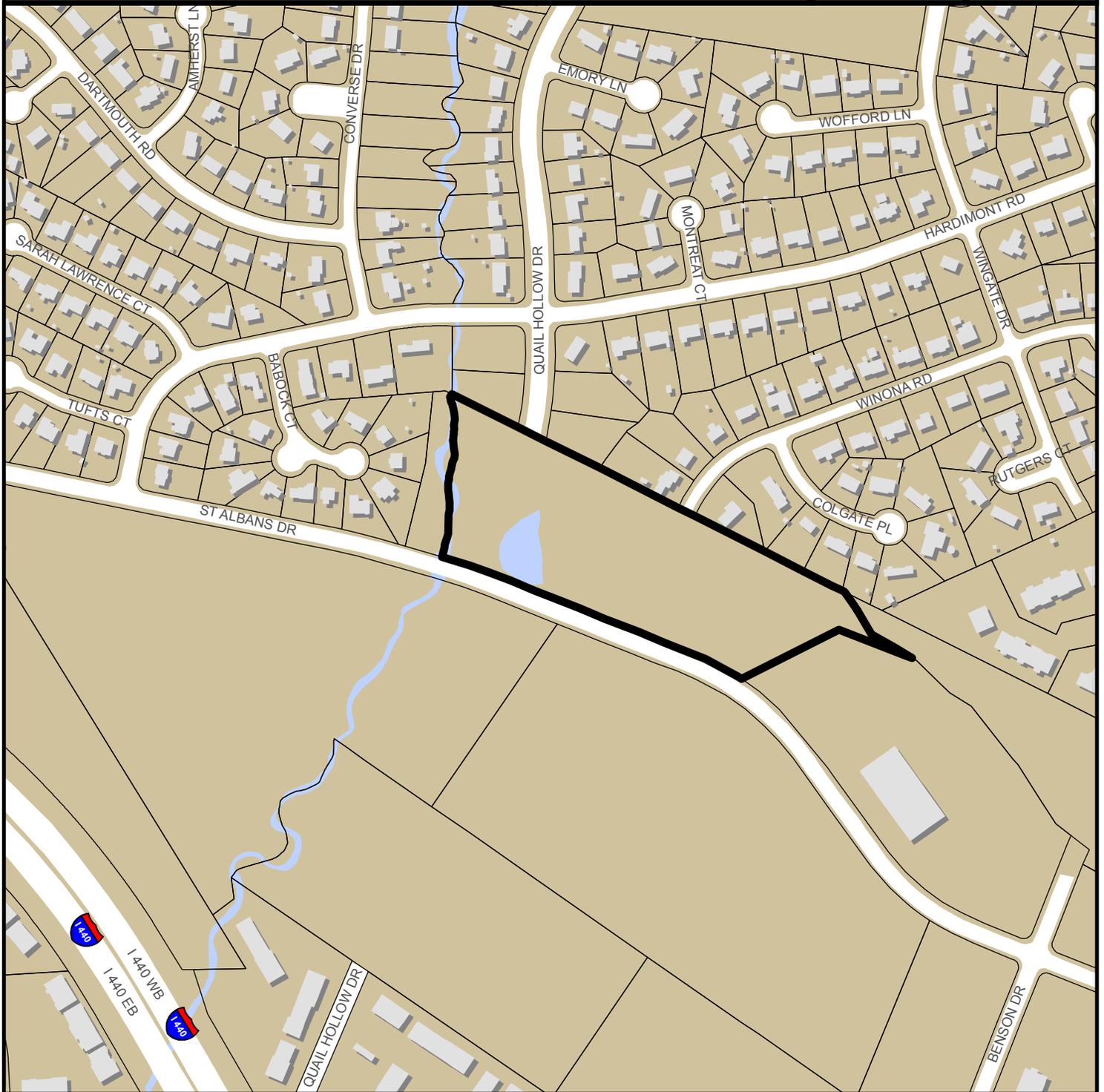


# THE RESERVE AT NORTH HILLS

## SR-27-2017



0 300 600 Feet

Zoning: **OX-5-GR-CU, CM**

CAC: **Midtown**

Drainage Basin: **Big Branch**

Acreage: **8.79**

Sq. Ft./ units: **278,458/ 200**

Planner: **Michael Walters**

Phone: **(919) 996-2636**

Applicant: **Northview Partners**

Phone: **(919) 277-1132**





# Administrative Action Administrative Site Review

City of Raleigh  
Development Plans Review Center  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2626  
www.raleighnc.gov

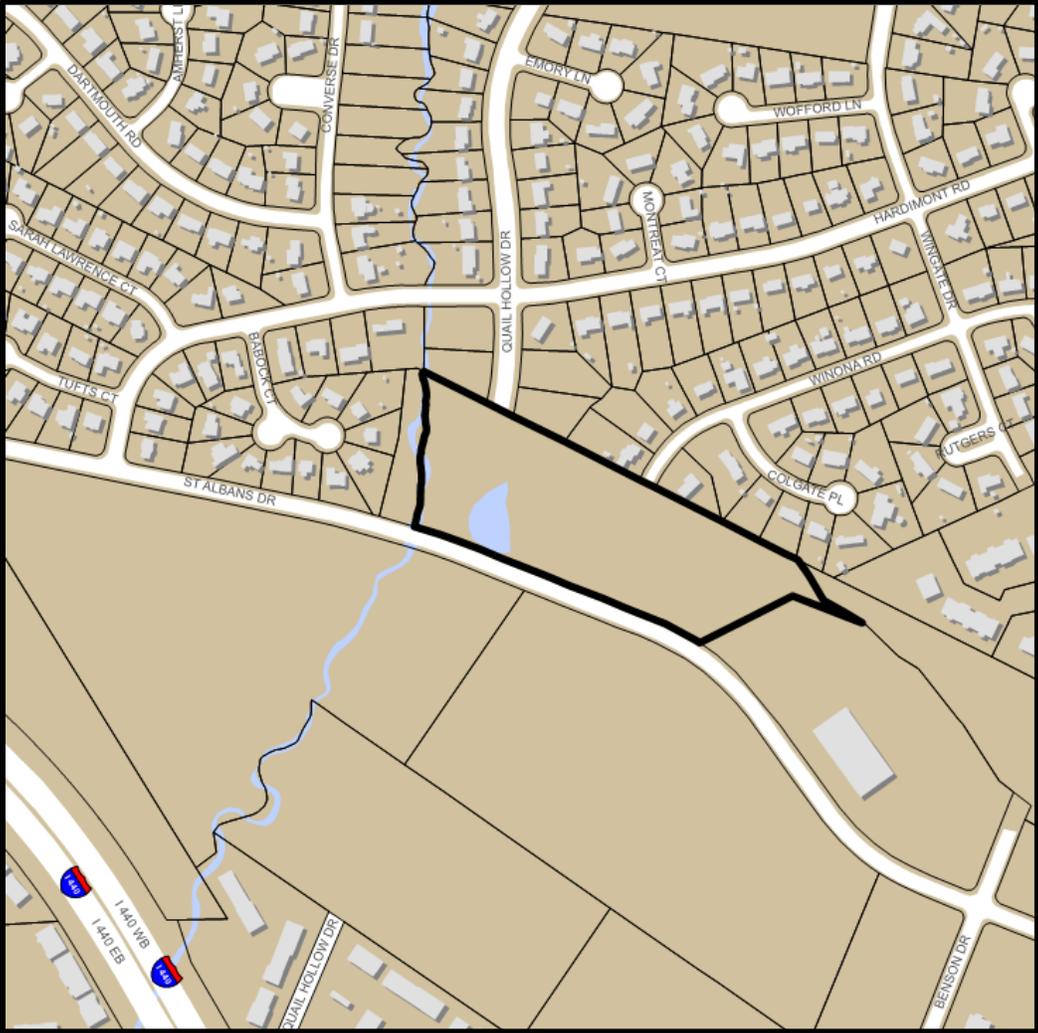
**Case File / Name:** SR-27-17, The Reserve at North Hills

**General Location:** This site is located on the north side of St. Albans Drive, east of the intersection of St. Albans Drive and Hardimont Road and is inside the city limits.

**CAC:** Midtown

**Request:** Development of an 8.79 acre tract zoned OX-5-GR CU, and CM into a 278,458 square foot, 5 story, 200 unit congregate care community.

**Cross-Reference:** TR# 507044, Z-60-98



SR-27-17 Location Map



## Design Adjustment Staff Response



**DEVELOPMENT  
 SERVICES  
 DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495  
 Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

<b>PROJECT</b>	Project Name: The Reserve at North Hills	Date completed Application received: 6/20/2017
	Case Number: SR-27-2017	Transaction Number: 507044

<b>DEPARTMENT RESPONSE/RECOMMENDATION</b>	Staff <b>SUPPORTS</b> the Design Adjustment based upon the findings in these applicable code:			
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access		<input type="checkbox"/> UDO Art. 8.4 New Streets	
	<input type="checkbox"/> UDO Art. 8.5 Existing Streets		<input type="checkbox"/> Raleigh Street Design Manual	
	<input checked="" type="checkbox"/> Other			
	DEPARTMENT	REPRESENTATIVE SIGNATURE	DEPARTMENT	REPRESENTATIVE SIGNATURE
	<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering	Daniel G. King, PE <i>[Signature]</i>	<input checked="" type="checkbox"/> Transportation	Jason Meyers
	<input type="checkbox"/> Engineering Services		<input type="checkbox"/> PRCR	
	<input type="checkbox"/> Public Utilities			
	<b>Findings:</b> Staff supports the attached request based on environmental conditions and existing zoning conditions that limit the ability to provide a street connection.			

**Development Services Director or Designee Action:** Approve  Approval with Conditions  Deny

*[Signature]*  
 Authorized Signature: **MELANIE W. RICHIE, PE**  
 ENGINEERING MANAGER  
 Date: **7/18/2017**

\*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.

<b>CONDITIONS</b>	
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Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

<b>Code Conformance:</b>		<b>Code Section(s)</b>
<b>Zoning District:</b>	OX-5-GR CU, and CM	<a href="#">3.1</a>
<b>Overlay District:</b>	NA	<a href="#">5.1</a>
<b>Parking:</b>	<p><b>Vehicle</b>  Required (200 units/3 +1 space/400 sf of work area)  = 84 spaces  Proposed Surface 119 spaces + garage 70 = 189.  (Req'd/proposed surface =119/84= 141%)</p> <p><b>Bicycle = NA</b></p>	<a href="#">7.1.2</a>
<b>Street Type(s):</b>	<p>Avenue 2-Lane, divided</p> <p>Construction of the ultimate section is required for 1/2 of the 48' b-b street, curb and gutter, sidewalks, street trees, and any additional items required for construction of this street.</p> <p>St.Albans Dr.is classified as an Avenue 2-Lane, Divided Street by the COR Street Plan.This street section consists of a 76' right-of-way with a 48' b-b street with street trees and 6' sidewalks on both sides</p>	<a href="#">8.4</a>
<b>Streetscape:</b>	Commercial	<a href="#">8.5</a>
<b>Setbacks/Frontage:</b>	<p>Primary Street 5'  Side Street 5'  Side 0 or 6'  Rear 0 or 6'</p> <p>Req'd Frontage = 20'/50,' and 50% (3.4.6)  Proposed = 20'/50' and 50%</p>	<a href="#">3.4</a> , <a href="#">3.2</a> ,
<b>Neighborhood Transitions:</b>	<p>Along northern border  50' Type A and B Transitional Protective Yard, and  50' Zone A Type 3 Transitional Protective Yard</p>	<a href="#">3.5</a>
<b>Transitional Protective Yards:</b>	NA	<a href="#">7.2.4</a>
<b>Stormwater:</b>	<p>Site is showing compliance with stormwater runoff and water quality regulations and Z-60-98 (A) through the use of a dry pond and one-time buydown to the North Carolina Ecosystem Enhancement Program</p> <p>Preliminary Flood Insurance Rate Map updates show a change to the Special Flood Hazard Areas on this site.Per discussions with the Floodplain</p>	<a href="#">9.2</a>

	Administrator the site will be subject to the effective Flood Insurance Rate Map at time of site final permitting.	
<b>Tree Conservation:</b>	Tree Conservation Area Summary: 0.998 acres [11.62% of net site area] of primary tree conservation area is provided. tree conservation area in accordance with Article 9.1.	<a href="#">9.1</a>
<b>Variances, Design Adjustments, Administrative Alternates:</b>	Design Adjustment - Based on existing infrastructure and environmental conditions and conditions, a Design Adjustment was approved waving the block perimeter requirement and waiving the requirements to connect Quail Hollow Drive and Winona Road through the site.	
<b>Other:</b>	Utilities, greenways, transit, infill, etc. 75 foot wide greenway easement is correctly shown	

ORDINANCE 371 ZC 436  
EFFECTIVE 7/7/98

Z-60-98 St. Albans Drive, north side, opposite Winona Road, being portions of Wake county Tax Map Parcels 1715.05 18 0827, 0163 and 3019. Approximately 7.5 acres rezoned to Office & Institution-3 Conditional Use. Conditions: (06/16/98)

A. Development of this property shall comply with Planning Commission Certified Recommendation 7107. In addition thereto, prior to issuance of any certificate of occupancy, this development shall tie into the storm water facility installed by the adjacent property running through this site and same shall be maintained thereafter. Said facility shall detain and divert storm water such that the developed rate of runoff from the 2-year and 10-year storm events from the developed portion of this site into the tributary of Big Branch being the northern boundary line of a portion of the subject property shall not increase from undeveloped conditions.

*As per plan*

B. The following uses, otherwise permitted in the Office & Institution-3, district shall not be permitted on this property:

1. Church, synagogue or religious education building;
2. Cemetery, funeral home;
3. Recreational uses of any kind;
4. Schools of any kind;
5. Airfields, landing strips;
6. Bed and breakfast inn, guest house facility;
7. Correctional/penal facility;
8. Outdoor stadium, outdoor theater, outdoor racetrack, outdoor movie theater;
9. Freestanding telecommunications towers.

*As per plan*

C. The channel of the tributary of Big Branch which makes up a portion of the site's northern boundary line shall remain undisturbed, i.e. not relocated or piped.

*As per plan*

D. All refuse containers, mechanical/maintenance facilities, and HVAC units shall be screened such that they are not visible from any public streets rights of way or residential zoning district.

*Review with Building permit issuance*

E. Outside transition yards, freestanding exterior lighting located on the subject property shall not exceed twenty (20') feet in height. No exposed bulbs shall be utilized and there shall be no direct beaming of light into any residential zoning district.

*Review with Building permit issuance*

F. The quantity of street yard landscape plantings along Saint Albans Drive shall be increased by 50% of the requirements described in Code Section 10-2082.5.

*As per plan*

G. The owner of the Property shall notify, by certified mail, return receipt requested, owners of property as listed by the Wake County tax office, being PIN# 1715.05 09 6205 (Stefureac), 1715.05 08 6941 (Ward), 1715.05 09 6070 (Sun), 1715.05 09 6069 ORDINANCE 371 ZC 436 EFFECTIVE 7/7/98 2 (Rigano), 1715.05 09 7217 (Gillette), 1715.05 09 8289 (Parker), 1715.05 09 8198 (Farantatos), 1715.05 19 1036 (Allen), 1715.05 19 1156 (Shelton), 1715.05 18 9780 (Cuddy), 1715.05 18 8791 (Horne), 1715.05 18 8704 (Wheeler), 1715.05 18 7729 (Zucker), 1715.05 18 6912 (Blake), 1715.05 18 5846 (Silverman), 1715.05 18 3907 (Larson), and 1715.05 19 3084 (Mull), of site plan approval requests filed with the City of Raleigh. A similar notice shall also be provided by the property owner to the then chairman of the Falls of Neuse Citizens Advisory Council at his or her residence address listed with the City of Raleigh.

*Notifications mailed*

H. A buffer shall be provided and maintained with a minimum width of fifty (50) feet from the southern lines of properties identified with Wake County PIN# 1715.05 18 9780 (Cuddy), 1715.05 18 8704 (Wheeler), 1715.05 18 7729 (Zucker), 1715.05 18 6912 (Blake), 1715.05 18 5846 (Silverman), and 1715.05 18 3907 (Larson). Said buffers shall remain undisturbed, except for removal of dead, diseased, or nuisance vegetation, required improvements to storm water facilities, utilities, erosion control facilities, fill foot paths and increase plantings. For every 100 square feet of buffer area disturbed for any of the above listed purposes, nine (9) inches of tree circumference shall be replanted in the buffer.

*As per plan*

I. Vehicular access shall be limited to St. Albans Drive and Benson Drive. Access to Benson Drive, if any, to be through a cross access agreement with the neighboring tract immediately to the east. The cross access agreement to be approved by the city attorney and recorded prior to issuance of any certificates of occupancy.

### **Condition of Approval**

**OFFICIAL ACTION: Approval with conditions**

---

### **CONDITIONS OF APPROVAL:**

**Prior to issuance of a mass land disturbing permit for the site:**

1. That a final tree conservation plan with permit be approved by the Forestry Specialist. The plan must show metes and bounds descriptions of all tree conservation areas, and tree protection fence around all tree conservation areas;
2. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

**Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable:**

3. That a stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance, including the designation of buffer areas and open space areas for stormwater purposes prior to grading or the approval of construction drawings whichever event comes first;
4. That a nitrogen offset payment must be made to a qualifying mitigation bank;
5. That Infrastructure Construction Plans are approved by the City of Raleigh, including obtaining stub permits, tree impact permit and a street lighting plan, if applicable;

**Prior to issuance of building permits:**

6. That if the proposed public improvements are not installed and inspected by the City to be accepted for maintenance, a surety in the amount of 125% of the cost of development related improvements, including widening of road, sidewalks, and streetscape trees on St. Albans Drive is paid to the city in accordance with code section 8.1.3 of the UDO;
7. That ½ of 76' required right of way with 5' utility easement for St Albans Drive is dedicated to the City of Raleigh and recorded with the Wake County Register of Deeds;
8. That the 75' greenway easement as shown on the approved site plan is dedicated to the City of Raleigh and recorded with the Wake County Register of Deeds;
9. That a tree impact permit is obtained from the urban forester in the Parks and Recreation Department for landscaping in the public right-of-way;
10. That all conditions of Z-60-98 are complied with;
11. That the developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans;
12. That in accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device is paid to the city;
13. That the developer via plat shall record a private drainage easement around the stormwater control measure and tie to the public right of way and that the developer propose centering an existing drainage easement over the pipes existing on site;
14. That a final tree conservation plan with permit be approved by the Forestry Specialist. The plan must show metes and bounds descriptions of all tree conservation areas, and tree protection fence around all tree conservation areas.

15. That new street trees planted in the public right-of-way shall be planted and maintained in accordance with the provisions of the City Tree Manual;
16. That all conditions of Z-60-98 are complied with;
17. That all proposed outdoor lighting will meet the standards of Section 7.4 of the Unified Development Ordinance;
18. That all mechanical equipment must be located and shown on the plan and will meet the screening standards of section 7.2.5 of the Unified Development Ordinance;
19. That all refuse containers, mechanical/maintenance facilities, and HVAC units shall be screened such that they are not visible from any public streets rights of way or residential zoning district.

**Prior to issuance of building occupancy permit:**

20. That in accordance with Part 10A Section 9.2.2, an as-built plan and certification any stormwater control device shall be reviewed and accepted by the City prior to final stormwater inspection approval or certificate;

---

I hereby certify this administrative decision.

**Signed:** (Planning Dir.) Kenneth Bauer Date: 8/7/2017  
(BT)

**Staff Coordinator:** Michael Walters

**SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.**

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**FINDINGS:** City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 06/07/17, submitted by Ken Thompson, JDavis Architects.

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**EXPIRATION DATES:** **The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan.** If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date: 8/7/2020**

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has

been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

**WHAT NEXT?:**

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.

ORDINANCE 371 ZC 436  
EFFECTIVE 7/7/98

Response to the zoning conditions  
JDavis Architects 04/27/2017

**Z-60-98 St. Albans Drive**, north side, opposite Winona Road, being portions of Wake county Tax Map Parcels 1715.05 18 0827, 0163 and 3019. Approximately 7.5 acres rezoned to Office & Institution-3 Conditional Use.

Conditions: (06/16/98)

A. Development of this property shall comply with Planning Commission Certified Recommendation 7107. In addition thereto, prior to issuance of any certificate of occupancy, this development shall tie into the storm water facility installed by the adjacent property running through this site and same shall be maintained thereafter. Said facility shall detain and divert storm water such that the developed rate of runoff from the 2-year and 10-year storm events from the developed portion of this site into the tributary of Big Branch being the northern boundary line of a portion of the subject property shall not increase from undeveloped conditions.

Response: The proposed stormwater improvements include tying into the existing stormwater management facility and providing stormwater attenuation so that the post-developed discharge for the 2- and 10-year storms does not exceed the pre-developed discharge for the proposed site improvements. Some modifications to the existing stormwater facility will be required to satisfy the City of Raleigh requirements and to provide the attenuation needed.

B. The following uses, otherwise permitted in the Office & Institution-3, district shall not be permitted on this property:

- 1. Church, synagogue or religious education building;
- 2. Cemetery, funeral home;
- 3. Recreational uses of any kind;
- 4. Schools of any kind;
- 5. Airfields, landing strips;
- 6. Bed and breakfast inn, guest house facility;
- 7. Correctional/penal facility;
- 8. Outdoor stadium, outdoor theater, outdoor racetrack, outdoor movie theater;
- 9. Freestanding telecommunications towers.

Response: None of the uses listed are being proposed and the proposed use is allowed in an OX zoned district.

C. The channel of the tributary of Big Branch which makes up a portion of the site's northern boundary line shall remain undisturbed, i.e., not relocated or piped.

Response: The referenced channel has been left undisturbed.

D. All refuse containers, mechanical/maintenance facilities, and HVAC units shall be screened such that they are not visible from any public streets rights of way or residential zoning district.

Response: All refuse containers are screened with masonry walls and all HVAC units are roof mounted and screened from view.

E. Outside transition yards, freestanding exterior lighting located on the subject property shall not exceed twenty (20) feet in height. No exposed bulbs shall be utilized and there shall be no direct beaming of light into any residential zoning district.

Response: Lighting will be reviewed at Concurrent review and will comply with the condition.

F. The quantity of street yard landscape plantings along Saint Albans Drive shall be increased by 50% of the requirements described in Code Section 10-2092.5.

Response: 20 trees are required and the plan proposes 31 trees, see landscape calculations.

G. The owner of the Property shall notify, by certified mail, return receipt requested, owners of property as listed by the Wake County tax office, being PIN# 1715.05 09 6205 (Stefureac), 1715.05 08 6941 (Ward), 1715.05 09 6070 (Sun), 1715.05 09 6069 (Rigano), 1715.05 09 7217 (Gillet), 1715.05 09 6289 (Parker), 1715.05 09 8198 (Farantatos), 1715.05 19 1036 (Allen), 1715.05 19 1156 (Shelton), 1715.05 18 9729 (Cuddy), 1715.05 18 8791 (Horne), 1715.05 18 8704 (Wheeler), 1715.05 18 7729 (Zucker), 1715.05 18 6912 (Blake), 1715.05 18 5846 (Silverman), 1715.05 18 3907 (Larson), and 1715.05 19 3084 (Mull), of site plan approval requests filed with the City of Raleigh. A similar notice shall also be provided by the property owner to the then chairman of the Falls of Neuse Citizens Advisory Council at his or her residence address listed with the City of Raleigh.

Response: Copies have been provided with this submittal.

H. A buffer shall be provided and maintained with a minimum width of fifty (50) feet from the southern lines of properties identified with Wake County PIN# 1715.05 18 9780 (Cuddy), 1715.05 18 8704 (Wheeler), 1715.05 18 7729 (Zucker), 1715.05 18 6912 (Blake), 1715.05 18 5846 (Silverman), and 1715.05 18 3907 (Larson). Said buffers shall remain undisturbed, except for removal of dead, diseased, or nuisance vegetation, required improvements to storm water facilities, utilities, erosion control facilities, fill foot paths and increase plantings. For every 100 square feet of buffer area disturbed for any of the above listed purposes, nine (9) inches of tree circumference shall be replanted in the buffer.

Response: The buffer has been maintained as specified and no disturbance is proposed.

I. Vehicular access shall be limited to St. Albans Drive and Benson Drive. Access to Benson Drive, if any, to be through a cross access agreement with the neighboring tract immediately to the east. The cross-access agreement to be approved by the city attorney and recorded prior to issuance of any certificates of occupancy.

Response: The proposed access points are both from St. Albans Drive, there is no access proposed to Benson Drive.

SR-27-17; TA 507044

REFERENCES: Z-60-98  
SKETCH PLAN TA #: 489682

Administrative Site Review

1st Submittal: March 14, 2017  
2nd Submittal: April 27, 2017  
3rd Submittal: June 07, 2017

Reserve at North Hills

901 St. Albans Drive  
Raleigh, North Carolina 27609



Know what's below.  
Call before you dig.

Application

Administrative Site Review Application  
(for UDO Districts only)



DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | eda@919-996-1831  
Litchford Satellite Office | 1320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

Form with fields for BUILDING TYPE (Detached, Attached, Apartment, Townhouse) and FOR OFFICE USE ONLY (Transaction Number, Assigned Project Coordinator, Assigned Team Leader).

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # 489682

GENERAL INFORMATION

Development Name: The Reserve at North Hills

Zoning District: OX-S-GR-CU, CM Overlay District (if applicable): Inside City Limits? Yes No

Proposed Use: Congregate Care

Property Address(es): 901 St Albans Drive Major Street Locator: Wake Forest Rd

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1715182765 P.I.N. P.I.N. P.I.N.

What is your project type? Apartment, Mixed Residential, Duplex, Other: if other, please describe: Elderly Facilities, Non-Residential Condo, School, Religious Institutions, Hospitals, Shopping Center, Banks, Retail, Office, Industrial Building, Cottage Court

WORK SCOPE: Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. New construction of a 6 story Congregate Care Community with 200 units

DESIGN ADJUSTMENT OR ADMIN ALTERNATE: Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

CLIENT/DEVELOPER/OWNER: Company Northview Partners Name (s) Mark Barker Address 6131 Falls of Neuse Road Suite 202 Raleigh, NC 27609 Phone 919-277-1132 Email mbarke@northviewpartners.com Fax 919-878-0308

CONSULTANT (Contact Person for Plans): Company JDavis Architects Name (s) Ken Thompson Address 510 S. Wilmington Street, Raleigh, NC 27601 Phone 919-835-1500 Email kent@davisarchitects.com Fax 919-835-1510

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information Building Information

Zoning District(s) OX-S-GR-CU, CM Proposed building use(s) Congregate Care

If more than one district, provide the acreage of each: 6.13 AC (OX), 2.36 AC (CM) Existing Building(s) sq. ft. gross 278,458 SF

Overlay District N/A Proposed Building(s) sq. ft. gross 278,458 SF

Total Site Acres Inside City Limits Yes No Total sq. ft. gross (existing & proposed) 278,458 SF

Off street parking: Required 84 Provided 189 (119 SFC, 70 garage) Proposed height of building(s) 61 from avg. grade plane

CDA (Certificate of Appropriateness) case # N/A # of stories 5 Story

BDA (Board of Adjustment) case # A- N/A Calling height of 1st Floor n/a

CUID (Conditional Use District) case # Z- 60-1998

Stormwater Information

Existing Impervious Surface 0 acres/square feet Flood Hazard Area Yes No

Proposed Impervious Surface 3.16 AC acres/square feet If Yes, please provide: Alluvial Soils WO Flood Study NO

Neuse River Buffer Yes No Wetlands Yes No FEMA Map Panel # 1715

FOR RESIDENTIAL DEVELOPMENTS

1. Total # of Apartment, Condominium or Residential Units n/a 5. Bedroom Units: 1br 18s 2br 15 3br 4br or more

2. Total # of Congregate Care Or Life Care Dwelling Units 200 6. Infill Development 2.2.7 n/a

3. Total Number of Hotel Units n/a 7. Open Space (only) or Amenity Open space 3.89 AC, amenity area 0.96 AC

4. Overall Total # of Dwelling Units (1-6 Above) 200 8. Is your project a cottage court? Yes No

SIGNATURE BLOCK (Applicable to all developments)

In filling this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate Ken Thompson (JDavis Architects) to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

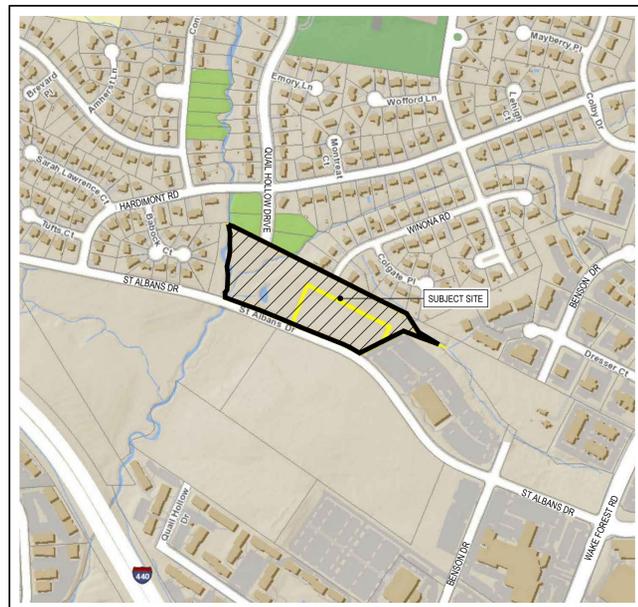
Signed Mark R. Barker Date 3/14/17

Printed Name Mark R. Barker

Signed Date

Printed Name

Vicinity Map



HORIZONTAL AND VERTICAL DATUM:  
NAD 83 F & NAVD 88 F  
RECORDED MAP - BM1918, PG 80; DEED BOOK - BK 15264, PG 1097

Project Team

OWNER: Wachovia BNK NA TR UW for Marth R Adrews, Wachovia BNK NA TR UW for Mabel Andrews, PDS Tax Service, PO Box 13159, Arlington, Texas 76094, henry@sinkpotter.net, Lorraine.bulloch@wellsfargo.com

DEVELOPER: Northview Partners, 6131 Falls of Neuse Road, Raleigh, North Carolina 27609, 919-277-1118, mbarke@northviewpartners.com

CONSULTANTS: Landscape Architect JDavis Architects, PLLC, 510 South Wilmington Street, Raleigh, North Carolina 27601, 919-835-1500, kent@davisarchitects.com

Architect JDavis Architects, PLLC, 510 South Wilmington Street, Raleigh, North Carolina 27601, 919-835-1500, bille@davisarchitects.com

Engineer Bass, Nixon & Kennedy, Inc, 6310 Chapel Hill Road #250, Raleigh, NC 27607, 919-851-4422, 919-851-8968 (fax), Garry.Walston@bnkinc.com

Surveyor Bass, Nixon & Kennedy, Inc, 6310 Chapel Hill Road #250, Raleigh, NC 27607, 919-851-4422, 919-851-8968 (fax), Scott.wilson@bnkinc.com

Sheet Index

Table with 2 columns: Sheet Title and Sheet Number. Includes COVER (0.0), EXISTING CONDITIONS & DEMOLITION PLAN (C1.0), SITE PLAN (LS1.1), UTILITY PLAN (C2.1), GRADING AND DRAINAGE PLAN (C3.1), STORMWATER CALCULATIONS & BMP PLAN/DETAILS (C3.2), TREE CONSERVATION PLAN (TC1.1), TREE SURVEY (TC1.2), LANDSCAPE PLAN (LP1.1), LANDSCAPE DETAILS (LP3.1), BASEMENT CALCULATIONS (A1.01), BUILDING FLOOR PLANS (A2.01-A2.03), ROOF PLAN (A2.04), BUILDING ELEVATIONS (A3.01-A3.02).

General Notes

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
- 2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- 4. PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
- 5. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- 6. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR MINIMUM TO THE START OF THE WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- 7. ANY CONTRACTOR OR PROJECT MANAGER THAT IS WORKING ON A CITY PROJECT SHALL SUBMIT A NOTIFICATION TO THE RW OBSTRUCTION APPLICATION FOR EMERGENCY/MAINTENANCE WORK PRIOR TO THE START OF THE WORK.
- 8. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- 9. THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- 10. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- 11. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 12. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES ENGINEERING INSPECTORS AT 919-996-2409.
- 13. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A MEETING WITH THE DEVELOPMENT SERVICES RIGHT-OF-WAY SERVICE PERMITTING COORDINATOR AT 919-996-2483.
- 14. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWING ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDINGS OF ANY PLAN FOR THIS DEVELOPMENT.
- 15. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- 16. ALL SURVEY INFORMATION PROVIDED TO JDAVIS ARCHITECTS BY BASS, NIXON & KENNEDY, INC. IN RALEIGH, NORTH CAROLINA IN DIGITAL FORMAT IN JANUARY 2017, AND SUPPLEMENTAL INFORMATION OBTAINED FROM WAKE COUNTY GIS IN JANUARY 2017.
- 17. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN NO OBSTRUCTION BETWEEN 2 FEET AND 4 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- 18. UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 38' MINIMUM.
- 19. UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.
- 20. TRASH AND CARDBOARD DUMPSTERS/ENCLOSURE SHALL BE COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- 21. GROUND MOUNTED MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENTS OF 7.2.5.4 AND IS NOT ONLY LIMITED TO BEING VISIBLE FROM THE RIGHT OF WAY.
- 22. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- 23. HANDICAP PARKING SPACES AND HC ACCESSIBLES SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
- 24. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- 25. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
- 26. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCRUSH ON THIS MINIMUM CORNER CLEARANCE.
- 27. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
- 28. ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS AND SHALL BE COMPLY WITH 2012 NCSBG AND ICC A117.1-2009.
- 29. ALL ABOVE GROUND UTILITY DEVICES TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-STREET VIEW BY OVERHEAD CURBS, FENCE, OR WALL.
- 30. NO OBSTRUCTIONS SHALL BE PLACED IN THE FEMA FLOODWAY UNLESS THERE HAS BEEN A NO-RISE STUDY ACCEPTED BY THE CITY OF RALEIGH AND APPROVED BY FEMA.
- 31. GENERAL UTILITY PLACEMENT EASEMENT IS FOR INSTALLATION OF PRIVATE UTILITIES.

Fire Department Notes

- 1. THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (NFA 13R) OR 250 FEET (NFA13) TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF THE BUILDING (NCF 503.1.1).
- 2. FIRE HYDRANT SHALL BE LOCATED WITHIN 400 AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCF 507.5.1).
- 3. ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 1/2 INCH STORK CONNECTION.
- 4. FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2012 NCF, SECTION 507.3.

Solid Waste Inspection Statement

- 1. SOLID WASTE SERVICES ARE TO BE PROVIDED BY PRIVATE VENDOR.
- 2. THE DEVELOPER MUST COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
- 3. THIS PROJECT HAS DUMPSTERS FOR SOLID WASTE AND SINGLE-STREAM RECYCLING.

Northview Partners  
RESERVE AT NORTH HILLS  
901 St. Albans Drive  
Raleigh, North Carolina 27609

PRELIMINARY

FOR REVIEW ONLY  
NOT FOR  
CONSTRUCTION

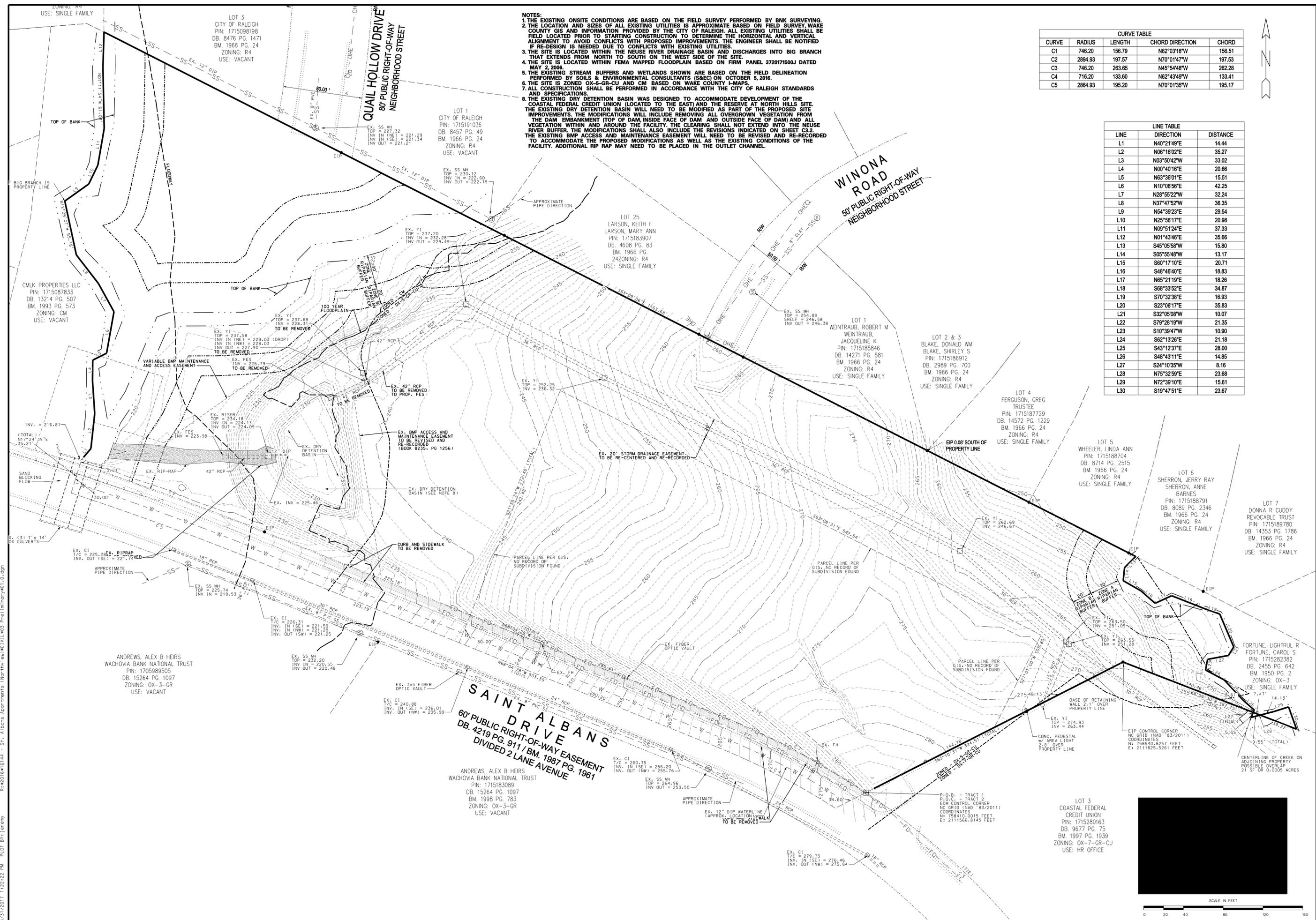
Table with columns: PROJECT, ISSUE, REVISIONS, DATE. Includes entries for NP-17000, Administrative Site Review, and review comments from 04.27.2017 and 06.07.2017.

DRAWN BY: JH, SB  
CHECKED BY: KT  
CONTENT: COVER

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**NOTES:**  
 1. THE EXISTING ONSITE CONDITIONS ARE BASED ON THE FIELD SURVEY PERFORMED BY BNK SURVEYING.  
 2. THE LOCATION AND SIZES OF ALL EXISTING UTILITIES IS APPROXIMATE BASED ON FIELD SURVEY WAKE COUNTY GIS AND INFORMATION PROVIDED BY THE CITY OF RALEIGH. ALL EXISTING UTILITIES SHALL BE FIELD LOCATED PRIOR TO STARTING CONSTRUCTION TO DETERMINE THE HORIZONTAL AND VERTICAL ALIGNMENT TO AVOID CONFLICTS WITH PROPOSED IMPROVEMENTS. THE ENGINEER SHALL BE NOTIFIED IF RE-DESIGN IS NEEDED DUE TO CONFLICTS WITH EXISTING UTILITIES.  
 3. THE SITE IS LOCATED WITHIN THE NEUSE RIVER DRAINAGE BASIN AND DISCHARGES INTO BIG BRANCH THAT EXTENDS FROM NORTH TO SOUTH ON THE WEST SIDE OF THE SITE.  
 4. THE SITE IS LOCATED WITHIN FEMA MAPPED FLOODPLAIN BASED ON FIRM PANEL 372071500J DATED MAY 2, 2006.  
 5. THE EXISTING STREAM BUFFERS AND WETLANDS SHOWN ARE BASED ON THE FIELD DELINEATION PERFORMED BY SOILS & ENVIRONMENTAL CONSULTANTS (S&E) ON OCTOBER 5, 2016.  
 6. THE SITE IS ZONED OX-3-GR-CU AND CM BASED ON WAKE COUNTY I-MAPS.  
 7. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.  
 8. THE EXISTING DRY DETENTION BASIN WAS DESIGNED TO ACCOMMODATE DEVELOPMENT OF THE COASTAL FEDERAL CREDIT UNION (LOCATED TO THE EAST) AND THE RESERVE AT NORTH HILLS SITE. THE EXISTING DRY DETENTION BASIN WILL NEED TO BE MODIFIED AS PART OF THE PROPOSED SITE IMPROVEMENTS. THE MODIFICATIONS WILL INCLUDE REMOVING ALL OVERGROWN VEGETATION FROM THE DAM EMBANKMENT (TOP OF DAM, INSIDE FACE OF DAM AND OUTSIDE FACE OF DAM) AND ALL VEGETATION WITHIN AND AROUND THE FACILITY. THE CLEARING SHALL NOT EXTEND INTO THE NEUSE RIVER BUFFER. THE MODIFICATIONS SHALL ALSO INCLUDE THE REVISIONS INDICATED ON SHEET CS.2. THE EXISTING BMP ACCESS AND MAINTENANCE EASEMENT WILL NEED TO BE REVISED AND RE-RECORDED TO ACCOMMODATE THE PROPOSED MODIFICATIONS AS WELL AS THE EXISTING CONDITIONS OF THE FACILITY. ADDITIONAL RIP RAP MAY NEED TO BE PLACED IN THE OUTLET CHANNEL.

CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD DIRECTION	CHORD
C1	746.20	156.79	N62°03'18"W	156.51
C2	2894.93	197.57	N70°01'47"W	197.53
C3	746.20	263.65	N45°54'48"W	262.28
C4	716.20	133.60	N62°43'49"W	133.41
C5	2864.93	195.20	N70°01'35"W	195.17

LINE TABLE		
LINE	DIRECTION	DISTANCE
L1	N40°21'49"E	14.44
L2	N06°16'02"E	35.27
L3	N03°50'42"W	33.02
L4	N00°40'16"E	20.66
L5	N63°38'01"E	15.51
L6	N10°08'56"E	42.25
L7	N28°55'22"W	32.24
L8	N37°47'52"W	36.35
L9	N54°39'23"E	29.54
L10	N25°56'17"E	20.98
L11	N09°51'24"E	37.33
L12	N01°43'46"E	35.66
L13	S45°05'58"W	15.80
L14	S05°55'48"W	13.17
L15	S60°17'10"E	20.71
L16	S48°46'40"E	18.83
L17	N65°21'19"E	18.26
L18	S68°33'52"E	34.87
L19	S70°32'38"E	16.93
L20	S23°06'17"E	35.83
L21	S32°05'08"W	10.07
L22	S79°28'19"W	21.35
L23	S10°39'47"W	10.90
L24	S62°13'28"E	21.18
L25	S43°12'37"E	28.00
L26	S48°43'11"E	14.85
L27	S24°10'35"W	8.16
L28	N75°32'59"E	23.68
L29	N72°39'10"E	15.61
L30	S19°47'51"E	23.67



**BASS, NIXON & KENNEDY, INC.**  
**CONSULTING ENGINEERS**  
 6310 CHAPEL HILL ROAD, SUITE 200, RALEIGH, NC 27607  
 TELEPHONE: (919)851-4422 OR (800)354-1879 FAX: (919)851-8988  
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

JONES	DATE	DRAWN BY	NO.	DATE	DESCRIPTION	REVISIONS
1684	9-3-17	J.JONES	1	5-31-17	COR COMMENTS AND DEMOLITION PLAN	J.J. BY

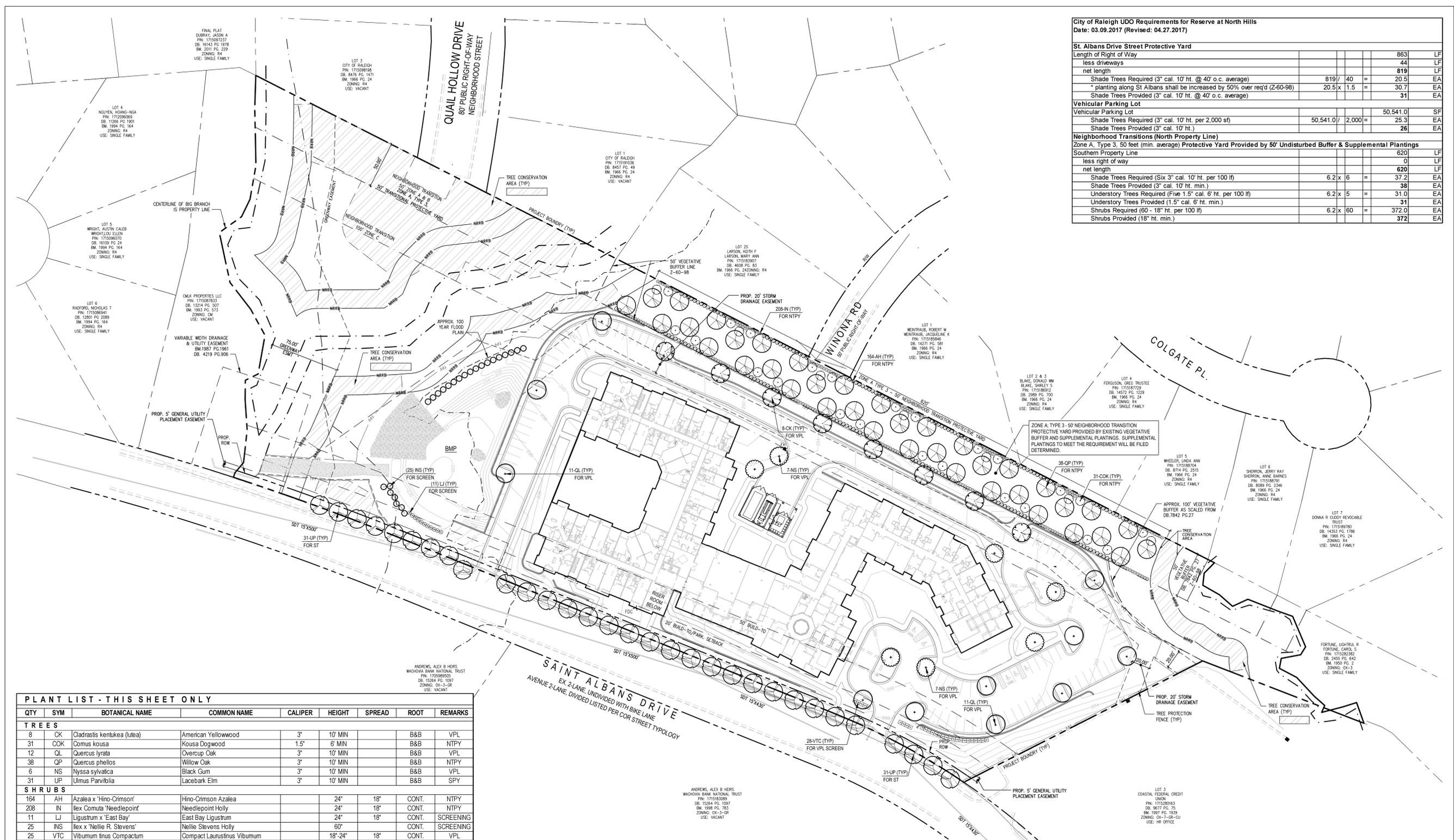
**C1.0 THE RESERVE AT NORTH HILLS**  
 NORTH CAROLINA  
 WAKE COUNTY  
**NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION**

5/31/2017 1:22:22 PM PLOT B1: jferney R:\2016\1616144 - St. Albans Apartments (Northview)\M1\11\03 Prel\m1nary\M1.dgn









**City of Raleigh UDO Requirements for Reserve at North Hills**  
Date: 03.09.2017 (Revised: 04.27.2017)

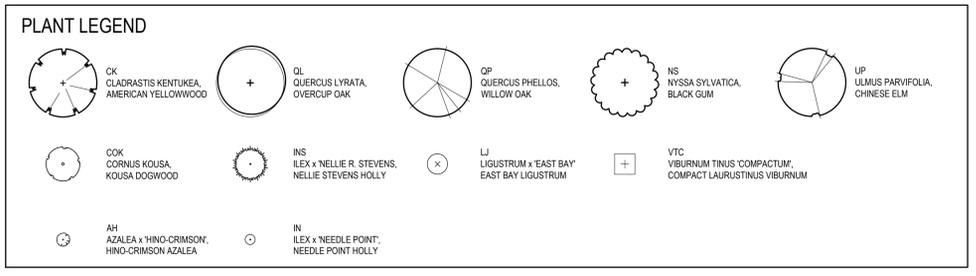
St. Albans Drive Street Protective Yard			
Length of Right of Way			863 LF
less driveways			44 LF
net length			819 LF
Shade Trees Required (3" cal. 10' ht. @ 40' o.c. average)	819 / 40 =		20.5 EA
* planting along St Albans shall be increased by 50% over req'd (Z-60-98)	20.5 x 1.5 =		30.7 EA
Shade Trees Provided (3" cal. 10' ht. @ 40' o.c. average)			31 EA
Vehicular Parking Lot			
Shade Trees Required (3" cal. 10' ht. per 2,000 sf)	50,541.0 / 2,000 =		25.3 EA
Shade Trees Provided (3" cal. 10' ht.)			26 EA
Neighborhood Transitions (North Property Line)			
Zone A, Type 3, 50 feet (min. average) Protective Yard Provided by 50' Undisturbed Buffer & Supplemental Plantings			
Southern Property Line			620 LF
less right of way			0 LF
net length			620 LF
Shade Trees Required (Six 3" cal. 10' ht. per 100 lf)	6.2 x 6 =		37.2 EA
Shade Trees Provided (3" cal. 10' ht. min.)			38 EA
Understory Trees Required (Five 1.5" cal. 6' ht. per 100 lf)	6.2 x 5 =		31.0 EA
Understory Trees Provided (1.5" cal. 6' ht. min.)			31 EA
Shrubs Required (60 - 18" ht. per 100 lf)	6.2 x 60 =		372.0 EA
Shrubs Provided (18" ht. min.)			372 EA

**PLANT LIST - THIS SHEET ONLY**

QTY	SYM	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT	REMARKS
<b>T R E E S</b>								
8	CK	Cladrastis kentukea (lutea)	American Yellowwood	3"	10' MIN		B&B	VPL
31	COK	Cornus kousa	Kousa Dogwood	1.5"	6' MIN		B&B	NTPY
12	OL	Quercus lyrata	Overcup Oak	3"	10' MIN		B&B	VPL
38	OP	Quercus phellos	Willow Oak	3"	10' MIN		B&B	NTPY
6	NS	Nyssa sylvatica	Black Gum	3"	10' MIN		B&B	VPL
31	UP	Ulmus parvifolia	Lacebark Elm	3"	10' MIN		B&B	SPY
<b>S H R U B S</b>								
164	AH	Azalea x 'Hino-Crimson'	Hino-Crimson Azalea	24"	18"		CONT.	NTPY
208	IN	Ilex Cornuta 'Needlepoint'	Needlepoint Holly	24"	18"		CONT.	NTPY
11	LJ	Ligustrum x 'East Bay'	East Bay Ligustrum	24"	18"		CONT.	SCREENING
25	INS	Ilex x 'Nellie R. Stevens'	Nellie Stevens Holly	60"			CONT.	SCREENING
25	VTC	Viburnum tinus Compactum	Compact Laurustinus Viburnum	18"-24"	18"		CONT.	VPL

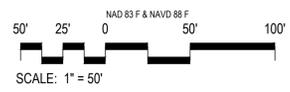
- LANDSCAPE NOTES**
- CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION.
  - THE PLAN DEPICTS PLANTINGS REQUIRED BY THE CITY OF RALEIGH.
  - ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
  - LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.
  - ALL PLANTING BEDS ARE TO BE MULCHED TO A MINIMUM DEPTH OF 3". DOUBLE SHREDDED HARDWOOD MULCH, DYED BROWN; 2" MAXIMUM PARTICLE SIZE. NO PINE STRAW PERMITTED.
  - ALL LAWN AREAS TO BE SEEDED AS PER SEEDING SPECIFICATIONS. ALL DISTURBED AREA SHALL EITHER BE MULCH OR LAWN. REFER TO SPECIFICATIONS.
  - ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.
  - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
  - GROUND-MOUNTED MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENTS OF SEC 7.2.5.D.4 AND IS NOT ONLY LIMITED TO BEING VISIBLE FROM THE RIGHT OF WAY.
  - STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.
  - A TREE IMPACT PERMIT IS REQUIRED PRIOR TO ISSURANCE OF BUILDING PERMITS FOR TREES INSTALLED IN THE PUBLIC RIGHT-OF-WAY.

SEE LP3.1 FOR LANDSCAPE DETAILS AND NOTES.



**SR-27-17**  
REFERENCE: Z-60-98

**LANDSCAPE PLAN**



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**JDAVIS**  
 510 South Wilmington Street | Raleigh, NC 27601 | Tel: 919.835.1500  
 1518 Walnut St. Suite 1308 | Philadelphia, PA 19102 | Tel: 215.545.0121

**SR-27-17**  
 TRANSACTION NO: 507044 (ADMIN SITE REVIEW)

Northview Partners  
**RESERVE AT NORTH HILLS**  
 901 St. Albans Drive  
 Raleigh, North Carolina 27609

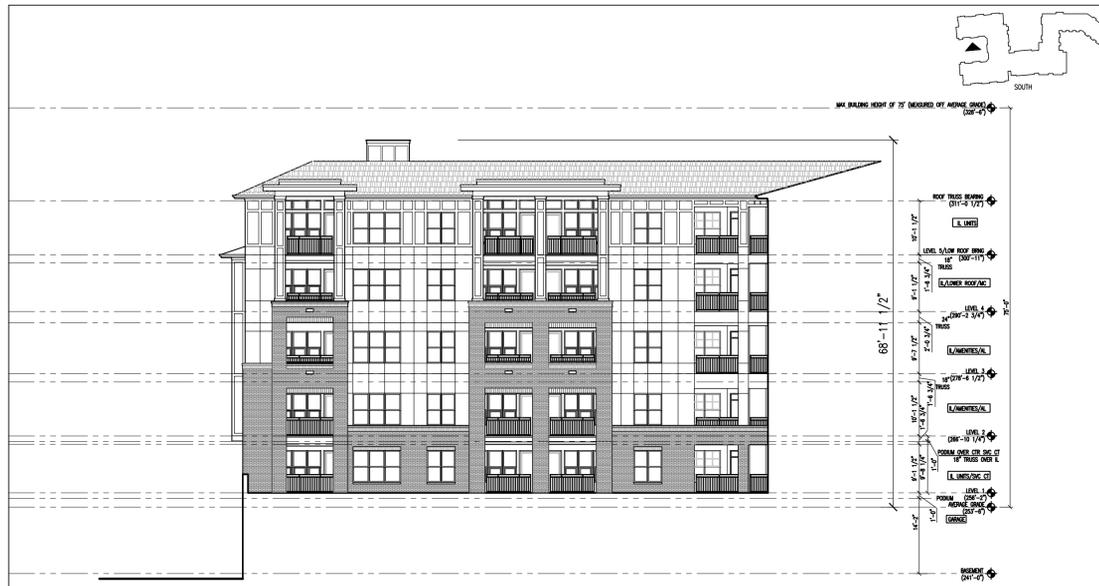
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 CONSTRUCTION

PROJECT:	NP-17000	DATE
ISSUE:	Administrative Site Review	03.14.2017
REVISIONS:	1st Review Comments	04.27.2017
	2nd Review Comments	06.07.2017

DRAWN BY: SB, CHK  
 CHECKED BY: KT  
 CONTENT: CODE COMPLIANT  
 LANDSCAPE PLAN

LP1.1



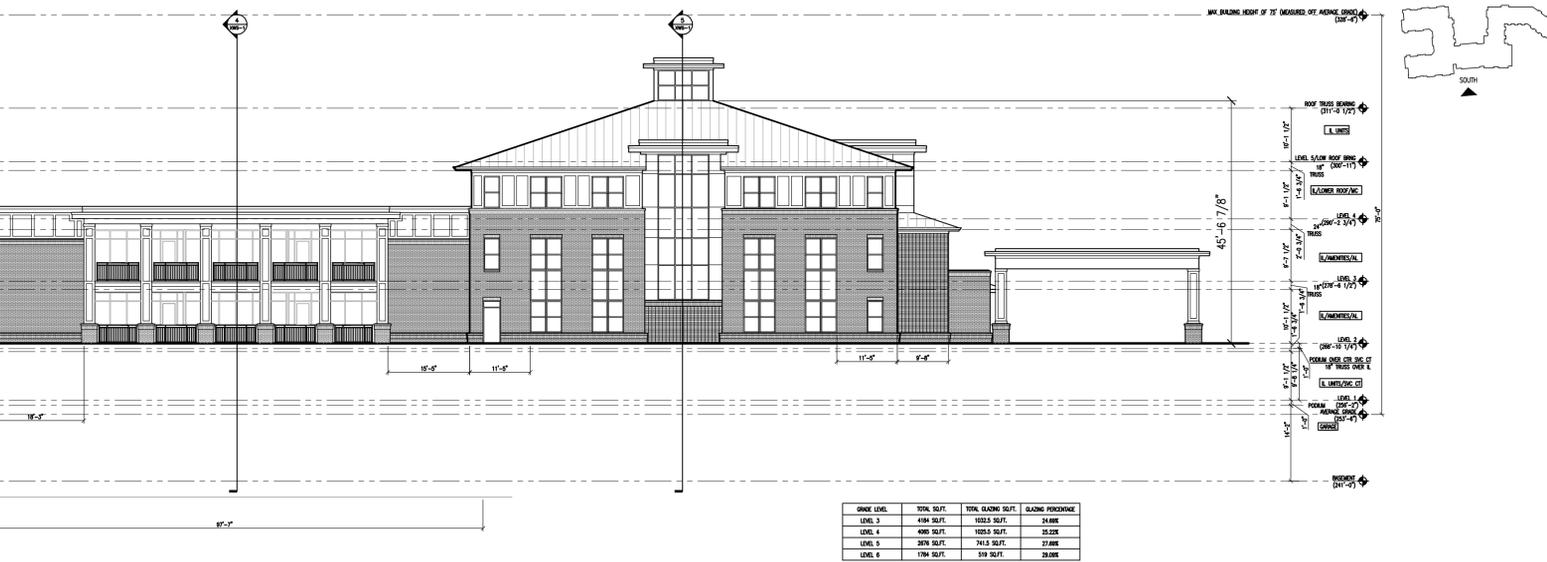
**SOUTH ELEVATION AT INDEPENDENT LIVING COURTYARD**  
SCALE: 1/16" = 1'-0" 6



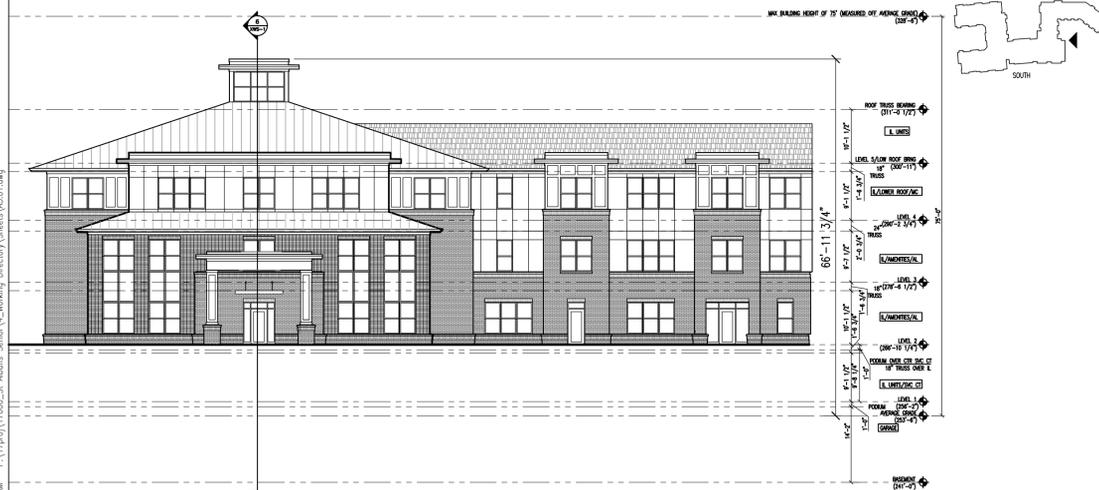
**WEST ELEVATION FACING INDEPENDENT LIVING**  
SCALE: 1/16" = 1'-0" 5



**EAST ELEVATION AT ENTRANCE**  
SCALE: 1/16" = 1'-0" 3



**SOUTH ELEVATION FACING ST. ALBANS DRIVE**  
SCALE: 1/16" = 1'-0" 4



**SOUTH ELEVATION AT ASSISTED LIVING**  
SCALE: 1/16" = 1'-0" 2



**SOUTHWEST ELEVATION AT ASSISTED LIVING**  
SCALE: 1/16" = 1'-0" 1

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PROJECT:	17000	DATE
ISSUE:	Site Plan Submittal	3.16.17
	Progress Review Set	4.7.17
	Site Plan Resubmittal	4.27.17
REVISIONS:		
DRAWN BY:		
CHECKED BY:		
CONTENT:		

