

Administrative Site Review Application (for UDO Districts only)



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

SL-28-19

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY	
☐ Detached ☐ Attached ☐ Apartment ☐ Townhouse	☒ General ☐ Mixed Use ☐ Open Lot	Transaction Number 592892 Assigned Project Coordinator <i>[Signature]</i> Assigned Team Leader <i>[Signature]</i> Walters	
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # 568944			
GENERAL INFORMATION			
Development Name OHO Raleigh			
Zoning District	Currently zoned as R-6, but being rezoned to OX-3-CU	Overlay District (if applicable)	Inside City Limits? ☒ Yes ☐ No
Proposed Use General / Federal Government office			
Property Address(es) 3315 Poole Rd		Major Street Locator: Poole Rd	
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:			
P.I.N. 1723452474	P.I.N.	P.I.N.	P.I.N.
What is your project type? ☐ Apartment ☐ Elderly Facilities ☐ Hospitals ☐ Hotels/Motels ☐ Office ☐ Mixed Residential ☐ Non-Residential Condo ☐ School ☐ Shopping Center ☐ Banks ☐ Industrial Building ☐ Duplex ☐ Telecommunication Tower ☐ Religious Institutions ☐ Residential Condo ☐ Retail ☐ Cottage Court ☒ Other: If other, please describe: <u>Federal Government Office Building</u>			
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Development of a 2-story government office building with basement level parking. Parking requirements increase from 30 spaces to 117 spaces required.		
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE N/A		
CLIENT/DEVELOPER/OWNER	Company RP Poole Road LLC		Name (s) John W. Braswell
	Address 445 Bishop St. NW, Suite 200, Atlanta, GA 30318		
	Phone 678-367-4216	Email johnbraswell@rookerco.com	Fax
CONSULTANT (Contact Person for Plans)	Company Site Design-Inc		Name (s) Paul Mills
	Address 800 E. Washington St, suite B, Greenville SC 29601		
	Phone 864-271-0496	Email pmills@sitedesign-inc.com	Fax 864-271-0402

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) OX-3-CU	Proposed building use(s) General Office
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 3,739 SF
Overlay District	Proposed Building(s) sq. ft. gross 46,464 SF
Total Site Acres Inside City Limits ☒ Yes ☐ No 3.772	Total sq. ft. gross (existing & proposed)
Off street parking: Required 117 Provided 235	Proposed height of building(s) 31
COA (Certificate of Appropriateness) case #	# of stories 3
BOA (Board of Adjustment) case # A-	Ceiling height of 1 st Floor 14'
CUD (Conditional Use District) case # Z-	
Stormwater Information	
Existing Impervious Surface 1 acres/square feet	Flood Hazard Area ☐ Yes ☒ No
Proposed Impervious Surface 2.25 acres/square feet	If Yes, please provide:
Neuse River Buffer ☐ Yes ☒ No Wetlands ☐ Yes ☒ No	Alluvial Soils Flood Study FEMA Map Panel #
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Dwelling Units (1-6 Above)	8. Is your project a cottage court? ☐ Yes ☐ No
SIGNATURE BLOCK (Applicable to all developments)	
In filling this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City. I hereby designate <u>Paul Mills, Site Design, Inc.</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application. I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use. Signed <u>John W. Braswell, Member</u> Date <u>4/8/19</u> Printed Name <u>John W. Braswell</u> Signed _____ Date _____ Printed Name _____	

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
General Requirements	YES	N/A	YES	NO	N/A
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to the City of Raleigh <u>Level 3 \$ 1725.00</u>	☒		☒		
2. Administrative Site Review Application completed and signed by the property owner(s)	☒		☒		
3. Client must complete and adhere page 1 and 2 of the Administrative Site Review Application to the plan cover sheet	☒		☒		
4. I have referenced the Administrative Site Review Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	☒		☒		
5. Provide the following plan sheets:	☒				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	☒		☒		
b) Existing Conditions Sheet, including, but not limited to, structures, buildings, utilities, infrastructure, and vegetation	☒		☒		
c) Proposed Site Plan	☒		☒		
d) Proposed Grading Plan	☒		☒		
e) Proposed Stormwater Plan, including preliminary stormwater quantity and quality summary and calculations package. If not required, provide City Code section on front cover.	☒	☐	☒		
f) Proposed Utility Plan, including Fire	☒	☐	☒		
g) Proposed Tree Conservation Plan – For secondary Tree Conservation Areas, include two copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina register forester. If not required, provide City Code section on front cover.	☒	☐	☒		
h) Proposed Landscape Plan	☒	☐	☒		
i) Building elevations that show existing and/or proposed building height. If demolition, do not include buildings to be demolished.	☒	☐	☒		
j) Transportation Plan <u>(included on site plan)</u>	☒	☐	☒		
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. <u>For re-submittals – include all revision dates</u>	☒		☒		
7. Minimum plan size 18"x24" not to exceed 36"x42"	☒		☒		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	☒		☒		
9. Includes sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	☒		☒		
10. Digital copy of only the plan and elevations. Label the CD or flash drive with the plan name, case file number, and indicate the review cycle #.	☒		☒		
11. Wake County School Form, if dwelling units are proposed	☐	☒			☒
12. If applicable, zoning conditions adhered to the plan cover sheet	☐	☒			☒

EROSION CONTROL NOTES

- SUBJECT PROPERTY:
TM#: 1723452474
TOTAL AREA: 3.722 AC
SITE ADDRESS: 3315 POOLE ROAD RALEIGH, NC 27610
SOIL TYPE: Rgd (RAWLINGS-RION) HYDROLOGIC SOIL GROUP C, Ur (URBAN LAND) HYDROLOGIC SOIL GROUP C
 - SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSTALLED AND FUNCTIONING PRIOR TO BEGINNING ANY PROJECT EARTH DISTURBING ACTIVITIES.
 - TO SECURE THE PROJECT SITE, LOCATE LIMITS OF CONSTRUCTION, PROTECT AREAS THAT ARE TO REMAIN UNDISTURBED, AND PREVENT MIGRATION OF CONSTRUCTION DEBRIS, ORANGE CONSTRUCTION FENCING SHALL BE INSTALLED AROUND AREAS NOT REQUIRING SILT FENCING. ANY ACCUMULATION OF CONSTRUCTION DEBRIS ON PUBLIC ROADWAYS OR ADJACENT PROPERTIES SHALL BE REMOVED WITHIN 24 HOURS. CARE SHALL BE TAKEN WHEN INSTALLING CONSTRUCTION FENCING TO NOT OBSCURE ONCOMING TRAFFIC AT INTERSECTIONS, ADJACENT DRIVEWAYS AND THE PROJECT CONSTRUCTION ENTRANCE.
 - CONTRACTOR(S) TO MAINTAIN EROSION CONTROL MEASURES UNTIL GRASSING IS ESTABLISHED. OWNER WILL BE RESPONSIBLE FOR EROSION CONTROL MAINTENANCE THEREAFTER.
 - A CERTIFIED EROSION PREVENTION AND SEDIMENT CONTROL (CEPSC) INSPECTOR SHALL BE MAINTAINED TO PROVIDE INSPECTION AND DOCUMENTATION OF EP&SC PRACTICES THROUGHOUT CONSTRUCTION IN ACCORDANCE WITH NCDENR REGULATIONS.
 - THE CONTRACTOR SHALL PROVIDE A SUITABLE RAIN GAUGE ON SITE AND RECORD DAILY RAINFALL AMOUNTS. THE CONTRACTOR SHALL NOTIFY THE INSPECTOR WITHIN 1 BUSINESS DAY IF A RAINFALL EVENT EQUAL TO OR GREATER THAN 0.5" HAS OCCURRED AT THE SITE.
 - ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2 INCH OR MORE OF PRECIPITATION. DAMAGED OR INEFFECTIVE DEVICES SHALL BE REPAIRED OR REPLACED AS NECESSARY. WRITTEN INSPECTION REPORTS SHALL BE KEPT ON SITE. IF POSSIBLE, SUPPORTING PHOTOGRAPHS SHALL ALSO BE RECORDED ALONG WITH THE INSPECTION REPORT. A WRITTEN MAINTENANCE RECORD OF ALL REPAIRS TO SEDIMENT/EROSION CONTROL DEVICES SHALL ALSO BE MAINTAINED AND KEPT ON SITE. REGULAR MAINTENANCE SHALL ALSO BE PERFORMED INCLUDING REMOVAL OF SILT FROM AROUND CATCH BASINS AND REPAIR CONSTRUCTION ENTRANCE AS NEEDED TO PREVENT OFF-SITE SEDIMENTATION.
 - ANY MODIFICATIONS FROM THE APPROVED PLANS TO THE SEDIMENT/EROSION CONTROL FEATURES INSTALLED ON SITE SHALL BE RECORDED WITH INITIALS AND DATE ON THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND THE DESIGN ENGINEER SHALL BE NOTIFIED. THE DESIGN ENGINEER SHALL BE NOTIFIED IF ANY MAJOR CHANGES IN THE SWPPP ARE REQUIRED.
 - ALL DISTURBED AREAS SHALL RECEIVE TOPSOIL & BE GRASSED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
A. LIME: 2 TONS PER ACRE
B. FERTILIZER: 1000 LBS PER ACRE OF 10-10-10
C. SEED: PER GRASSING SCHEDULE DETAIL
D. MULCH: 1.5 TONS PER ACRE - WHEAT STRAW

IF TEMPORARY VEGETATION IS REQUIRED TO ASSIST IN SILTATION CONTROL, FOLLOW THE GRASSING SCHEDULE DETAIL.
 - SOIL DISTURBANCE SHOULD BE LIMITED TO AREAS BEING ACTIVELY WORKED. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED.
 - SLOPES STEEPER THAN 3:1 AND/OR EXCEEDING EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH FLEX TERRA OR SYNTHETIC/VEGETATIVE MATS IN ADDITION TO HYDRO SEEDING. TEMPORARY SLOPE DRAINS SHALL BE INSTALLED AS NECESSARY DURING CONSTRUCTION WHERE SAID SLOPES EXCEED EIGHT (8) VERTICAL FEET.
 - CAT TRACK OR SURFACE ROUGHENING IS REQUIRED FOR ALL SLOPES GREATER THAN 4:1 PRIOR TO SEEDING AND LYING OF SYNTHETIC OR VEGETATIVE MATS. CAT TRACKING OR SURFACE ROUGHENING SHALL PRODUCE A SURFACE WITH FURROWS RUNNING ACROSS THE SLOPE, PARALLEL WITH SLOPE CONTOURS, AND PERPENDICULAR TO SURFACE RUNOFF.
 - SILT FENCES SHALL BE CLEANED OR REPLACED WHEN SEDIMENT REACHES 1/3 HEIGHT OF THE FENCE OR WHEN THE SILT FENCE BECOMES INEFFECTIVE, WHICHEVER COMES FIRST.
 - PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO WATERS OF THE STATE.
 - SILT FENCE SHALL BE INSTALLED ALONG LINES OF EQUAL ELEVATION. TIE BACKS SHALL BE INSTALLED EVERY 100 LINEAR FEET ALONG THE FENCE LINE.
 - SILT FENCING SHALL BE PLACED NO CLOSER THAN 5 FT. DOWNHILL FROM THE TOE OF ANY FILL AREA.
 - ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFF SITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
 - DURING THE COURSE OF CONSTRUCTION ACTIVITIES EROSION AND SEDIMENT CONTROLS SHALL BE USED TO PREVENT SEDIMENT ACCUMULATION ON PUBLIC ROADWAYS (INCLUDING STREET GUTTERS), SEDIMENT LADEN RUNOFF FROM ENTERING INTO EXISTING STORM WATER SYSTEM INLETS OR DEPOSITING ON ADJACENT PROPERTIES, AND AIRBORNE DUST MIGRATION OFF-SITE. ANY ACCUMULATION OF SEDIMENT FROM THE PROJECT SITE ON PUBLIC ROADWAYS OR ADJACENT PROPERTIES SHALL BE REMOVED WITHIN 24 HOURS.
 - THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY FROM CONSTRUCTION AREAS. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
 - THE CONTRACTOR SHALL CONTROL DUST AS NECESSARY USING DUST CONTROL BMPs INCLUDING PROJECT PHASING, VEGETATIVE COVER, MULCH, SPRINKLING WATER, BARRIERS AND/OR COVERS.
 - TEMPORARY STOCKPILING OF USEABLE OR WASTE MATERIALS FOR MORE THAN SEVEN (7) DAYS SHALL HAVE APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES INSTALLED. THE CONTRACTOR SHALL PROVIDE STOCKPILE MANAGEMENT PER BMPs AS DESCRIBED IN THE SCOTD WATER QUALITY PROTECTION DURING CONSTRUCTION FIELD MANUAL (JANUARY 2004) SECTION 8.6. ACTIVE STOCKPILES SHALL BE COVERED, STABILIZED OR PROTECTED WITH TEMPORARY LINEAR SEDIMENT BARRIER PRIOR TO THE ONSET OF PRECIPITATION.
 - TEMPORARY STOCKPILES SHALL BE PLACED A MINIMUM OF 50 FEET AWAY FROM CONCENTRATED STORM WATER FLOWS, DRAINAGE COURSES, STORM WATER INLET STRUCTURES, ADJACENT PROPERTY, AND PUBLIC ROADWAYS. REPAIR AND/OR REPLACE PERIMETER CONTROLS AS NECESSARY. SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES 1/3 OF THE BARRIER HEIGHT.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ANY SEDIMENT CONTROL DEVICES NEEDED OR REQUIRED AT BORROW OR HAUL AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A GRADING AND/OR MINING PERMIT FOR OFFSITE BORROW PITS AND/OR STOCKPILE AREAS.
 - SOLID WASTE DISPOSAL SHALL BE IN COMPLIANCE WITH SCDHEC SOLID WASTE REGULATIONS AND THE CITY OF RALEIGH NUISANCE ORDINANCE.
 - THE CONTRACTOR SHALL ESTABLISH AN APPROPRIATE AREA ON SITE FOR TOPSOIL STORAGE. STOCKPILE SHALL BE STABILIZED AND SILT FENCE SHALL BE INSTALLED TO PREVENT SEDIMENTATION. CONTRACTOR SHALL COORDINATE WITH LANDSCAPING CONTRACTOR AND OWNER FOR DISTRIBUTION OF TOPSOIL ON SITE.
 - ALL EXISTING OR NEW STORM WATER STRUCTURES SHALL BE CLEANED OF ANY ACCUMULATED CONSTRUCTION DEBRIS OR SEDIMENTS FROM THIS PROJECT SITE. DISPOSAL OF ALL RECOVERED SEDIMENTS AND CONSTRUCTION DEBRIS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL REGULATIONS.
 - THE CONTRACTOR AND OWNER SHALL ALLOW WAKE COUNTY AND/OR THE CITY OF RALEIGH OR OTHER IMPLEMENTING AGENCY TO CONDUCT ONSITE INSPECTIONS.
 - A MINIMUM 10' WIDE BUFFER SHALL BE MAINTAINED ALONG THE EDGES OF ALL WETLANDS DURING DEMOLITION AND CONSTRUCTION ACTIVITY.
 - TEMPORARY TOILETS, IF USED DURING CONSTRUCTION, SHALL NOT BE PLACED WITHIN 50' OF AN EXISTING OR PROPOSED STORMDRAIN INLET OR OUTLET.
 - TEMPORARY CONCRETE TRUCK WASH OUT AREAS SHALL NOT BE PLACED WITHIN 50' OF AN EXISTING OR PROPOSED STORMDRAIN INLET.
 - ANY GROUNDWATER ENCOUNTERED WHILE TRENCHING MUST BE FILTERED PRIOR TO DISCHARGE.
- ENCROACHMENT NOTES
- PRIOR TO CONSTRUCTION ALL EROSION CONTROL FEATURES SHALL BE INSTALLED PER THE SWPPP.
 - CONTRACTOR SHALL FOLLOW ALL NCDOT APPROVED TRAFFIC CONTROL STANDARDS DURING CONSTRUCTION.
 - EMERGENCY SERVICES (911) SHALL BE NOTIFIED PRIOR TO ROAD CLOSURES AND/OR REROUTING.
 - WHERE SIDEWALKS INTERSECT ROADS, HANDICAPPED RAMPS SHALL BE INSTALLED PER NCDOT AND CITY OF RALEIGH SPECIFICATIONS
 - NEW SIDEWALK TO BE INSTALLED IN ACCORDANCE WITH CITY OF RALEIGH TRANSPORTATION DETAILS.

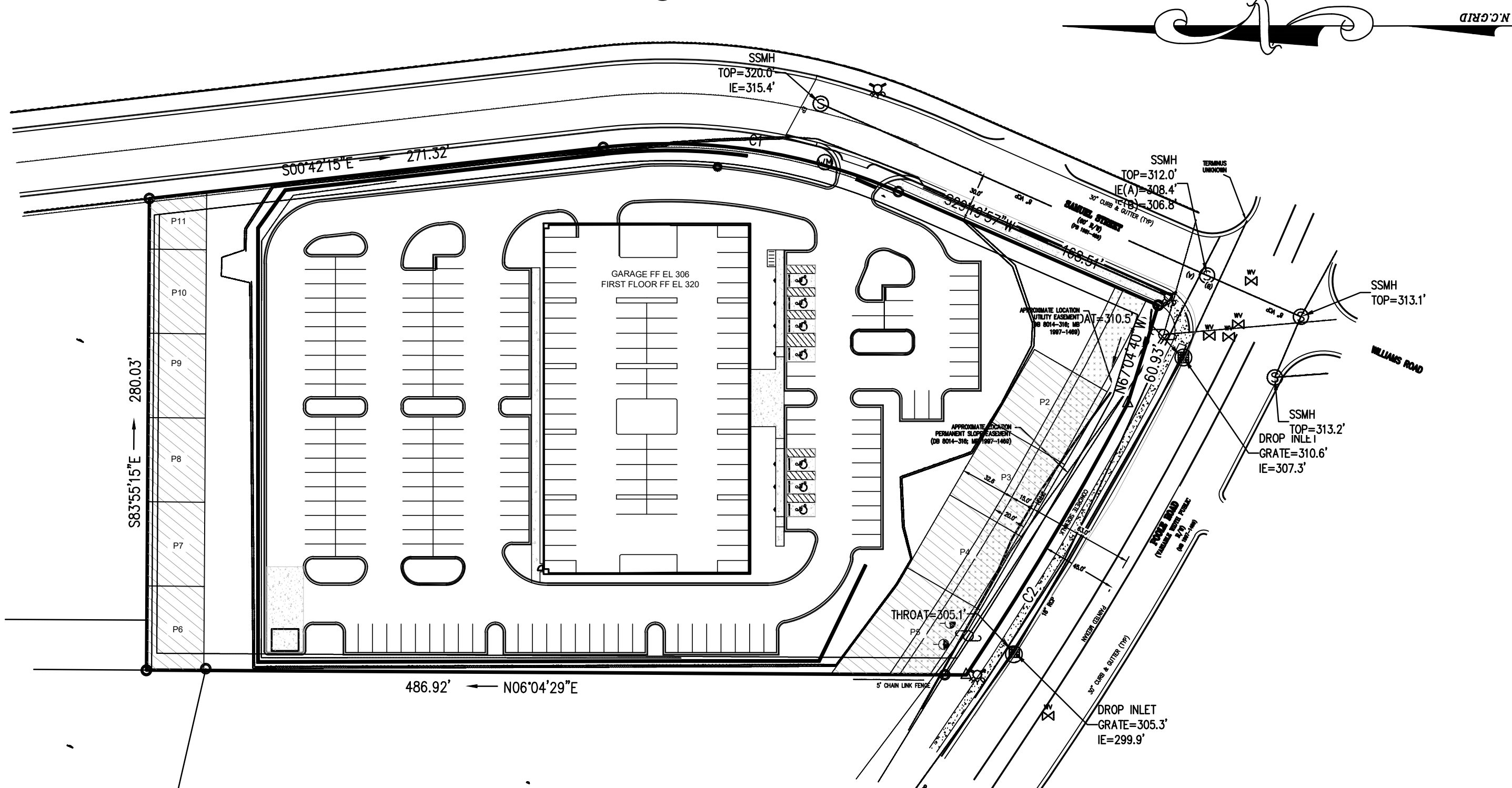
OHO RALEIGH

CITY OF RALEIGH

WAKE COUNTY, NORTH CAROLINA

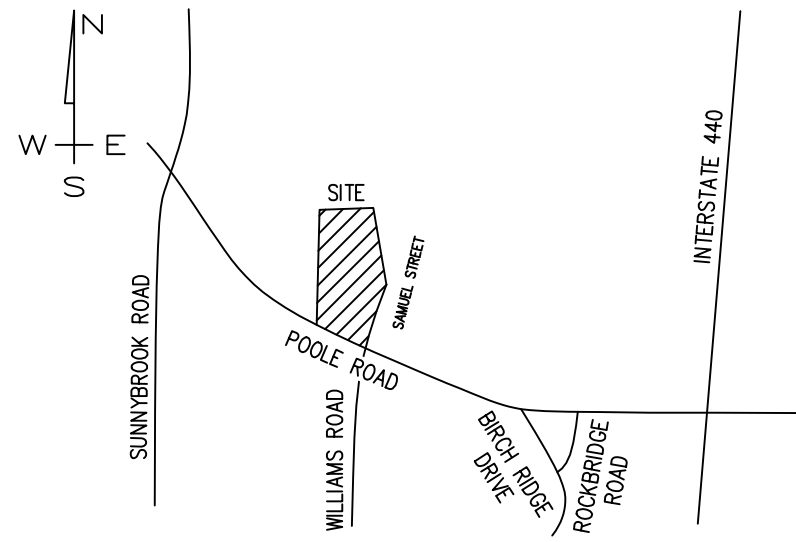
for
RP POOLE RD LLC
JOHN BRASWELL

445 BISHOP ST. NW ATLANTA, GA 30318
JOHNBRASWELL@ROOKERCO.COM



SCALE: 1"=60'

VICINITY MAP



1"=700'

SHEET INDEX

COVER.....	1	OF	18
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L1.2 AERIAL IMAGE.....	18	OF	19

24-HOUR CONTACT

MITCH BROWN
(770) 518-2535
(239) 580-8096

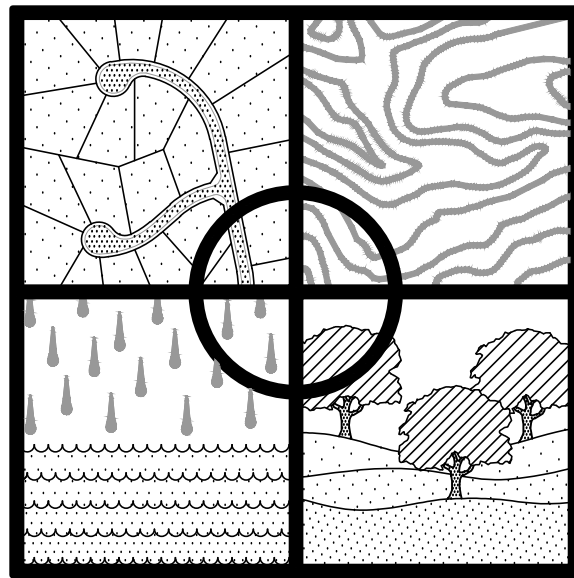
CAUTION



THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

SITE DESIGN, INC.

CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS



www.sitedesign-inc.com
800 E. WASHINGTON ST, STE B
GREENVILLE, SC 29601
PH: (864)271-0496
FAX: (864)271-0402

OHO Raleigh

SEAL

REVISIONS

NO.	DESCRIPTION	DATE
10.		
9.		
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7.		
6.		
5.		
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1.		

SHEET NUMBER 1 OF 18

Administrative Site Review Application
(for UDO Districts only)



DEVELOPMENT
SERVICES
DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2405 | fax 919-996-1831
Litchford Satellite Office | 1051 - 101 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
☐ Detached	☒ General	Transaction Number
☐ Attached	☐ Mixed Use	Assigned Project Coordinator
☐ Apartment	☐ Open Lot	Assigned Team Leader
☐ Townhouse		

Has your project previously been through the Our Differences or Sketch Plan Review process? If yes, provide the transaction #: 568944

GENERAL INFORMATION	
Development Name: OHO Raleigh	
Zoning District: Currently zoned as R-6, but being rezoned to OX-3-CU	Overlay District (if applicable):
Proposed Use: General / Federal Government office	Inside City Limits? ☒ Yes ☐ No
Property Address: 3315 Poole Rd	Major Street Location: Poole Rd
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:	
P.A.N.: 1723452474	P.I.N.

What is your project type?	☐ Apartment	☐ Elderly Facilities	☐ Hospitals	☐ Hotels/Motels	☐ Office
☐ New Residential	☐ Non-Residential Care	☐ School	☐ Shopping Center	☐ Towns	☐ Industrial Building
☐ Quaker	☐ Telecommunication Tower	☐ Religious Institutions	☐ Residential Care	☐ Retail	☐ Carriage Court
Other: If other, please describe: Federal Government Office Building					

WORKSCOPE	Per City Code Section 10.2.3.0.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 8 of the UDO), indicate impacts on parking requirements. Development of a 2-story government office building with basement level parking. Parking requirements increase from 30 spaces to 117 spaces required.
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CLIENT/DEVELOPER/OWNER	Company: RP Poole Road LLC Name: John W. Braswell Address: 445 Bishop St. NW, Suite 200, Atlanta, GA 30318 Phone: 678-367-4216 Email: johnbraswell@rookerco.com Fax:
CONSULTANT (Contact Person for Plans)	Company: Site Design-Inc Name: Paul Mills Address: 800 E. Washington St, suite B, Greenville SC 29601 Phone: 864-271-0496 Email: pmills@sitedesign-inc.com Fax: 864-271-0402

PAGE 1 OF 3

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REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District: OX-3-CU	Proposed building use(s): General Office
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross: 3,739 SF
Overlay District:	Proposed Building(s) sq. ft. gross: 46,464 SF
Total Site Acres: Inside City Limits: Yes ☐ No ☒ 3.772	Total sq. ft. gross (existing & proposed):
Off street parking: Required: 117 Provided: 235	Proposed height of building(s): 31
COA (Certificate of Appropriateness) case #:	# of stories: 3
BOA (Board of Adjustment) case #:	Ceiling height of 1 st floor: 14'
CUO (Conditional Use District) case #:	
Stormwater Information	
Existing Impervious Surface: 1 acres/acreage feet	Flood Hazard Area: ☐ Yes ☒ No
Proposed Impervious Surface: 2.25 acres/acreage feet	If Yes, please provide: Allowable Soils FEMA Map Panel #:
Nature River Buffer: ☐ Yes ☒ No Wetlands: ☐ Yes ☒ No	Flood Study
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care or Life Care Dwelling Units	6. Infill Development: 2.37
3. Total Number of Hotel Units	7. Open Space (acres) or Amenity
4. Overall Total # of Dwelling Units (2-8 Above)	8. Is your project a cottage court? ☐ Yes ☒ No
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate: Paul Mills, Site Design, Inc. to serve as my agent regarding this application, to receive and respond to administrative comments, to submit plans on my behalf and to represent me in any public meeting regarding this application.	
Signature: John W. Braswell Member	Date: 4/8/19
Printed name: John W. Braswell	
Signature:	Date:
Printed name:	

PAGE 2 OF 3

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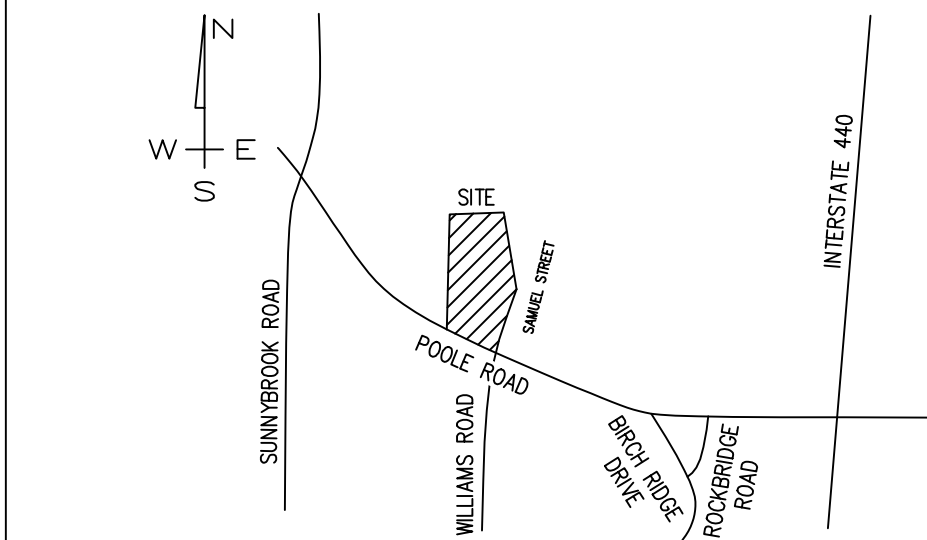
REVISION 05.13.16

DEMOLITION NOTES

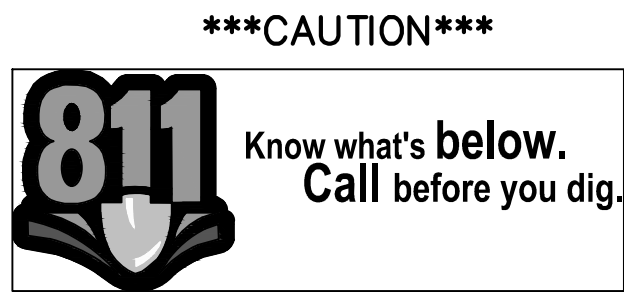
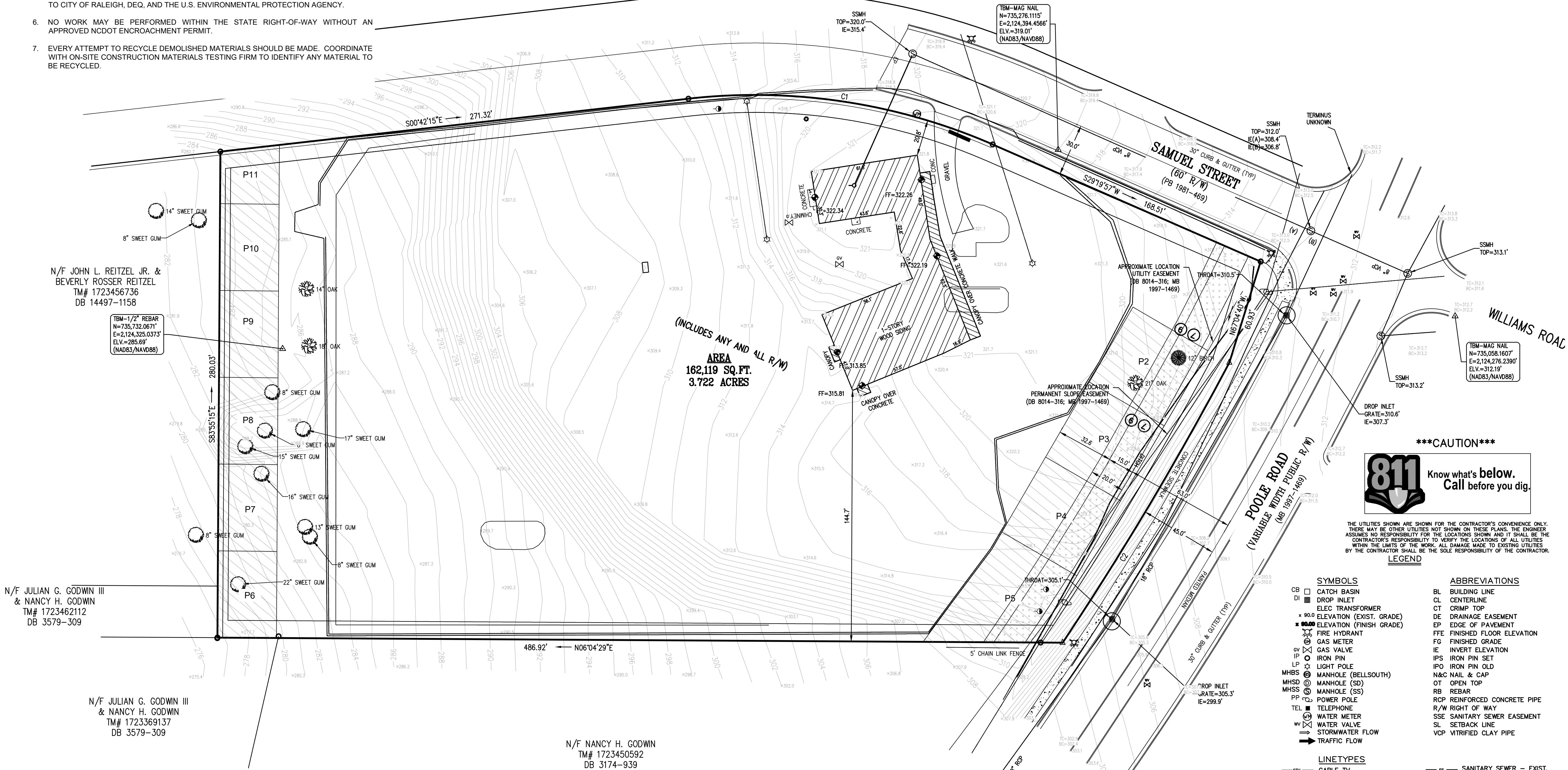
- DEMOLITION AND REMOVAL IS NOT NECESSARILY LIMITED TO THE ITEMS SHOWN ON THIS PLAN. CONTRACTOR SHALL REMOVE ADDITIONAL EXISTING UNSUITABLE MATERIAL OR STRUCTURES WITHIN THE CONSTRUCTION AREA AS NECESSARY.
- THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY IF UNDERGROUND STORAGE TANKS OR OTHER EQUIPMENT IS UNEARTHED OR OTHERWISE DISCOVERED.
- ALL EXISTING UTILITY DEMOLITION, REMOVAL, OR ABANDONMENT (WATER, SEWER, STORM DRAINAGE, ELECTRIC, GAS, TELEPHONE, CABLE, ETC.) SHALL BE DONE IN ACCORDANCE WITH THE STANDARDS, RULES, REGULATIONS, AND REQUIREMENTS OF THE APPLICABLE GOVERNING UTILITY ENTITY. CONTRACTOR SHALL COORDINATE UTILITY WORK WITH THE APPROPRIATE UTILITY ENTITY. CONTRACTOR TO VERIFY USEFULNESS OF EXISTING SITE UTILITIES WITH THE APPROPRIATE UTILITY ENTITY.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FROM CITY OF RALEIGH NECESSARY OR REQUIRED TO PERFORM DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF DEMOLITION DEBRIS.
- THE CONTRACTOR SHALL CONDUCT ALL DEMOLITION, REMOVAL, STORAGE, CLEANUP, ETC. IN ACCORDANCE WITH ALL REGULATING AUTHORITIES INCLUDING BUT NOT LIMITED TO CITY OF RALEIGH, DEQ, AND THE U.S. ENVIRONMENTAL PROTECTION AGENCY.
- NO WORK MAY BE PERFORMED WITHIN THE STATE RIGHT-OF-WAY WITHOUT AN APPROVED NCDOT ENCROACHMENT PERMIT.
- EVERY ATTEMPT TO RECYCLE DEMOLISHED MATERIALS SHOULD BE MADE. COORDINATE WITH ON-SITE CONSTRUCTION MATERIALS TESTING FIRM TO IDENTIFY ANY MATERIAL TO BE RECYCLED.

EXISTING SITE NOTE

- ELEVATIONS PER NAVAS88 DATUM.
- NEUSE WATERSHED
- AVLLUVIAL SOILS: NONE
- FEMA FLOOD HAZARDS: NONE
- NEUSE RIVER BUFFERS: NONE
- WETLANDS: NONE
- EXISTING STORM DRAINAGE, HYDRAULIC FEATURES, DRINAGE EASEMENT: AS SHOWN



1"=700'



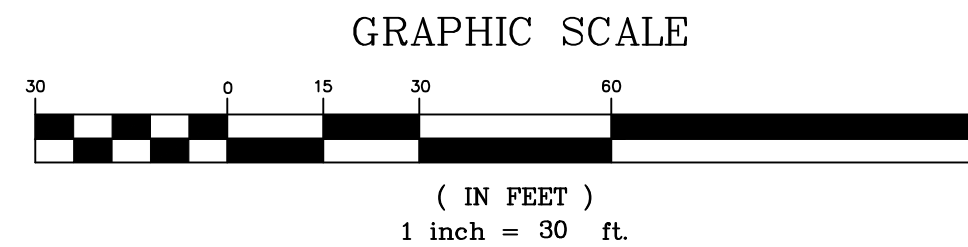
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LEGEND

SYMBOLS	ABBREVIATIONS
CB CATCH BASIN	BL BUILDING LINE
DI DROP INLET	CL CENTERLINE
ELEC TRANSFORMER	CT CRIMP TOP
x 90.0 ELEVATION (EXIST. GRADE)	DE DRAINAGE EASEMENT
x 90.0 ELEVATION (FINISH GRADE)	EP EDGE OF PAVEMENT
FF FLOOR FINISH	FFE FINISHED FLOOR ELEVATION
FM FIRE HYDRANT	FG FINISHED GRADE
GV GAS VALVE	IE INVERT ELEVATION
IP IRON PIN	IPS IRON PIN SET
LP LIGHT POLE	IPO IRON PIN OLD
MHBS MANHOLE (BELLSOUTH)	N&C NAIL & CAP
MHSD MANHOLE (SD)	OT OPEN TOP
MHSS MANHOLE (SS)	RB REBAR
PP POWER POLE	ROP REINFORCED CONCRETE PIPE
TEL TELEPHONE	R/W RIGHT OF WAY
WM WATER METER	SSE SANITARY SEWER EASEMENT
WV WATER VALVE	SL SETBACK LINE
STORMWATER FLOW	VCP VITRIFIED CLAY PIPE
TRAFFIC FLOW	

LINETYPES

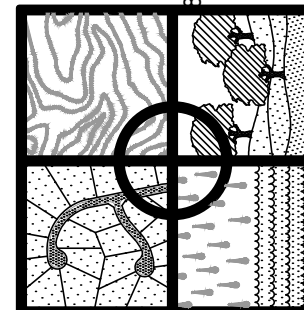
--- CTV	--- SS SANITARY SEWER - EXIST.
--- CABLE TV	--- S SANITARY SEWER - NEW
--- CHAIN LINK FENCE (PROPOSED)	--- SILT FENCE
--- CHAIN LINK FENCE (EXISTING)	--- SD STORM SEWER - EXIST.
--- 680 CONTOURS - EXIST. GRADE	--- SD STORM SEWER - NEW
--- (678) CONTOURS - FINISHED GRADE	--- UOP UNDERGROUND POWER
--- FOC FIBER OPTIC	--- UOT UNDERGROUND TEL
--- FM FORCE MAIN	--- W WATER LINE - EXIST.
--- GAS GAS LINE	--- W WATER - NEW
--- OP OVERHEAD POWER	--- WOOD FENCE
--- OT OVERHEAD TELEPHONE	--- WPS LIMITS OF DISTURBANCE
--- RD ROOF DRAIN - NEW	



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OHO RALEIGH

CITY OF RALEIGH
WAKE COUNTY
NORTH CAROLINA

NOT FOR CONSTRUCTION

HORZ. SCALE: 1" = 30'
VERT. SCALE: N/A
DESIGNED BY: PFM
DRAWN BY: JLC
CHECKED BY: PFM
DATE: 1/14/2019

S180917_SHEETS.DWG

EXISTING CONDITIONS
AND DEMOLITION
AND INDEX SHEET

SHEET 1 OF 19

C100

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CALLING UTILITY LOCATION SERVICE AT 811 THREE (3) DAYS PRIOR TO CONSTRUCTION.
2. DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTERLINE OF PARKING STALL OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ENTRY/EXIT PORCHES.
4. ASPHALT PAVING SECTIONS SHALL BE CONSTRUCTED PER THE DETAILS.
5. CONCRETE SIDEWALKS SHALL BE CONSTRUCTED WITH 3000 PSI CONCRETE 4" THICK WITH EXPANSION JOINTS AND SCORING PER DETAIL.
6. THE CONTRACTOR SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
7. ALL WORK ON STATE, COUNTY, OR CITY RIGHT-OF-WAY INCLUDING DRIVEWAY APRONS, WATER AND SEWER TAPS OR ANY OTHER WORK REQUIRES AN ENCROACHMENT PERMIT FROM THE APPROPRIATE AGENCY.
8. ALL CURBING TO BE 18" FORMED CONCRETE CURBING PER DETAIL, WITH 3000 PSI CONCRETE.
9. ANY MATERIAL DEMOLISHED AS INDICATED ON THIS PLAN IS TO BE HAULED OFF-SITE TO AN APPROVED LANDFILL.
10. TRUNCATED DOMES ARE TYPICAL AT ALL HANDICAP RAMPS. HANDICAP SPACES WILL BE MARKED WITH A FREESTANDING OR WALL MOUNTED SIGN. SEE DETAIL SHEETS FOR PROPER STRIPING.
11. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
12. MINIMUM CORNER CLEARANCE FROM CURB LINE OF INTERSECTION STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE POINT OF TANGENCY.

1"=700'

PIN: 1723452474
TOTAL SITE = 3.722 AC (162,119 SF)
TOTAL DISTURBED AREA = XX.XX AC (XX,XXX SF)

ZONING - OX-3-CU (OFFICE MIXED USE)

BUILDING SETBACKS -
FRONT - 10'
REAR - 6'
SIDES - 6'

PARKING SETBACKS -
FRONT - 10'
REAR - 3'
SIDE (STREET) - 10'
SIDE (LOT LINE) - 0'



THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

<u>SYMBOLS</u>		<u>ABBREVIATIONS</u>	
CB	□ CATCH BASIN	BL BUILDING LINE	
DI	□ DROP INLET	CL CENTERLINE	
	□ ELEC. TRANSFORMER	CT CURB TOP	
x 90.0	ELEVATION (EXIST. GRADE)	DE DRAINAGE EASEMENT	
x 90.00	ELEVATION (FINISH GRADE)	EP EDGE OF PAVEMENT	
⊗	FIRE HYDRANT	FFE FINISHED FLOOR ELEVATION	
⊗	GAS METER	FG FINISHED GRADE	
⊗	GAS VALVE	IE INVERT ELEVATION	
⊗	IRON PIN	IPS IRON PIN SET	
⊗	IRON PIPE	IPO IRON PIN OLD	
MHBS	⊗ MANHOLE (BELLSOUTH)	N&C NAIL & CAP	
MHSS	⊗ MANHOLE (SD)	OT OPEN TOP	
	⊗ MANHOLE (SS)	RP REBAR	
PP	⊗ POWER POLE	RCP REINFORCED CONCRETE PIPE	
TEL	■ TELEPHONE	R/W RIGHT OF WAY	
⊗	WATER METER	SSE SANITARY SEWER EASEMENT	
⊗	WATER VALVE	SL SETBACK LINE	
	STORMWATER FLOW	VCP VITRIFIED CLAY PIPE	
→	TRAFFIC FLOW		
 <u>LINETYPES</u>			
—CIV	CABLE TV	—SS	SANITARY SEWER - EXIST.
—X	CHAIN LINK FENCE (PROPOSED)	—SS	SANITARY SEWER - NEW
—X	CHAIN LINK FENCE (EXISTING)	—SF	SILT FENCE
—680-	CONTOURS - EXIST. GRADE	—ST	STORM SEWER - EXIST.
—(678)-	CONTOURS - FINISHED GRADE	—ST	STORM SEWER - NEW
—FIB	FIBER OPTIC	—UGP	UNDERGROUND POWER
—FM	FORCE MAIN	—UGT	UNDERGROUND TEL
—GAS	GAS LINE	—W	WATER LINE EXIST.
—OV	OVERHEAD POWER	—W	WATER - NEW
—OV	OVERHEAD TELEPHONE	—W	WOOD FENCE
—SH	ROOF DRAIN - NEW	—NPOES	LIMITS OF DISTURBANCE

(IN FEET)
1 inch = 30 ft.



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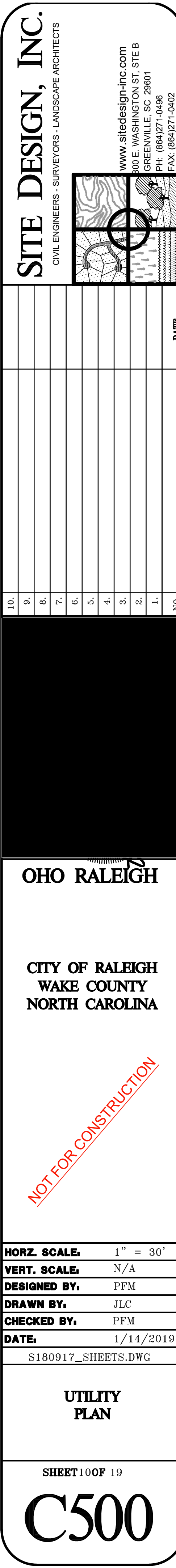
CITY OF RALEIGH
WAKE COUNTY
NORTH CAROLINA

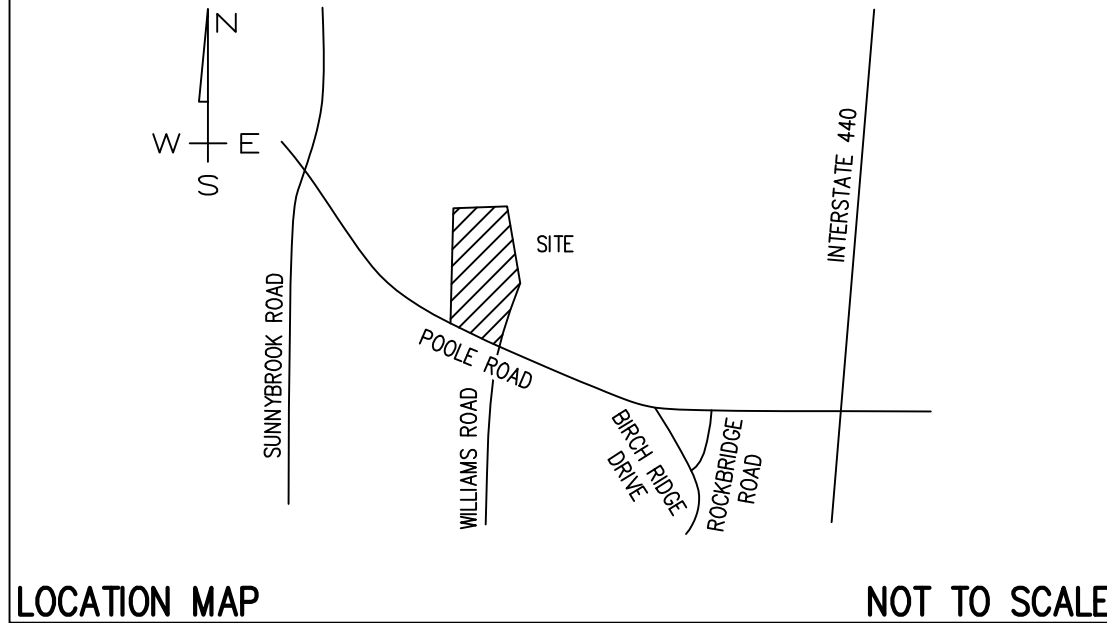
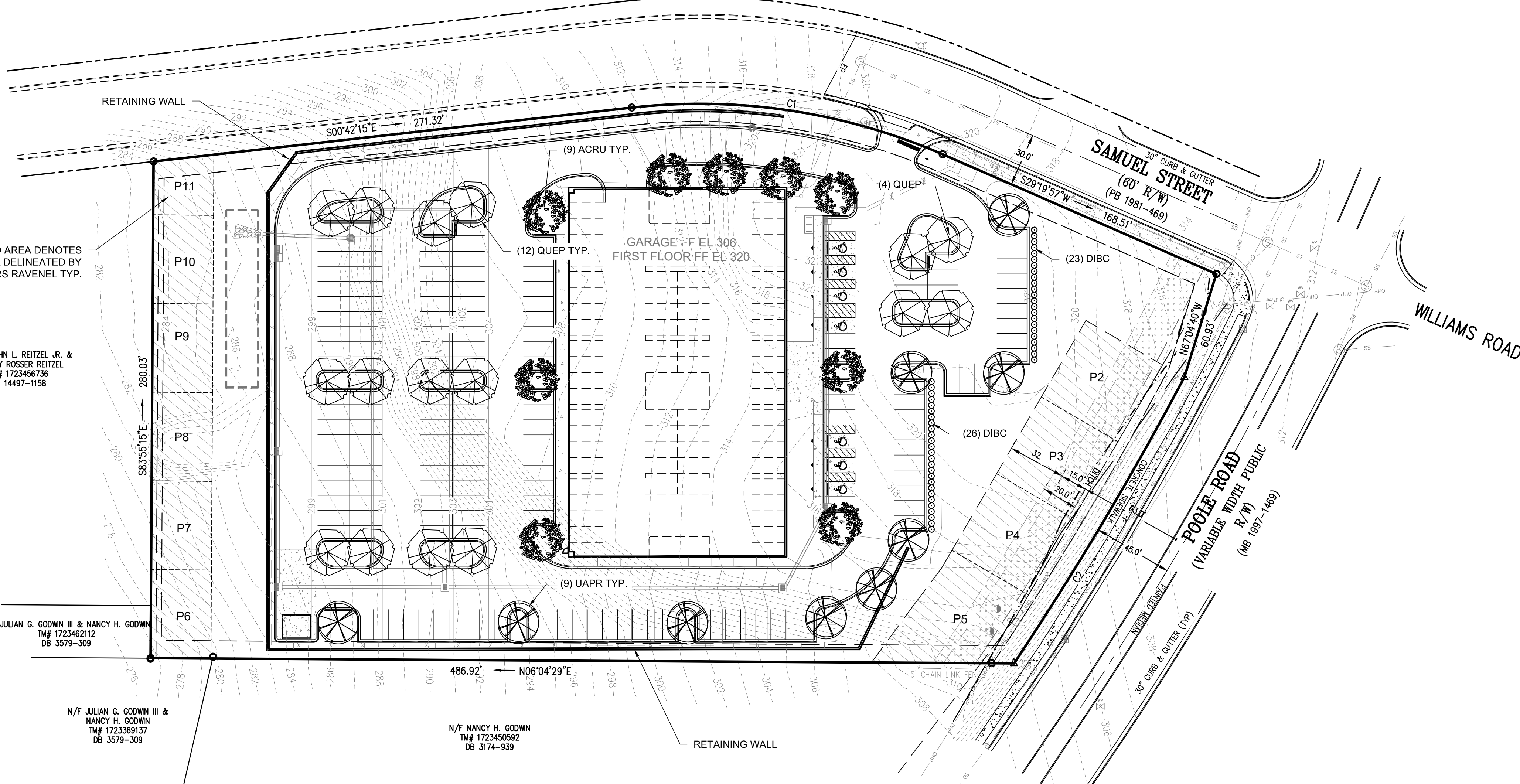
NOT FOR CONSTRUCTION

SITE PLAN

C200

1. ALL UTILITIES LOCATED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL COORDINATE LOCATION OF UNDERGROUND UTILITIES WITH THE UTILITY LOCATING SERVICE, BY CALLING 811 THREE (3) DAYS PRIOR TO CONSTRUCTION, AND UTILITY PROVIDERS.
2. CONTRACTOR SHALL NOTIFY THE ENGINEER FOR A REVIEW SHOULD ANY DISCREPANCIES BE DISCOVERED AT THE SITE OR ON THE DRAWINGS.
3. NEW UTILITY TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST (ASTM D-698). IN ADDITION, THE UPPER 18" OF ALL FILL MATERIALS BENEATH FLOOR SLABS AND PAVEMENTS SHALL BE COMPACTED TO AT LEAST 98% OF THE MAXIMUM DRY DENSITY (ASTM D-698).
4. CONTRACTOR SHALL CONSTRUCT DOMESTIC WATER SERVICE TO BUILDINGS AND FIRE LINE AS SHOWN ON DRAWING. EXACT LINE SIZE, TYPE AND LOCATION TO BE COORDINATED WITH MEP PLANS AND THE GOVERNING UTILITY AUTHORITY. TAPS TO BE INSTALLED TO THE SPECIFICATIONS OF THE GOVERNING UTILITY AUTHORITY.
5. CONTRACTOR SHALL CONSTRUCT SANITARY SEWER SERVICE TO BUILDINGS. EXACT SIZE, TYPE AND LOCATION TO BE COORDINATED WITH MEP PLANS AND THE GOVERNING UTILITY AUTHORITY. SERVICE TO BE INSTALLED TO THE SPECIFICATIONS OF THE GOVERNING UTILITY AUTHORITY. INSTALL CLEAN OUTS AT 75' INTERVALS (MAX) AND AT ALL DEFLECTIONS.
6. CONTRACTOR SHALL COORDINATE ALL OTHER UTILITY CONNECTIONS WITH LOCAL PROVIDERS. CONTRACTOR SHALL INSTALL ALL UTILITIES TO THE SPECIFICATIONS AND REQUIREMENTS OF THE ACCEPTING UTILITY AUTHORITY.
7. THE CONTRACTOR SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
8. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY UTILITY SCREENING TO MEET THE REQUIREMENTS OF THE CITY OF RALEIGH.





GENERAL NOTES & SPECIFICATIONS

LAWN INSTALLATION: Lawn areas shall be fine graded to a smooth, positively draining slope, removing all stones over 3/4". Agricultural limestone shall be incorporated into the soil at a rate of 50 pounds per 1000 square feet. Apply specified seed at recommended rate. Straw mulch or hydromulch shall be used as deemed necessary by the Landscape Contractor and Landscape Architect. The Landscape Contractor shall be responsible to establish a full stand of grass and will repair any bare spots 1'-0" square due to uneven seed distribution, drought or erosion.

SOD INSTALLATION: Sodded lawn areas shall be fine graded to a smooth, positively draining slope, removing all stones over 3/4". Sod shall be healthy, thick sod placed so that joints are butt tight. Staple as necessary. Sod shall be trimmed to match bed lines shown on plan. Startup fertilizer shall be incorporated into the soil at the manufacturer's recommended rate. Any area of sod that fails to root, settles or dies will be replaced by the Landscape Contractor.

UTILITY LOCATION: The Landscape Contractor is responsible for contacting the utility locator service and is responsible for any damage done to utilities.

QUANTITIES Plant quantities are shown for the contractor's convenience only. PLANTS SHALL BE INSTALLED AS SHOWN. Contractor is responsible for confirming all quantities prior to bidding and installation.

BIDS In order to keep all bids standard, all bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract.

PLANT QUALITY All plants shall be nursery grown, have a full habit of growth as is characteristic of that species, and shall be free of disease or insects. General plant quality shall be as specified in the "USA Standard for Nursery Stock" (published by the American Association of Nurserymen). Please contact the Landscape Architect if there is difficulty in locating a particular plant. If necessary, a substitute plant will be recommended by the Landscape Architect.

PLANTING AREA PREPARATION: Entire planting area shall be scarified and contain amended on-site soil or a soil mix to a depth of no less than 18". (see planting detail for more information.)

SETTING OF PLANTS The root ball of container grown plants shall be scarified in several places prior to planting. Plant shrubs and trees so that after initial settlement, the top root balls will be even with or slightly above the adjacent soil line. Around root balls, 1/2 of the original soil shall be removed from the planting hole and thoroughly mixed with the same quantity peat moss or well rotted, fine textured bark. (Only in areas where the existing soil is 100% fertile, loose topsoil (brown or black in color) can plants be placed directly in the soil with no amendments). PLANTINGS NOT DONE IN THIS MANNER SHALL BE REMOVED AND PROPERLY REPLANTED.

PREPARATION OF GROUND COVER AND SEASONAL COLOR BEDS: The existing soil in ground cover and seasonal color beds shall be thoroughly cultivated 6 inches deep, to a fine texture (no clods over 1/2") with a mechanical tiller. A plant mix of 60% screened shredded topsoil, 20% sand, and 20% well rotted sawdust or peat shall then be thoroughly incorporated into the existing soil with the tiller so that the soil mix (6" deep) is 1/2 original soil and 1/2 plant mix. All groundcover and seasonal color beds shall receive a 2" layer of fine textured, screened, pine bark mulch, or equal.

PLANTINGS NOT DONE IN THIS MANNER SHALL BE REMOVED AND PROPERLY REPLANTED.

FERTILIZING Upon completion of plantings, all shrubs shall receive 1/6 cup of 16-4-8 fertilizer (50% of nitrogen slow release) evenly broadcast at the base of the plants. Trees shall receive 1/4 cup of 16-4-8 fertilizer (50% of nitrogen slow release) per inch of caliper. Ground cover beds shall be fertilized at the rate of 20 pounds of 16-4-8 (50% of nitrogen slow release) per 1000 square feet.

STAKING OF TREES Deciduous trees, 1 1/2" in caliper and over, and evergreen trees, 8' and taller shall be staked. Rubberhose to be used to cover the wire at the point of its contact with the tree. The Landscape Contractor is responsible for all wind damage to trees, (provided winds are less than 60mph) during the guarantee period, and may stake other trees (for his own protection) at his option. TRANSPANTS All plant material to be transplanted shall be transplanted according to guidelines set by AAN standards. Transplanted material will not be guaranteed by the landscape contractor.

MULCHING As specified on planting list. Hardwood mulch: All beds to receive a 3" layer of aged hardwood bark mulch (free of wood chips or large chunks of bark). Fresh hardwood bark mulch is not recommended to be used, as water run-off may cause staining on adjacent concrete surfaces. All damages incurred by the use of fresh hardwood mulch shall be the responsibility of the landscape contractor. Pinestraw: All beds to receive a 4" layer (prior to compaction) of pinestraw. After natural compaction, pinestraw should have a depth of 2". All trees located in lawn areas shall receive a 3" diameter ring of mulch. Mulch in these areas is to follow the above listed guidelines. A weed barrier shall be provided in all bed areas under mulch layer.

GRADING All final grading shall be the responsibility of the landscape contractor. The responsibility for any additional grading (if needed) shall be determined prior to bidding.

BACKFILL Landscape contractor to verify any additional backfill/topsoil needed prior to beginning work. A unit price for topsoil shall be included in all bid documents to allow for circumstances that might arise during installation.

STABILIZATION Landscape contractor shall ensure that all plantings are stabilized with ground covers, mulches or other approved materials to prevent soil erosion and allow rainwater infiltration.

CLEAN UP Final clean up of any disturbances occurring as a result of landscape operations shall be the responsibility of the landscape contractor.

INSPECTION It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect prior to installation. All plant material will be inspected. Plants not conforming precisely to the plant list will not be accepted and shall be replaced at the contractor's own expense.

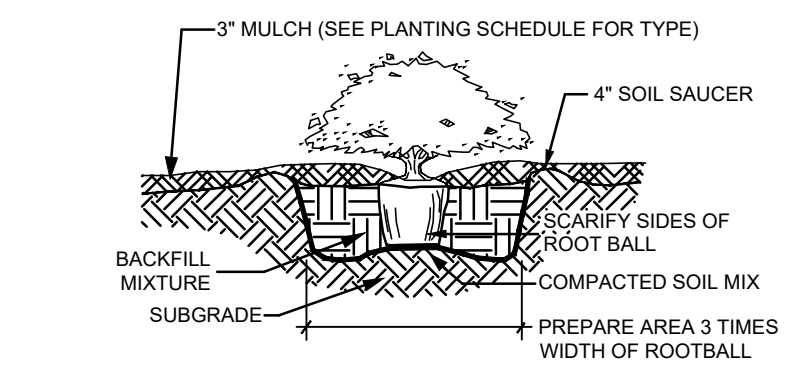
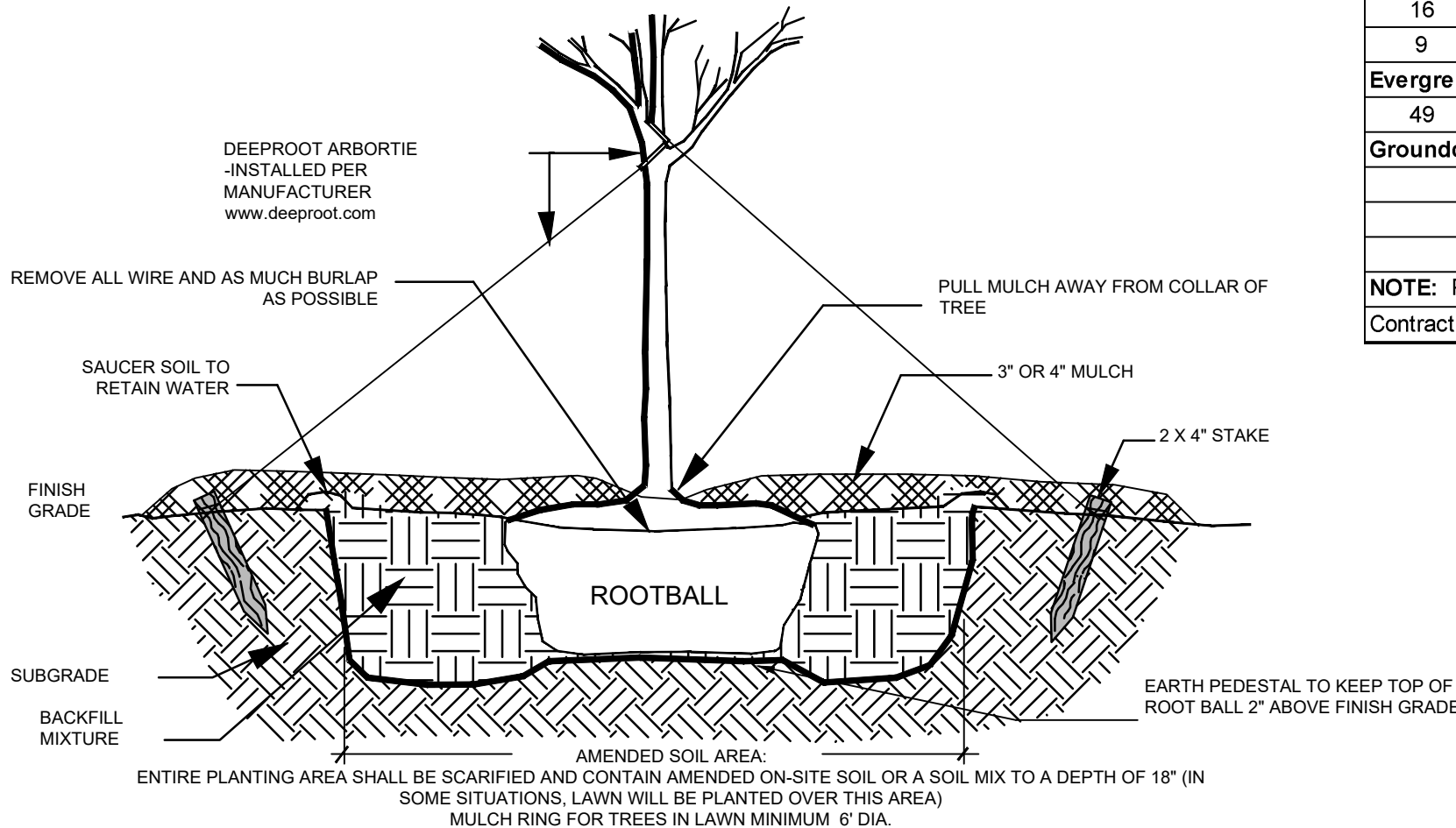
LICENSES The contractor will be responsible for obtaining all licenses necessary to complete the work.

INSURANCE With the submittal of bid documents, the landscape contractor shall also submit a certificate of insurance for workman's compensation and a contractor's general liability. Contractors not providing evidence of such insurance will be ineligible to receive the contract for the job.

GUARANTEE All plant material and workmanship to be guaranteed for one year from the date of acceptance by the Owner. Plant replacement to occur only once. The contractor will not be responsible for defects resulting from neglect by the Owner, abuse or damage by others, or unusual phenomena or incidents beyond the landscape contractors control which result from natural causes such as floods, lightning, storms, freezing rains, or winds over 60 miles per hour, fire, vandalism or theft.

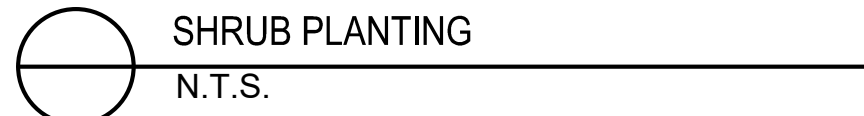
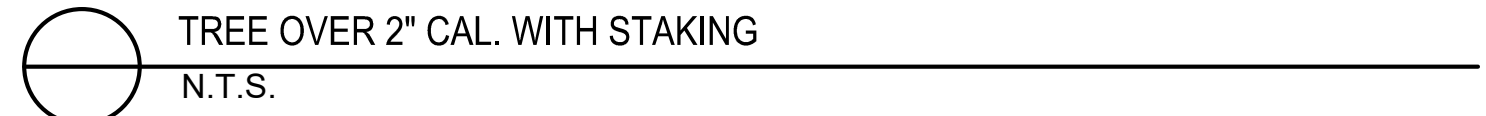
IRRIGATION Unless otherwise specified, if an automatic irrigation system is desired or required, it will be the responsibility of the contractor to have the system designed and installed.

Plant Schedule for Project S180917					
3/12/2019					
Quan.	Code	Common Name	Botanical Name	Size	Notes
Deciduous Shade Tree					
9	ACRU	Autumn Blaze Red Maple	Acer rubrum 'Autumn Blaze'	3" Cal.	
16	QUEP	Hightower Oak	Quercus phellos 'QPSTA'	3" Cal.	
9	UAPR	Princeton Elm	Ulmus americana 'Princeton'	3" Cal.	
Evergreen Shrub					
49	DIBC	Blue Cascade Distylium	Distylium 'Blue Cascade'	18" Min.	
Groundcover					
		Bermuda Sod			Per Owner
		Double Shredded Hardwood Mulch			All Planted Areas and Tree Rings
NOTE: Plant quantities shown are for the contractor's convenience only. Contractor is responsible for confirming all plant quantities prior to bidding and installation.					



- NOTES:
1. REMOVE WIRE, NYLON TWINE OR CONTAINER FROM ROOT BALL.
 2. SCARIFY SIDES AND BOTTOM OF HOLE AS WELL AS THE ROOT BALL.
 3. INSTALL TOP OF BALL 2" ABOVE FINISH GRADE.
 4. ROOT BALLS GREATER THAN 2" IN DIAMETER SHALL SIT ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING.
 5. ROOT BALLS SMALLER THAN 2" MAY SIT ON COMPACTED SOIL MIXTURE.
 6. BACKFILL FILL WITH SPECIFIED PLANTING SOIL MIXTURE IN 8" LAYERS, HAND TAMP TO REMOVE VOIDS.
 7. WHEN BACKFILLED, FILL WITH WATER.
 8. AFTER BACKFILLING AND TAMPING FINAL LAYER, WATER AGAIN UNTIL NO MORE IS ABSORBED.
 9. 4" SAUCER WILL BE OUTSIDE OF BACKFILL.

- NOTES:
1. REMOVE WIRE OR NYLON TWINE FROM ROOT BALL.
 2. INSTALL TOP OF BALL 2" ABOVE FINISH GRADE.
 3. SOAK ROOT BALL AND PLANT FIT IMMEDIATELY AFTER INSTALLATION.
 4. 4" SAUCER WILL BE OUTSIDE OF BACKFILL.



SITE DATA:

PIN: 1723452474
TOTAL SITE = 3.722 AC (162,119 SF)
TOTAL DISTURBED AREA = 2.92 AC (127,236 SF)

ZONING - OX-3-CU (OFFICE MIXED USE)

BUILDING SETBACKS -
FRONT - 10'
REAR - 6'
SIDES - 10'

PARKING SETBACKS -
FRONT - 10'
REAR - 3'
SIDE (STREET) - 10'
SIDE (LOT LINE) - 0'

PARKING DATA:

EXISTING PARKING:
CHURCH - 1 SPACE PER 4 SEATS (120 SEATS / 4 SEATS = 30 SPACES)
EXISTING PARKING PROVIDED: NONE

PROPOSED PARKING:
OFFICE - 1 SPACE PER 400 SF OF GROSS FLOOR AREA (46,464 SF/ 400 SF = 117 SPACES)

REGULAR SPACES REQ'D: 112 SPACES
HC SPACES REQ'D: 5 SPACES

TOTAL REQ'D: 117 SPACES

REGULAR SPACES PROVIDED: 238 SPACES
HC SPACES PROVIDED: 7 SPACES

TOTAL PROVIDED: 238 SPACES

CAUTION

811 Know what's below. Call before you dig.

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GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

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FAX: (864) 271-0402

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OHO RALEIGH

**CITY OF RALEIGH
WAKE COUNTY
NORTH CAROLINA**

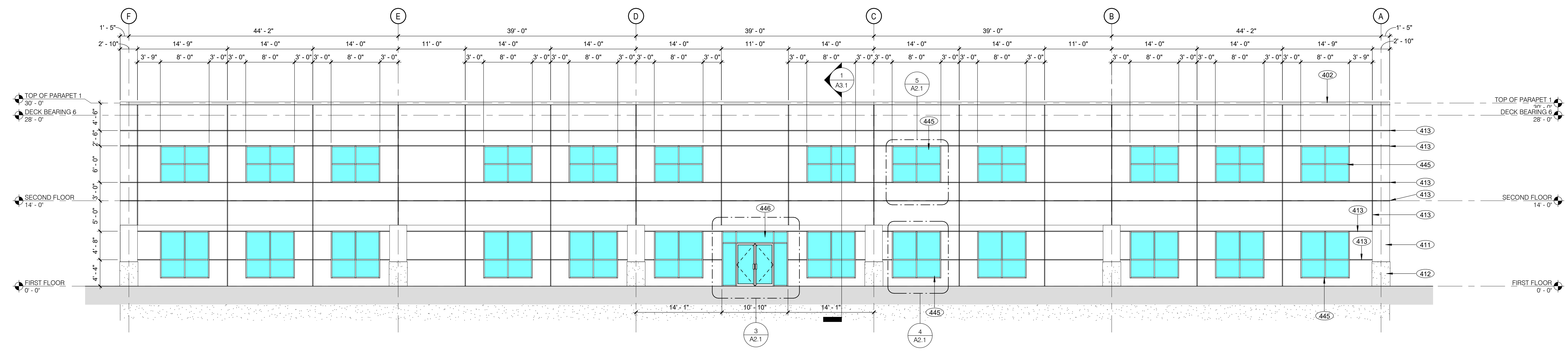
NOT FOR CONSTRUCTION

HORZ. SCALE: 1" = 40'
VERT. SCALE: N/A
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DRAWN BY: JAW
CHECKED BY: AGB
DATE: 3/12/2019
S180917 LANDSCAPE.DWG

LANDSCAPE PLAN

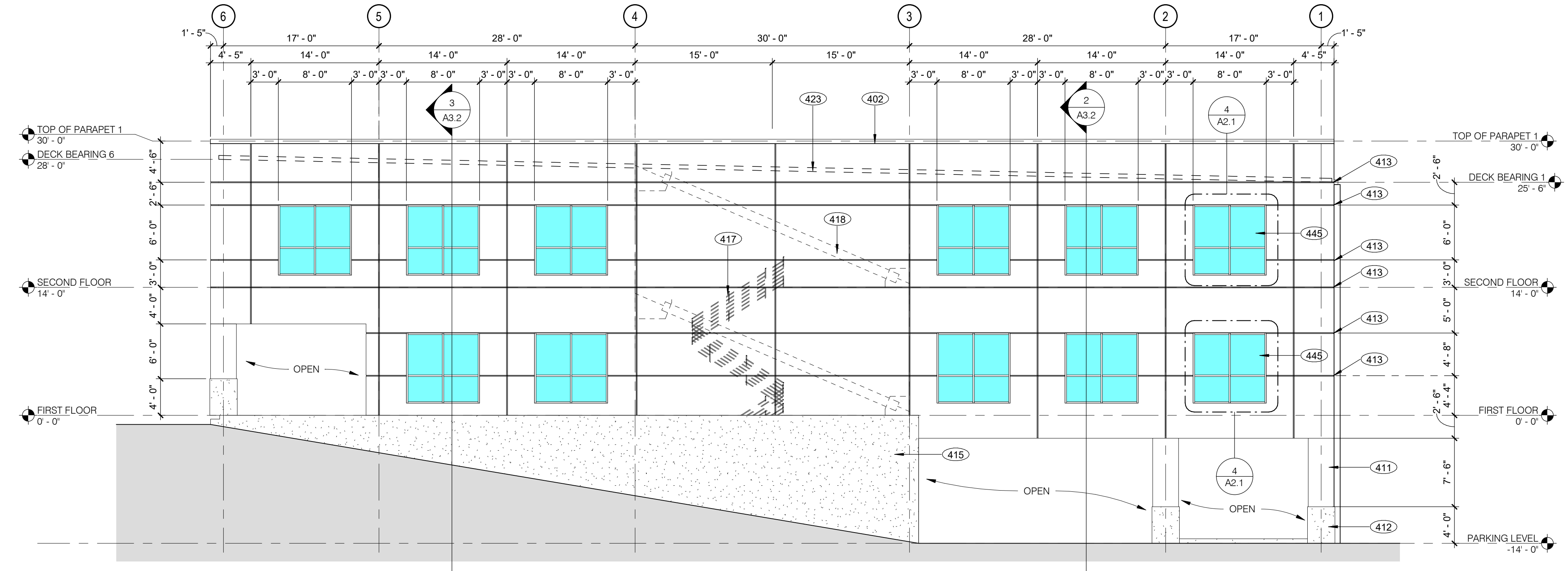
SHEET 16 OF 16

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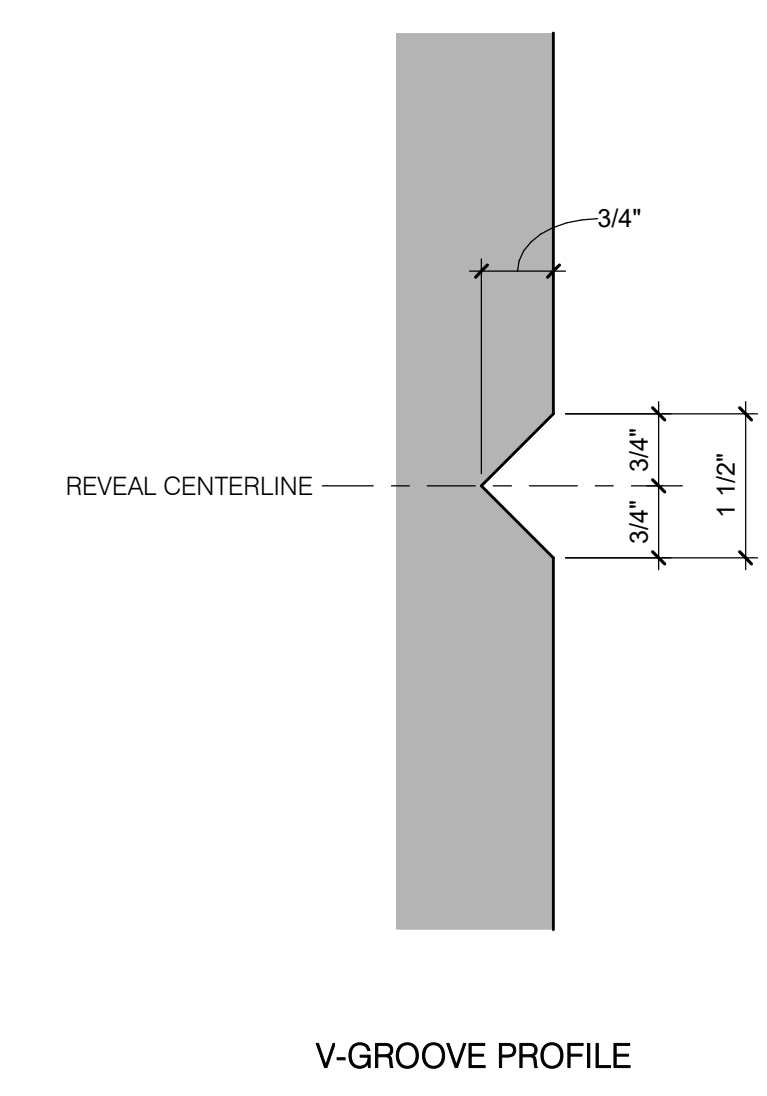


1 Front Elevation
1/8" = 1'-0"

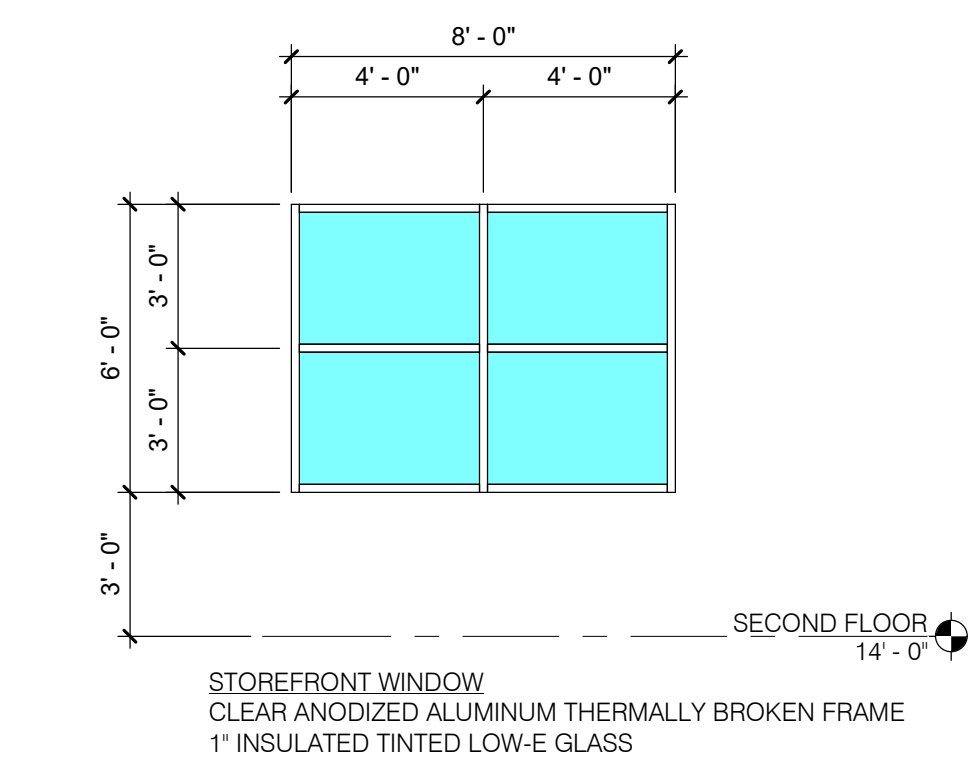
KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
402	PRE-FINISHED METAL CAP FLASHING
411	EIFS COLUMN - SEE DETAIL
412	CONCRETE COLUMN BASE - PAINT - SEE DETAIL
413	ACCENT "V" GROOVE - SEE DETAIL
415	CONCRETE RETAINING WALL WITH TEXTURED PAINT COATING
417	STAIR BEYOND
418	DIAGONAL BRACING - SEE STRUCTURAL
423	ROOF SLOPE BEYOND
445	STOREFRONT WINDOW - SEE DETAIL
446	STOREFRONT ENTRANCE ASSEMBLY - SEE DETAIL



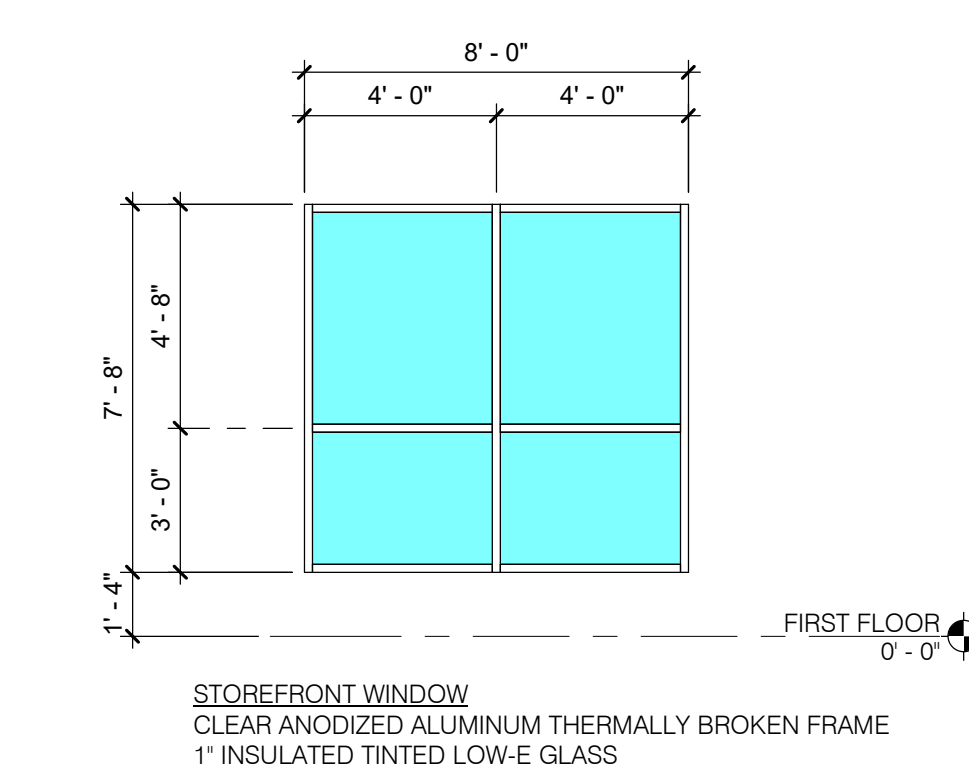
2 Right Side Elevation
1/8" = 1'-0"



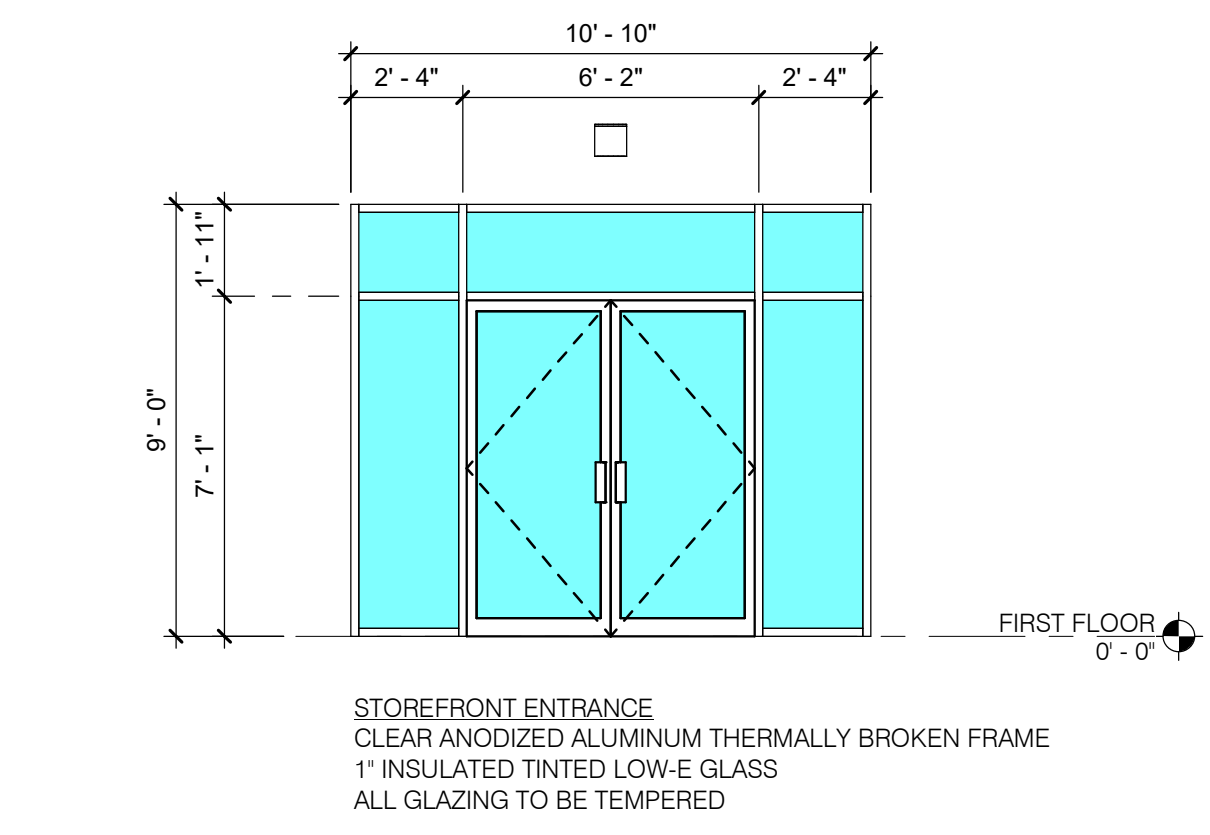
6 V-Groove Profile Detail
6" = 1'-0"



5 Glazing Elevation 3
1/4" = 1'-0"

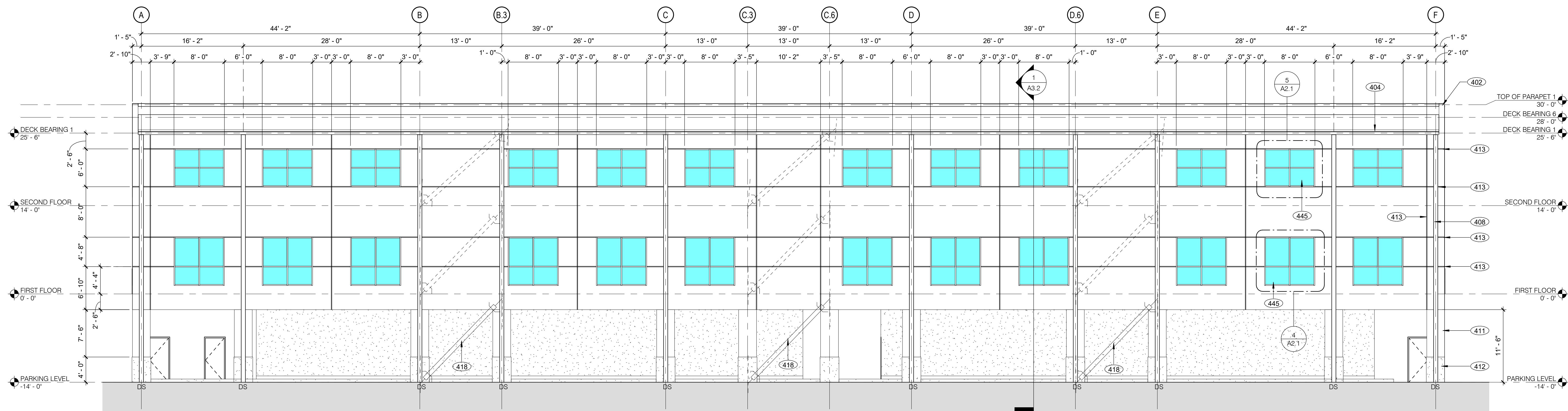


4 Glazing Elevation 2
1/4" = 1'-0"



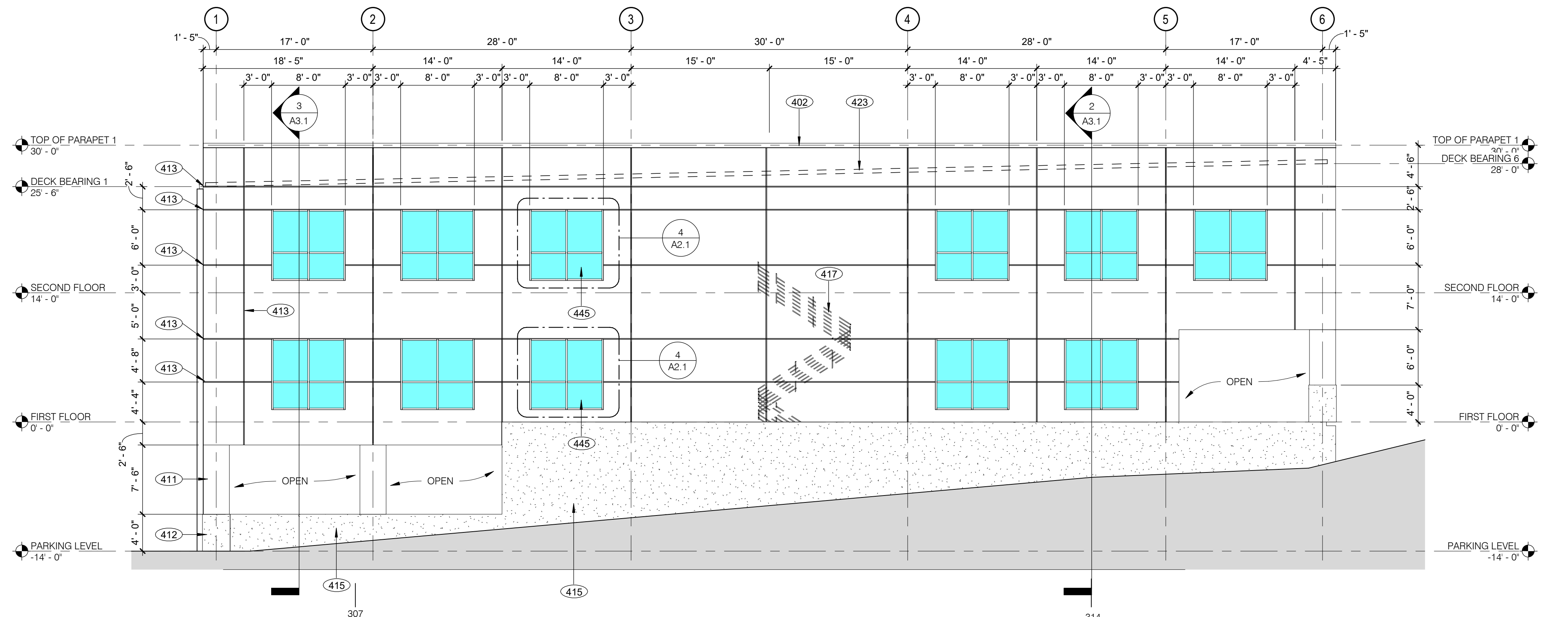
3 Glazing Elevation 1
1/4" = 1'-0"

PRELIMINARY / NOT ISSUED FOR CONSTRUCTION 03.28.19



1 Rear Elevation
1/8" = 1'-0"

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
402	PRE-FINISHED METAL CAP FLASHING
404	PRE-FINISHED METAL GUTTER
408	PRE-FINISHED METAL DOWNSPOUT/BOOT PIPE TO UNDERGROUND DRAINAGE SYSTEM (SEE CIVIL) - TYPICAL
411	EIFS COLUMN - SEE DETAIL
412	CONCRETE COLUMN BASE - PAINT - SEE DETAIL
413	ACCENT V-GROOVE - SEE DETAIL
415	CONCRETE RETAINING WALL WITH TEXTURED PAINT COATING
417	STAIR BEYOND
418	DIAGONAL BRACING - SEE STRUCTURAL
423	ROOF SLOPE BEYOND
445	STOREFRONT WINDOW - SEE DETAIL



2 Left Side Elevation
1/8" = 1'-0"