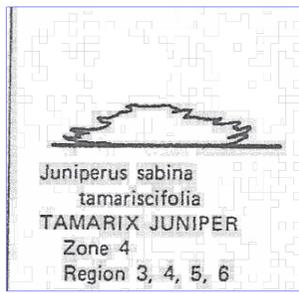
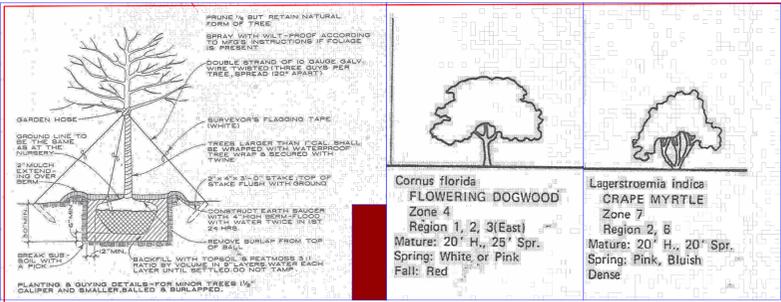
(Describe special approvals from local jurisdictions, County or State Department of Health, NC Department of Insurance, International Code Council, etc.)  
 Grand-father location of existing garage

40 Response Modification Factor, R = TBD  
 41 Analysis Procedure Used = TBD  
 42 Seismic Base Shear, Sx = TBD KIPS  
 43 Seismic Base Shear, Sy = TBD KIPS  
 44 Soil Data  
 45 Presumptive Soil Bearing Pressure = TBD PSF  
 46 Bearing Pressure per Soils Report = TBD PSF  
 47 Deep Foundation Type = TBD  
 48 Deep Foundation Allowable Loads = TBD TONS, downward  
 49 Uplift = TBD KIPS  
 50 Lateral = TBD KIPS

**ACCESSIBLE PARKING**

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	PROVIDED	# OF ACCESSIBLE SPACES PROVIDED	TOTAL # ACCESSIBLE PROVIDED
Single	4	4	1	1
<b>TOTAL</b>	<b>4</b>	<b>4</b>	<b>1</b>	<b>1</b>

**SPECIAL APPROVALS**



1 Tree Planting  
A2 SCALE: NTS

2 Tree Type A  
A2 SCALE: NTS

3 Tree Type B  
A2 SCALE: NTS

4 Shrub Type C  
A2 SCALE: NTS

5 Shrub Planting  
A2 SCALE: NTS

New Bern Ave. is classified as an Avenue 4-Lane, Parallel parking street (UDO 8.4.6.A). Because New Bern Ave. is part of a one-way pair in this location half of a 77' r/w will be required to be dedicated. This is declared herein and proposed and shall be constructed. New Bern Ave. is maintained by NCDOT and any encroachment or Driveway permits will be required to be coordinated with NCDOT (RSDM 5.7) by the Owner. In addition to the right-of-way the 5' general utility easement and a 20' slope easement will be required for future construction of the ultimate section of New Bern Ave street and streetscape. The required streetscape is based on the street section is a 10' sidewalk and a 6' planting strip with street trees (UDO 8.4.6.A). Because the frontage of this property is so small a fee-in-lieu of construction will be required as arranged by the Owner to meet this standard.

**Plantings Schedule** UDO Type C2

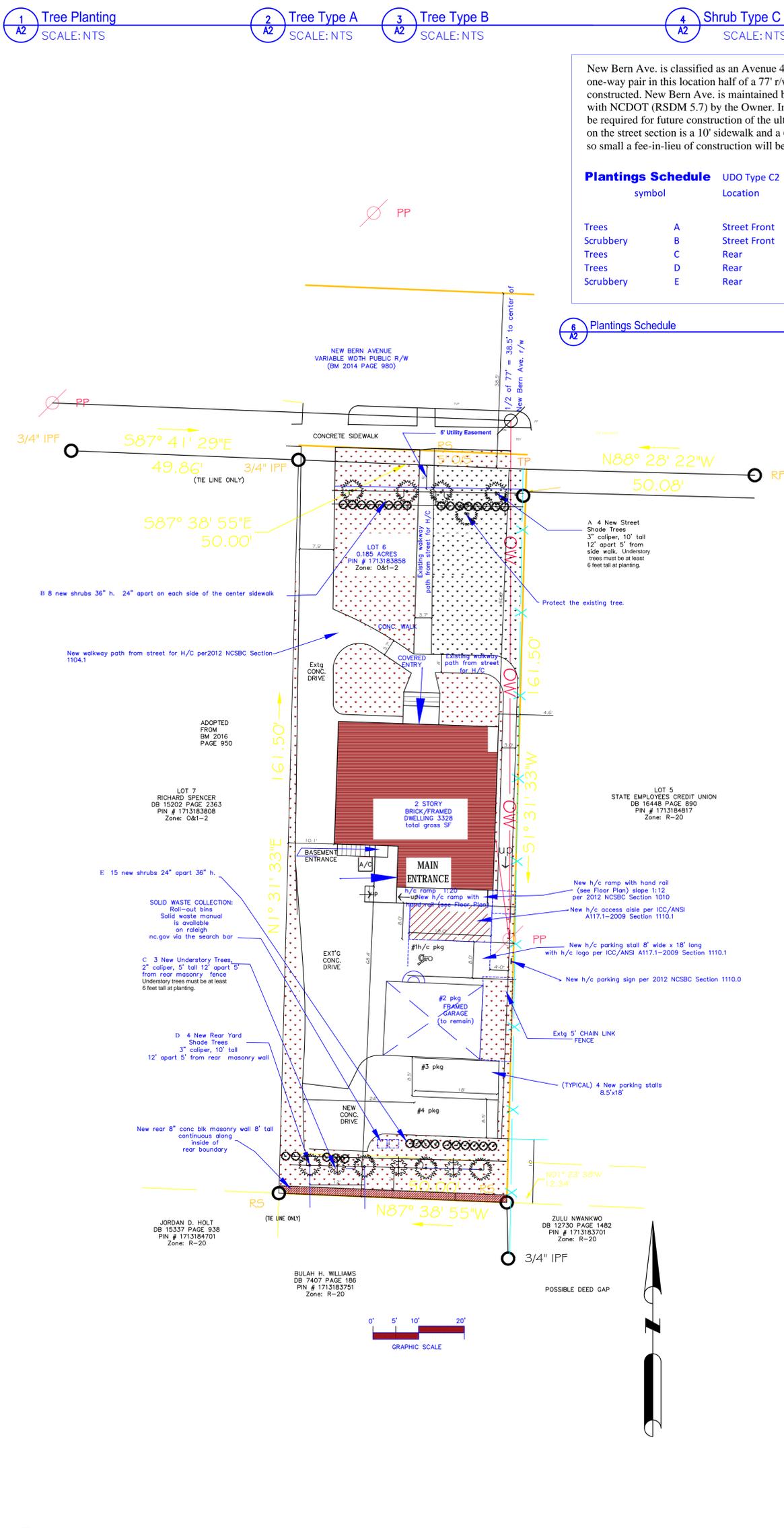
symbol	Location	Quantity	ht.	Spacing	Species		
Trees	A	Street Front	4	4	10'	15'	Cornus Florida
Scrubbery	B	Street Front	15	16	3'	3'	Juniperus Sabina Tamariscifolia
Trees	C	Rear	4	4	10'	15'	Cornus Florida
Trees	D	Rear	3	3	10'	5'	Lagerstroemia Indica
Scrubbery	E	Rear	15	15	5'	3'	Juniperus Sabina Tamariscifolia

6 Plantings Schedule  
A2

**General Contractor Notes:**

- 61% impervious is proposed. Exempt per UDO 9.2.2.A.1.b.ii A 1/2 ac or less sized grandfathered lot approved prior to 5/1/01, but subject to impervious limitation of subsection A.4 of 65% impervious for an OX-zoned parcel.
- Prior to placement of additional impervious, a stormwater tracking permit must be obtained by the Contractor. A post construction as-built impervious surface area survey shall be prepared by a NC licensed surveyor is required prior to final inspection approval of the construction.
- The maximum slope of the ramp is illustrated herein and proposed and shall be constructed per 1:12 (2012 NCSBC Section 11010).
- Accessible parking space is illustrated herein and proposed and shall be constructed shall as 8' wide with a 8' wide access aisle (ICC/ANSI A117.1-2009 Section 502).
- Ramp is illustrated herein and proposed and shall be constructed with handrail shall comply with 2012 NCSBC Sections 1010, 1012, and 1104.1.
- The illustrated herein and proposed is for a continuous accessible routes from the street to the rear Main Entrance and from the handicapped parking adjacent to the Main Entrance it shall be constructed to comply with 2012 NCSBC Section 1104.1.
- Handicapped Signage is illustrated herein and proposed and shall be constructed at accessible parking space per 2012 NCSBC Section 1110.1.
- Details are illustrated herein and proposed and shall be constructed for accessible parking signage.
- This is a Change of Use- no new utilities. Client to use ex.5/8" meter and 4" sewer service per account in CCB.
- Solid waste collection is illustrated herein and proposed for Roll-out Bins with locations as noted on the plan per solid waste services manual . . . available on raleighnc.gov via the search bar.
- The building gross floor area is illustrated herein on the Cover Sheet's Building Code Summary.
- Parking calculations based on UDO Art.7.1 Section 7.1.4. Vehicle parking Reductions C.4 Urban Frontage Page 7-8 is as one parking space per 500 square feet is required is illustrated herein and proposed and shall be constructed.
- Labels of the adjacent property zoning districts is illustrated on the Proposed Site drawing.
- Tree planting schedule for site site to include species caliper and height is illustrated herein and proposed and shall be constructed per UDO Sec.7.2.7 page 7-22 for Plant Material provisions.
- A C2 street protective yard is illustrated herein and proposed and shall be constructed as required since New Bern is a NCDOT maintained road and may not allow plantings in the right of way. The proposed is illustrated herein and shall be constructed clear of the NCDOT right of way per UDO Sec.7.2.4 page 7-16 for Type C2 yard requirements Clear of the NCDOT right of way per UDO Sec.7.2.4 page 7-16 for Type C2 yard requirements
- Understory trees must be at least 6 feet tall at planting is illustrated herein and proposed and shall be constructed per Art 7.2 Sec.7.2.7.C.3 page 7-22. No design adjustments are required.
- The Owner shall make arrangements with The Transportation Reviewer's comments regarding a fee-in-lieu for the road improvements including the street tree.
- The plans are to scale and includes dimensioning for existing and proposed streets, sidewalks, rights-of-way, parking spaces, parking aisles, driveways, etc.
- New Bern Ave. is classified as an Avenue 4-Lane, Parallel parking street (UDO 8.4.6.A). Because New Bern Ave. is part of a one-way pair in this location half of a 77' r/w will be required to be dedicated. This is illustrated herein and proposed and shall be constructed.
- New Bern Ave. is maintained by NCDOT and any encroachment or Driveway permits will be required to be coordinated with NCDOT (RSDM 5.7) by the Owner.
- In addition to the right-of-way the 5' general utility easement and a 20' slope easement will be required for future construction of the ultimate section of New Bern Ave street and streetscape. The required streetscape is based on the street section is a 10' sidewalk and a 6' planting strip with street trees (UDO 8.4.6.A). Because the frontage of this property is so small a fee-in-lieu of construction will be required as arranged by the Owner to meet this standard.
- Change of use- no new utilities. client to use ex.5/8" meter and 4" sewer service per account in CCB.
- Understory trees must be at least 6 feet tall at planting.

8 General Notes for Construction  
A2



7 PROPOSED SITE PLAN  
A2 SCALE: 1" = 10'

NOT FOR CONSTRUCTION

SHEET No. A-2  
REVISION # 3 JAN 27 April 2017  
OF TOTAL SHEETS: 8

Designer Proj. No. 170126 JJ

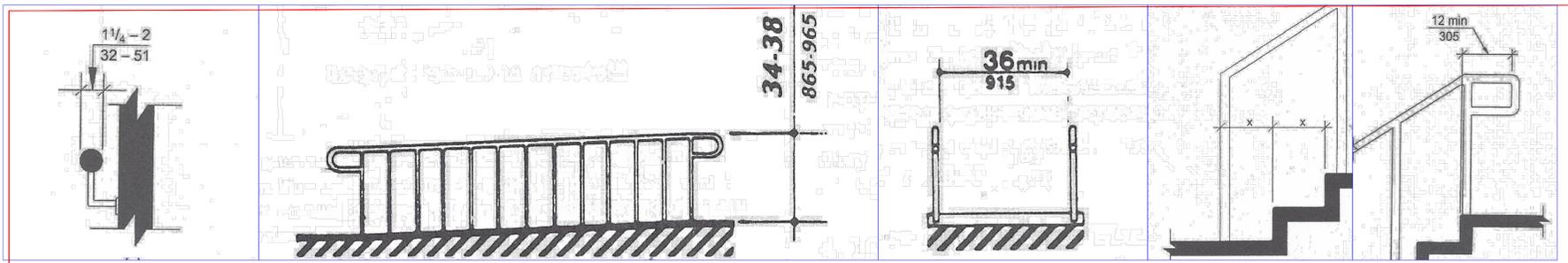


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**Jeffers Law Office**  
Application for Site Plan Approval  
Transaction Number: 506330  
SR - 26 - 17 PIN #: 1713183858

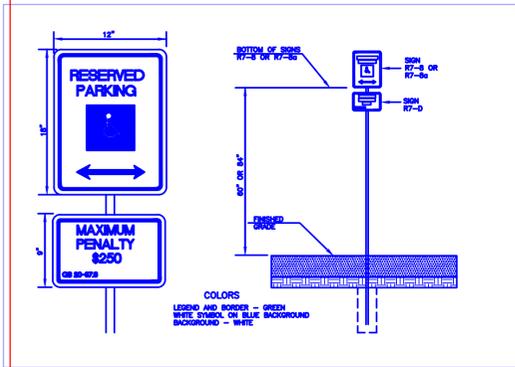
DATE: 01/24/17  
DESIGNER: JY Yongue  
DN.BY: VA  
CK.BY: JHY  
REV.:

A Renovated Residence for an Attorney's Office at 918 New Bern Avenue, Raleigh, NC 27601  
0.20ac SOUTH CENTRAL CAC, PIGEON HOUSE BASIN, OX & GR ZONING, and NCDD OVERLAY. ASB for Change of Use.  
Attorney Jessie Jeffers  
p.o. box 761  
Raleigh, NC 27602  
email: jefferslawfirm@bell.south.net tel. 919-546-0099



Round Handrail 36" off      36" off metal picketed hand rail. Extended 12" at landings      36" min. clearance      handrail 36" off for stairs: no lip at nosing

1 hand rail at steps, extend 12" at bottom and top of landings, no lip at step nosing's



2 Typical Handicapped Exterior Parking Lot Sign (Not to scale)  
Locate centerline at rear edge of adjacent sidewalk

- The Americans with Disabilities Act mandates that handicapped spaces must be marked in front of the parking space with signs displaying the international symbol of accessibility. The bottom of the sign must be mounted at least 5 feet from the ground.
- The standard spaces must be 8 feet across and the length of a standard parking spot. There needs to be an access aisle between handicapped spots that measures at least 5 feet across and is the length of the parking space. This allows room for individuals to use wheelchairs, walkers and other devices, or to deploy wheelchair lifts from the vehicle.
- Wheelchair ramps must also consist of a solid, regular, stable material. Soft, loose or irregular surfaces can lead to wheel mobility issues. Each end of the ramp must have a level landing area as wide as the ramp itself. The ramp to the sidewalk changes directions; the landing in between ramps must be a minimum of 60 inches long by 60 inches wide.
- This ramps is to slope from the first floor to the outside side of the ramp. The upper gripping surface of the handrail should stand between 34 and 38 inches from the surface of the ramp. This handrail is continuous, it must extend at least 12 inches at the lower end of the ramp, parallel with the ground.
- While the maximum running slope herein for this ramp is 1:12.
- There are no curbs between the parking and sidewalks or access aisle for the h/c
- A new sidewalk is to annex to the existing and be a minimum 36" continuous for h/c access from the street and City sidewalk to the rear Main entrance ramp.

The Americans with Disabilities Act mandates that handicapped spaces must be marked in front of the parking space with signs displaying the international symbol of accessibility. The bottom of the sign must be mounted at least 5 feet from the ground. Parking lots are required to have at least one van accessible space for every six standard handicapped spaces. The sign for these spaces should notate "van accessible."

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Ramps also have a maximum length of 30 feet. This means that for any height greater than 30 inches, multiple ramps are necessary. A collection of ramps can be as long as needed, but no single section of ramp can go beyond 30 feet without a landing for rest.

Specifications do not require handrails on all types of ramps. However, if the ramp stands higher than 6 inches, or is more than 72 inches wide, it must have handrails on both sides of the ramp. The upper gripping surface of the handrail should stand between 34 and 38 inches from the surface of the ramp. If handrails are not continuous, they must extend at least 12 inches at each end of the ramp, parallel with the ground.

3 Typical Notes: Handicapped Exterior Parking

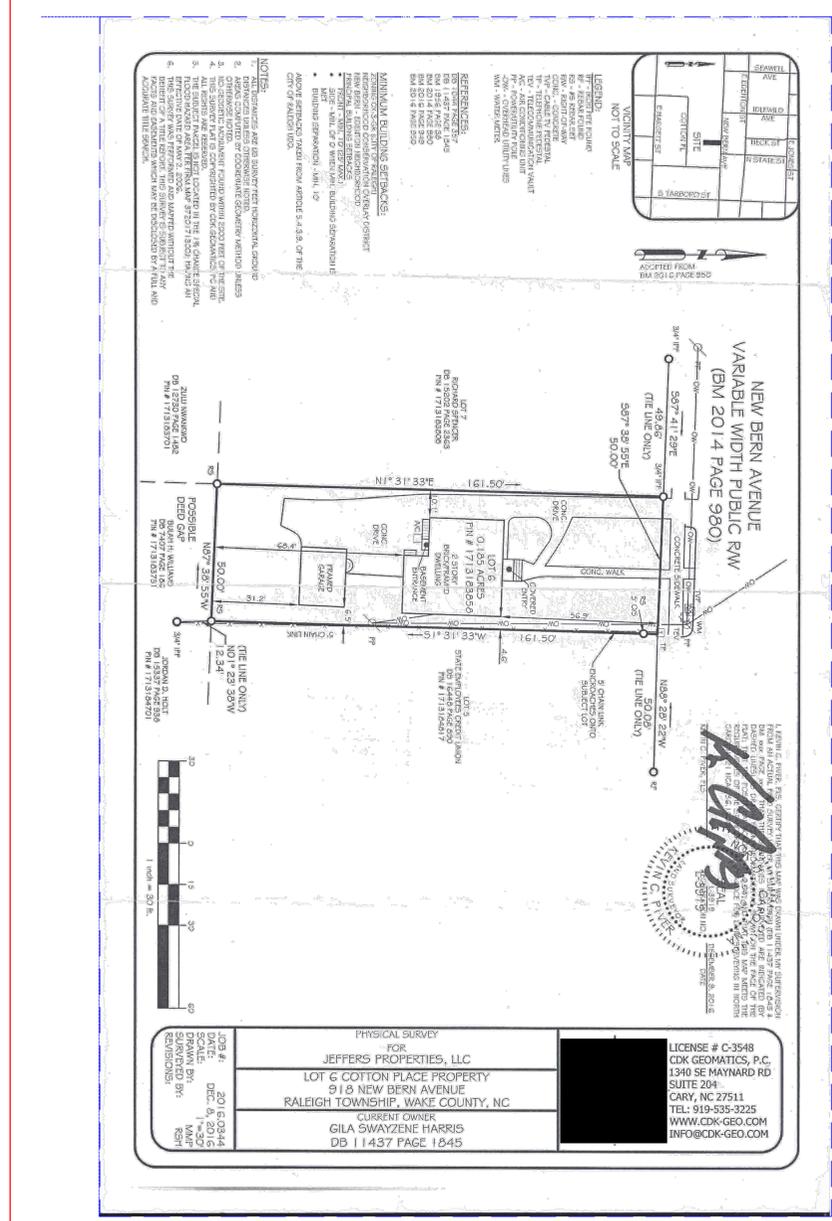
While the maximum running slope for a ramp is 1:12, exceptions can be made when they are required due to space limitations. Provide ramps with the least possible running slope. Work area equipment can decrease the width of the ramp below 36 inches if it is essential to the work being performed.

SITE TOTAL		8060
A	760	
B	811	
C	217	
D	197	
E	1072	
F	121	
TOTAL Pervious	3178	
DELTA Impervious	4882	
Percent Impervious	61%	

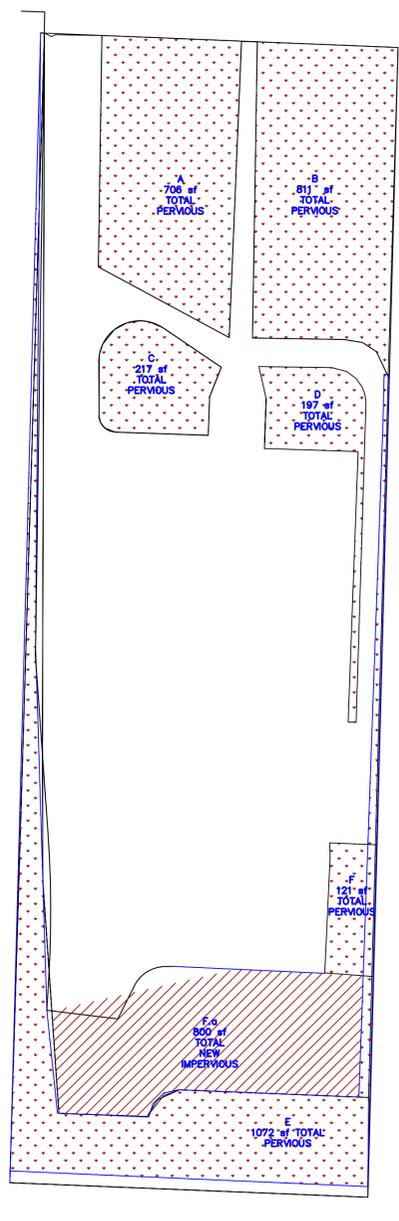
Raleigh UDO Parking requirements			
Statutory	1	Space Per	500 Sq. Ft. of building
Required	4.38	Pk'g Stalls	2190 Sq. Ft. used space
Use	4	3	plus 1 h/c

4 Site Impervious Calculations

5 Required number of Parking spaces per Raleigh UDO Art.7.1 Section



6 EXISTING SITE PLAN (from Surveyor)



7 SITE PLAN Impervious Surfaces Diagram, Scale: 1"=30'

NOT FOR CONSTRUCTION  
DATE: 02/21/17  
A1  
REVISION # 3 JHY  
27 April 2017  
SHEET NO. 3

Designer: Prof. No. 170126 JJ  
DATE: 02/21/17

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NOBIS OVERLAY: ASB for Change of Use  
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