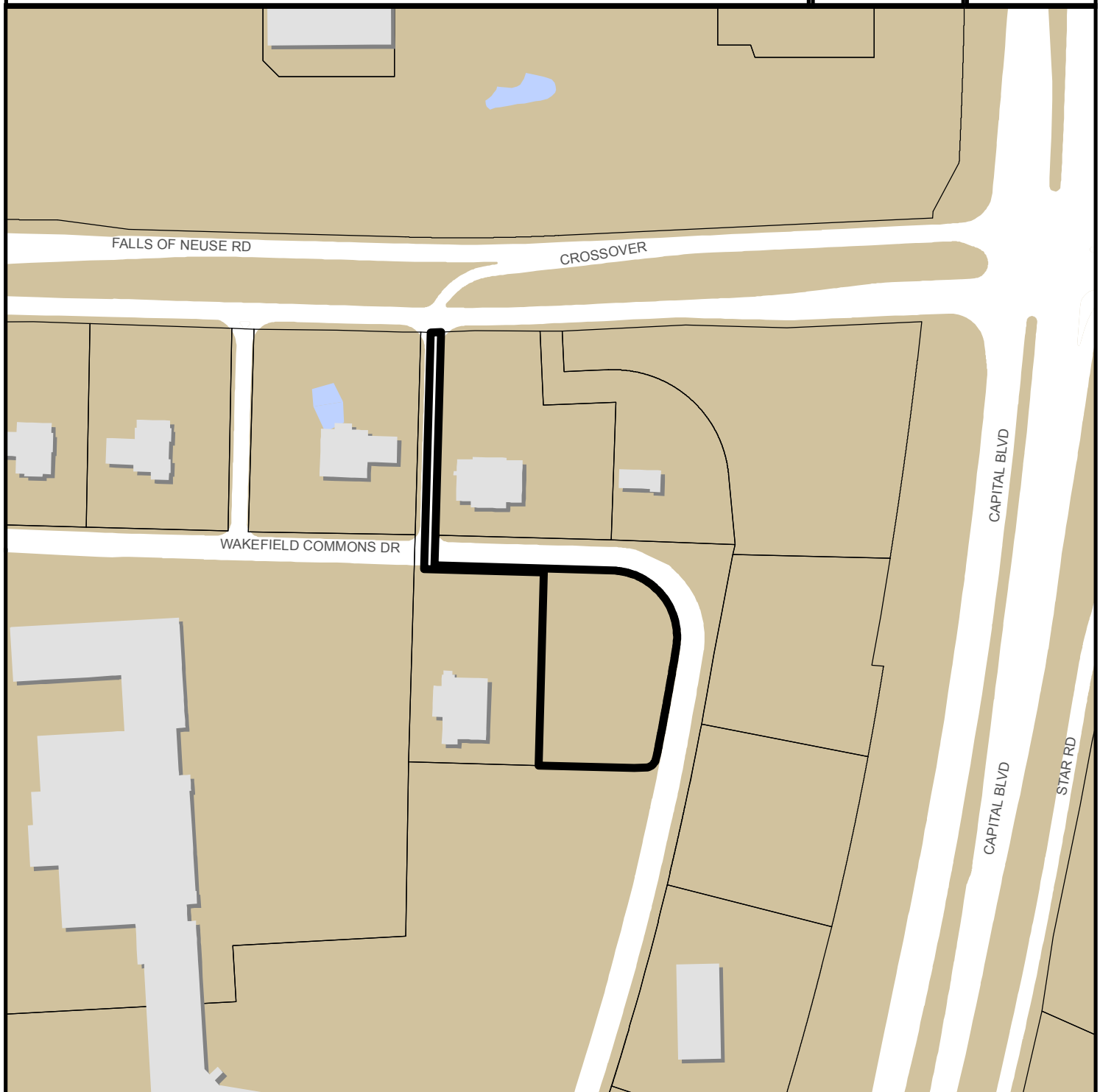


BULLARD RETAIL SR-29-2017



0 300 600 Feet

Zoning: **CX-3-PK w/UWPOD**

CAC: **North**

Drainage Basin: **Richaland Creek**

Acreage: **1.36**

Sq. Ft.: **5,319**

Planner: **Daniel Stegall**

Phone: **(919) 996-2712**

Applicant: **Bullard**

Restaurants, INC

Phone: **(919) 847-5574**



Administrative Site Review Application (for UDO Districts only)



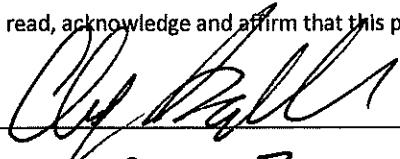
**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

SR-29-17

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input checked="" type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number 507622 Assigned Project Coordinator Assigned Team Leader
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #		
GENERAL INFORMATION		
Development Name Bullard Retail		
Zoning District CX-3-PK	Overlay District (if applicable) UWPOD	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Use Restaurant / Retail		
Property Address(es) 10831 Wakefield Commons Dr.		Major Street Locator: Falls of the Neuse Rd.
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
P.I.N. 1739587951	P.I.N.	P.I.N.
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Office <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Banks <input type="checkbox"/> Industrial Building <input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> Cottage Court <input checked="" type="checkbox"/> Other: If other, please describe: <u>Restaurant / Retail Flex Space</u>		
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Vacant parcel is to be developed with 5,319sf mixed use building. Usage is allowed in the designated zoning district.	
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE There is an approved BOA Case # A -124-16 which allows an exemption for this property from, Section 9.1.9A of the UDO.	
CLIENT/DEVELOPER/OWNER	Company Bullard Restaurants, Inc. Name (s) Chip Bass	
	Address 9131 Anson Way, Suite 301 Raleigh, NC 27615	
	Phone 919-847-5574	Email c.bass.54@gmail.com Fax
CONSULTANT (Contact Person for Plans)	Company WithersRavenel, Inc. Name (s) Leigh Potts	
	Address 115 MacKenan Dr. Cary, NC 27511	
	Phone 919-469-3340	Email apotts@withersravenel.com Fax 919-467-6008

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) CX-3-PK	Proposed building use(s) Restaurant / Retail flex Space
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 0
Overlay District UWPOD	Proposed Building(s) sq. ft. gross 5,319
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 1.36	Total sq. ft. gross (existing & proposed) 5,319
Off street parking: Required 23 Provided 49	Proposed height of building(s) 25'-28'
COA (Certificate of Appropriateness) case #	# of stories 1
BOA (Board of Adjustment) case # A- 124-16	Ceiling height of 1 st Floor 12' +/-
CUD (Conditional Use District) case # Z-	
Stormwater Information	
Existing Impervious Surface .173ac/7,528sf acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface .99ac/43,124sf acres/square feet	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils Flood Study
	FEMA Map Panel #
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
<p>In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.</p> <p>I hereby designate WithersRavenel, Inc. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.</p> <p>I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.</p> <p>Signed <u></u> Date <u>3/16/17</u></p> <p>Printed Name <u>CLIF BULLARD</u></p> <p>Signed _____ Date _____</p> <p>Printed Name _____</p>	

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
General Requirements	YES	N/A	YES	NO	N/A
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to the City of Raleigh	<input checked="" type="checkbox"/>				
2. Administrative Site Review Application completed and signed by the property owner(s)	<input checked="" type="checkbox"/>				
3. Client must complete and adhere page 1 and 2 of the Administrative Site Review Application to the plan cover sheet	<input checked="" type="checkbox"/>				
4. I have referenced the Administrative Site Review Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>				
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>				
b) Existing Conditions Sheet, including, but not limited to, structures, buildings, utilities, infrastructure, and vegetation	<input checked="" type="checkbox"/>				
c) Proposed Site Plan	<input checked="" type="checkbox"/>				
d) Proposed Grading Plan	<input checked="" type="checkbox"/>				
e) Proposed Stormwater Plan, including preliminary stormwater quantity and quality summary and calculations package. If not required, provide City Code section on front cover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
f) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
g) Proposed Tree Conservation Plan – For secondary Tree Conservation Areas, include two copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina register forester. If not required, provide City Code section on front cover.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
h) Proposed Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
i) Building elevations that show existing and/or proposed building height. If demolition, do not include buildings to be demolished.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
j) Transportation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. For re-submittals – include all revision dates	<input checked="" type="checkbox"/>				
7. Minimum plan size 18"x24" not to exceed 36"x42"	<input checked="" type="checkbox"/>				
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>				
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>				
10. Digital copy of only the plan and elevations. Label the CD or flash drive with the plan name, case file number, and indicate the review cycle #.	<input checked="" type="checkbox"/>				
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
12. If applicable, zoning conditions adhered to the plan cover sheet	<input type="checkbox"/>	<input checked="" type="checkbox"/>			

BULLARD RETAIL DEVELOPMENT

SITE PLAN DRAWINGS FOR RALEIGH, NORTH CAROLINA

REVISED: APRIL 6, 2018

CONSTRUCTION PLANS
FOR: BULLARD RETAIL DEVELOPMENT
WSR PROJECT NO: 02170031

Administrative Site Review Application (for UDO Districts only)



DEVELOPMENT
SERVICES
DEPARTMENT

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831
Litchford Satellite Office | 8120 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Mixed Use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot
<input type="checkbox"/> Townhouse	Transaction Number
	Assigned Project Coordinator
	Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name **Bullard Retail**
Zoning District **CX-3-PK** Overlay District (if applicable) **UWPOD** Inside City Limits? ☒ Yes ☐ No
Proposed Use **Restaurant / Retail**
Property Address(es) **10831 Wakefield Commons Dr.** Major Street Location **Falls of the Neuse Rd.**
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. **1739587951** P.I.N. P.I.N. P.I.N.
What is your project type? ☐ Apartments ☐ Elderly Facilities ☐ Hospitals ☐ Hotels/Motels ☐ Office ☐ Industrial Building
☐ Mixed Residential ☐ Non-Residential Condo ☐ School ☐ Shopping Center ☐ Banks ☐ Retail
☐ Duplex ☐ Telecommunication Tower ☐ Religious Institutions ☐ Residential Condo ☐ Cottage Court
Other: If other, please describe: **Restaurant / Retail Flex Space**

WORK SCOPE Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
Vacant parcel is to be developed with 5,319sf mixed use building. Usage is allowed in the designated zoning district.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE.
There is an approved BOA Case # A-124-16 which allows an exemption for this property from, Section 9.1.9A of the UDO.

CLIENT/DEVELOPER/OWNER Company **Bullard Restaurants, Inc.** Name (s) **Chip Bass**
Address **9131 Anson Way, Suite 301 Raleigh, NC 27615**
Phone **919-847-5574** Email **c.bass.54@gmail.com** Fax

CONSULTANT Company **WithersRavenel, Inc.** Name (s) **Leigh Potts**
Address **115 MacKenan Dr. Cary, NC 27511**
Phone **919-469-3340** Email **apotts@withersravenel.com** Fax **919-467-6008**

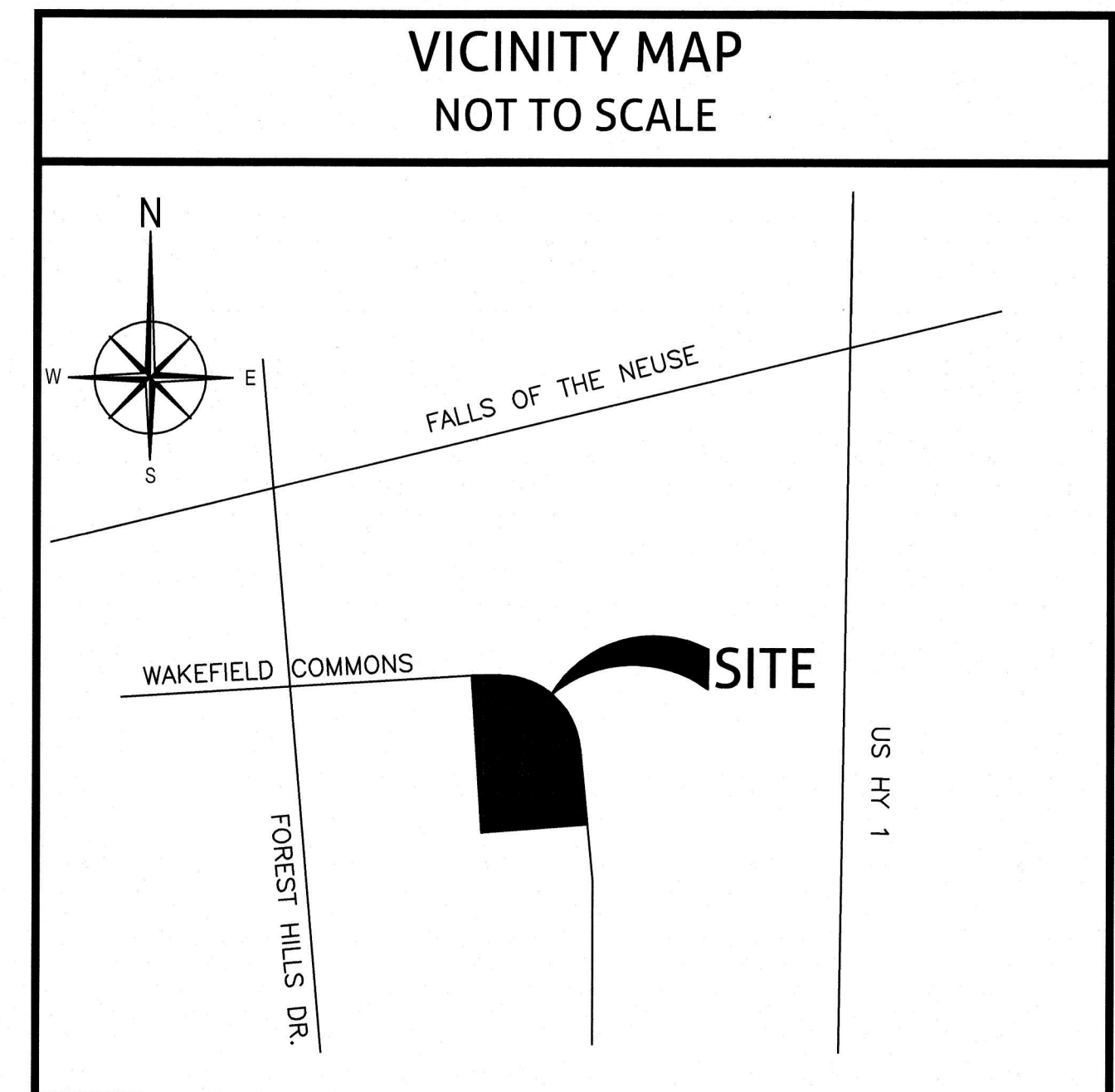
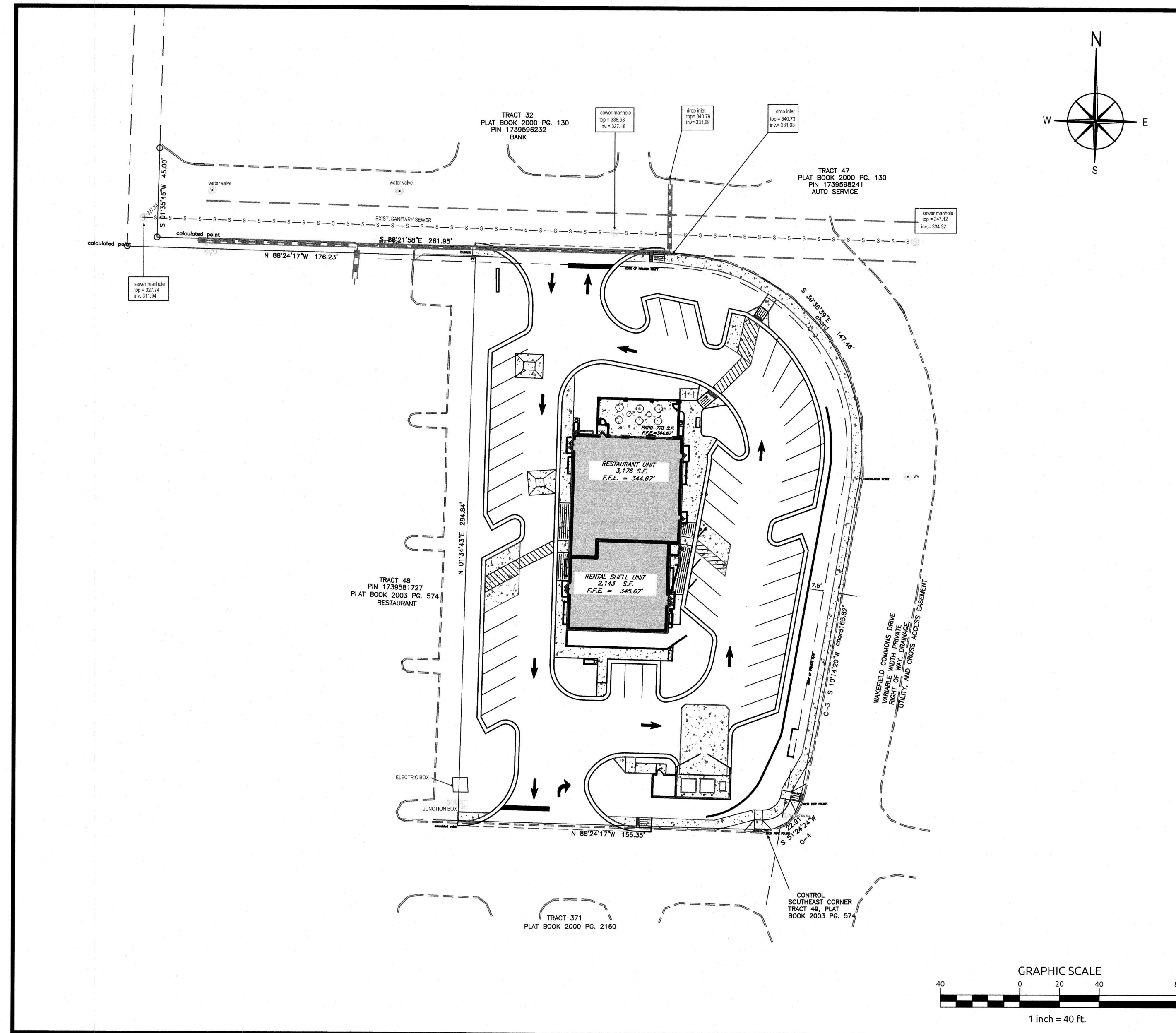
PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)			
Zoning Information		Building Information	
Zoning District(s) CX-3-PK		Proposed building use(s) Restaurant / Retail flex Space	
If more than one district, provide the acreage of each:		Existing Building(s) sq. ft. gross 0	
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Total Site Acres	Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 1.36	Total sq. ft. gross (existing & proposed) 5,319	
Off street parking: Required 23	Provided 49	Proposed height of building(s) 25'-28'	
COA (Certificate of Appropriateness) case #		# of stories 1	
BOA (Board of Adjustment) case # A-124-16		Ceiling height of 1 st floor 12' +/-	
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Stormwater Information			
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Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils	Flood Study
		FEMA Map Panel #	
FOR RESIDENTIAL DEVELOPMENTS			
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more		
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7		
3. Total Number of Hotel Units	7. Open Space (only) or Amenity		
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

SIGNATURE BLOCK (Applicable to all developments)
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.
I hereby designate **WithersRavenel, Inc.** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

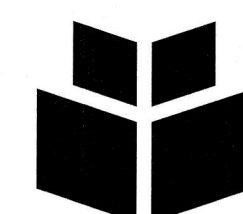
I/we have read, understand and affirm that this project is conforming to all application requirements applicable with the proposed development use.
Signed **Cliff Bullard** Date **3/16/17**
Printed Name **CLIFF BULLARD**
Signed
Printed Name

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16



INDEX OF SHEETS		
EXISTING CONDITIONS & DEMOLITION PLAN	C 1.0	
SITE PLAN	C 2.0	
OVERALL GRADING AND DRAINAGE PLAN	C 3.0	
SCM PLAN AND DETAILS	C 4.0	
UTILITY PLAN	C 5.0	
EROSION CONTROL PLAN PHASE I	C 6.0	
EROSION CONTROL PLAN PHASE II	C 6.1	
NPDES PLAN	C 6.2	
SITE DETAIL SHEET	C 7.0	
EROSION CONTROL DETAIL SHEET	C 7.1	
UTILITY DETAIL SHEET	C 7.2	
SEWER DETAIL SHEET	C 7.3	
LANDSCAPE PLAN	L 1.0	
LIGHTING PLAN	L 2.0	

PREPARED BY:



WithersRavenel
Engineers | Planners | Surveyors

115 MacKenan Drive | Cary, NC 27511 | t: 919.469.3340 | license #: C-0832 | www.withersravenel.com

ATTN: LEIGH POTTS (lpotts@withersravenel.com, 919-238-0360)

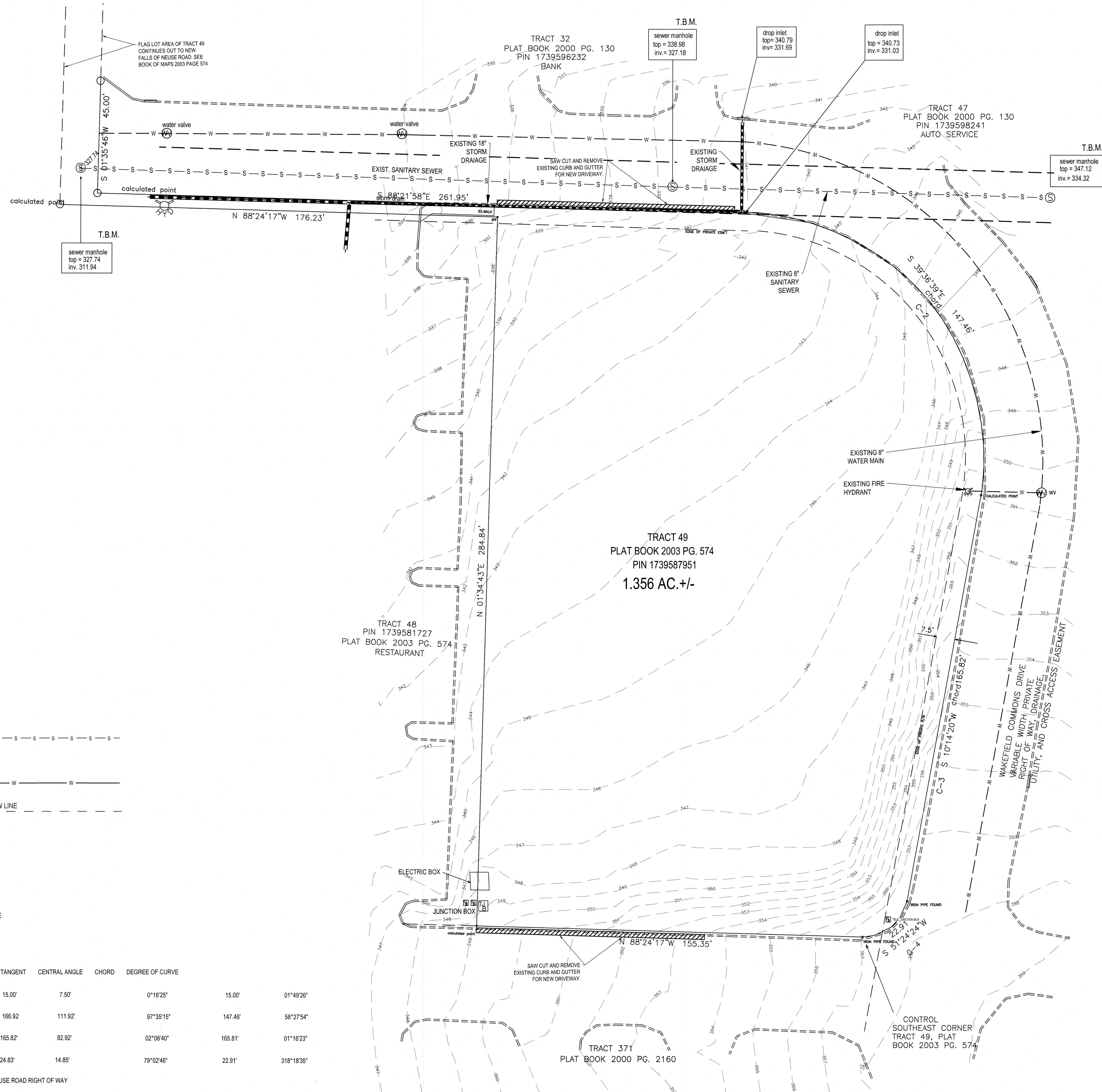
DEVELOPER/OWNER

BULLARD RESTAURANTS INC.
9131 ANSON WAY, SUITE 301
RALEIGH, N.C. 27615
919-847-5574

ATTN: CHIP BASS (chip.bass54@gmail.com, 910-736-5005)

C.O.R. TRANSPORTATION # 507622, S.R.-29-17

K:\1717-0000\170001-BK-Wakefield\CA\Burger\Construction Drawings\CL13 Existing Conditions.dwg, Wednesday, April 4, 2018 7:14:01 AM, MILLER-BRANDON

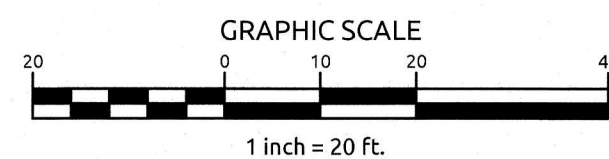


- GENERAL NOTES:**
1. FIELD SURVEY OF EXISTING CONDITIONS COMPLETED BY PHILLIP CULBREATH, PLS.
 2. NO FEMA 100 YEAR FLOOD PLAIN IS LOCATED WITHIN THIS PARCEL.
 3. ALL CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
 4. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES SHOWN PRIOR TO CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES SHOWN ON PLANS IS BASED ON BEST INFORMATION AVAILABLE. EXISTING UTILITY LOCATIONS SHOULD BE CONSIDERED AS APPROXIMATE.
 5. THE GENERAL CONTRACTOR SHALL USE THE THREE EXISTING SANITARY SEWER MANHOLES AS BENCH MARK ELEVATIONS.

**EXISTING CONDITIONS
AND DEMOLITION PLAN**

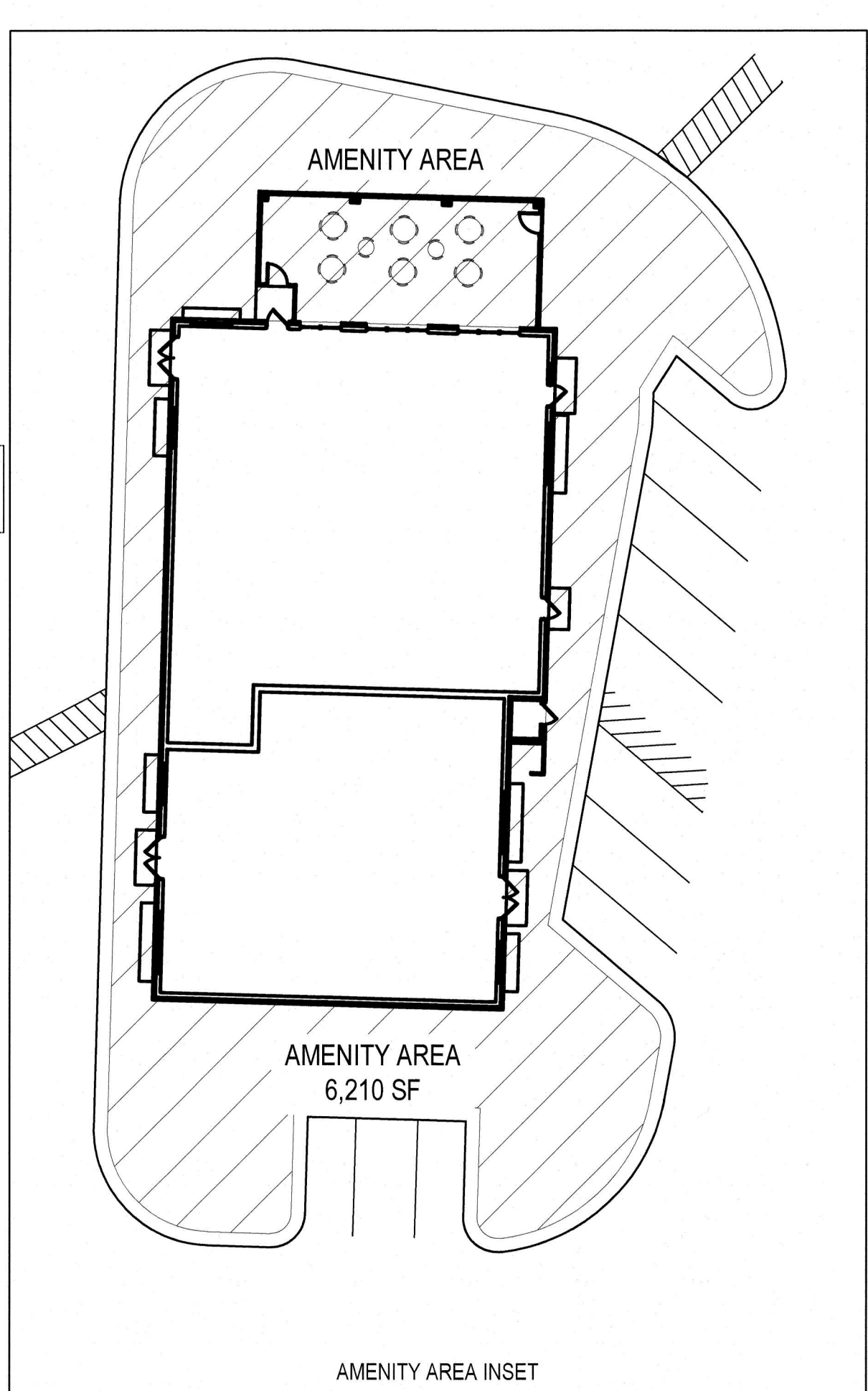
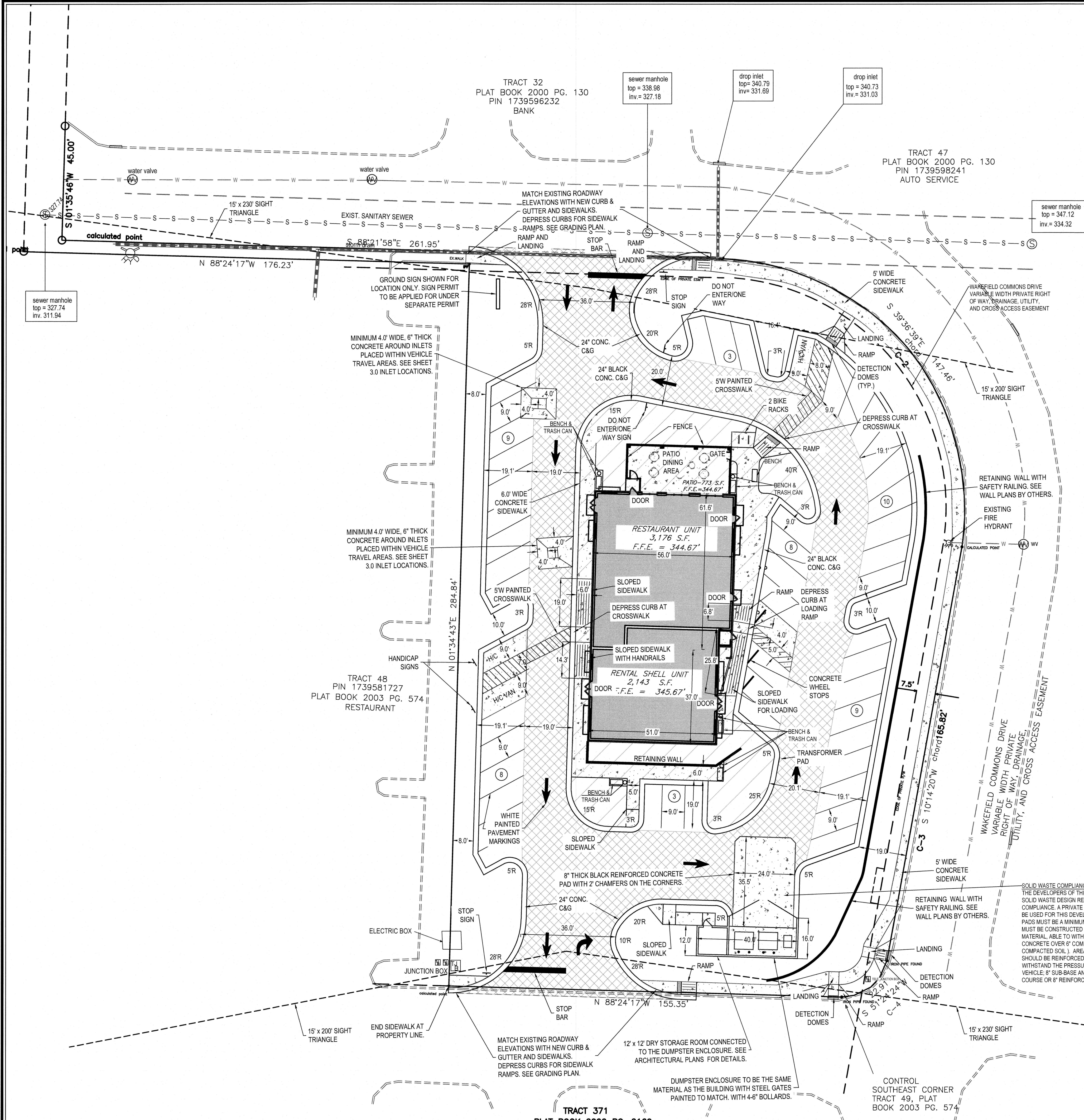
Job No.	02170031	Drawn By	WR
Date	03/17/17	Designer	ALP

Revisions	
1	PER CITY COMMENTS 09.18.17

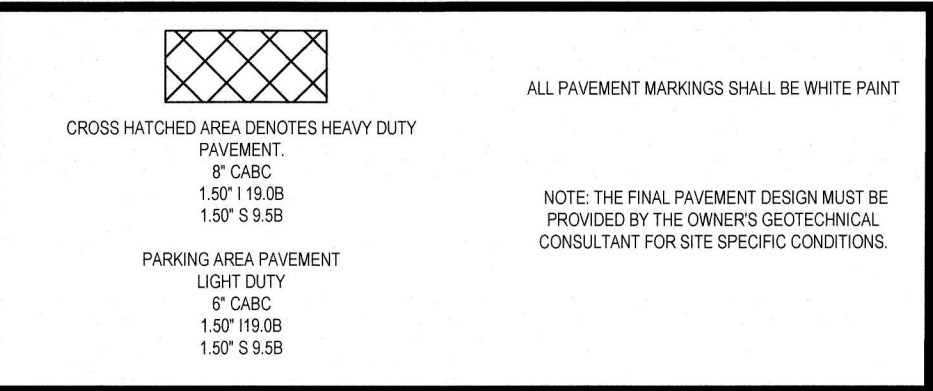
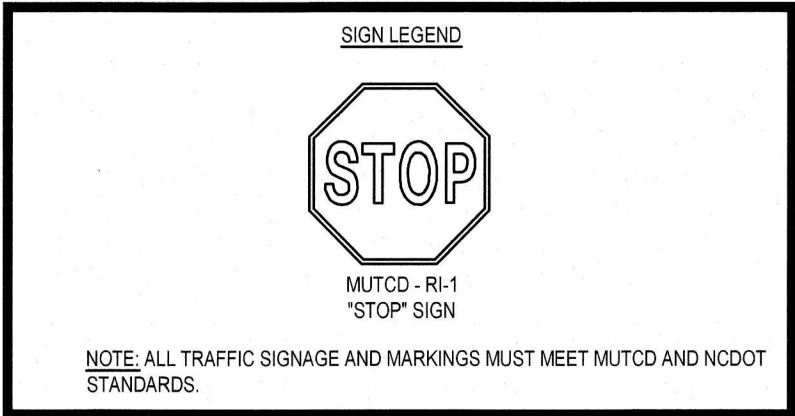


**FINAL DRAWING
FOR REVIEW ONLY**

K:\17\000\170001.BK - Wakefield Commons Construction Drawings\21 Site Plan.dwg, Wednesday, April 4, 2018 7:29 AM - MILLER, BRANDON

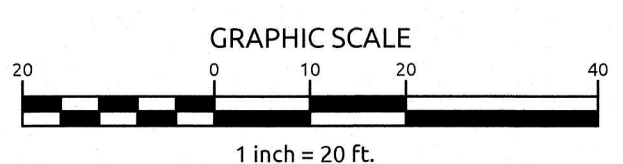


- SITE SUMMARY:**
- RECORDED BOUNDARY INFO.: TRACT 49, PART OF BM 2003 PG. 574
 - PIN # 1739587951
 - ADDRESS: 10831 WAKEFIELD COMMONS DRIVE
 - THIS PROPERTY IS WITHIN THE CITY LIMITS OF RALEIGH N.C.
 - ZONING: CX-3-PK
 - OVERLAY DISTRICT: UWPOD
 - LOT SIZE: 1.356 ACRES
 - BUILDING USE: RESTAURANT AND FLEX/RETAIL SPACE
 - PROPOSED BUILDING SIZE: 5,319 SF ± GROSS
 - FLOOR AREA RATIO: 9.00%
 - LOT BUILDING COVER: 9.00%
 - BUILDING STORIES: 1 (ONE), HEIGHT= 25' ±
 - RESTAURANT PARKING REQUIRED: 140 SEATS (INCL. PATIO)/5 = 28, RETAIL 2.143 / 300 = 8 REQ. TOTAL REQ. = 36
 - PROPOSED: 50 SPACES INCLUDING 2 H/C
 - EXISTING TOTAL IMPERVIOUS AREA= 0.99 AC. OR 0.173 AC. OR 12.75%
 - PROPOSED TOTAL IMPERVIOUS AREA= 0.99 AC. OR 73.01% (INCL. FLAG LOT PORTION OUT TO FALLS OF NEUSE)
 - AMENITY AREA REQUIRED = 5907 SF PROVIDED = 6210 SF
- NOTES:**
- BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY:
PHILLIP B CULBRETH, P.L.S.
427 PINELOG ROAD
LUMBERTON, N.C. 28360
TEL 910-738-7015
N.C. REG. NO. L-2662
S.C. REG. NO. 9179
 - ALL PAVING AND GRADING WORK SHALL BE IN ACCORDANCE WITH APPLICABLE NCDOT AND CITY OF RALEIGH SPECIFICATIONS.
 - ALL MATERIALS AND METHODS OF INSTALLATION TO BE IN ACCORDANCE WITH CITY OF RALEIGH SPECIFICATIONS.
 - CONTRACTOR SHALL CALL 811 TO VERIFY UNDERGROUND UTILITY LOCATIONS.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF ROOF DRAINS. ROOF DRAINS SHALL BE CONNECTED TO THE CLOSEST STORM INLET OR AS SHOWN ON THIS PLAN. CURRENT LOCATIONS ARE BASED ON PRELIMINARY INFORMATION FROM THE ARCHITECT AND ARE SUBJECT TO CHANGE AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.
 - ALL CURB AND GUTTER ON UPHILL SIDE MUST BE CONSTRUCTED TO SPILL.
 - ALL STORM DRAINAGE INLETS SHALL BE NCDOT PRECAST TYPE. ALL STORM DRAINAGE PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED.
 - CONCRETE IN DUMPSTER PAD TO BE 6" THICK, 4000 PSI, BLACK CONCRETE WITH #4 REBAR @ 12" O.C. EACH WAY. REINFORCEMENT SHALL BE CENTERED IN SLAB.
 - CURB AND GUTTER AROUND BUILDING SHALL BE BLACK CONCRETE.
 - A FIVE FOOT WIDE, 4" THICK BLACK CONCRETE STRIP SHALL BE INSTALLED AT THE FRONT OF THE PARKING SPACES WHERE INDICATED ON THE PLAN.
 - THE HANDICAP SPACES SHALL BE 4" THICK BLACK CONCRETE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SLOPES WITHIN THE SPACES AND ALONG THE ACCESSIBLE PATH PRIOR TO INSTALLING CONCRETE. FAILURE TO MEET ALLOWABLE SLOPES WILL RESULT IN THE CONCRETE BEING REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.



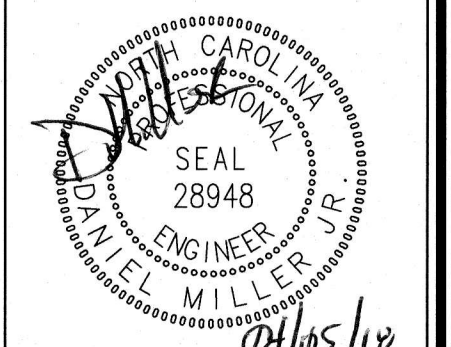
CURVE TABLE						
RADIUS	LENGTH	TANGENT	CENTRAL ANGLE	CHORD	DEGREE OF CURVE	
C-1*	3141.00'	15.00'	7.50'		0°16'25"	15.00'
C-2	98.00'	166.92	111.92'		97°35'15"	147.46'
C-3	4500.15	166.82'	82.92'		02°06'40"	165.81'
C-4	18.00'	24.83'	14.85'		79°02'46"	22.91'

* - NOT PICTURED, NEW FALLS OF NEUSE ROAD RIGHT OF WAY



FINAL DRAWING
FOR REVIEW ONLY

Job No.	02170031	Drawn By	WR
Date	03/17/17	Designer	ALP



Revisions		
1	PER CITY COMMENTS	09.18.17

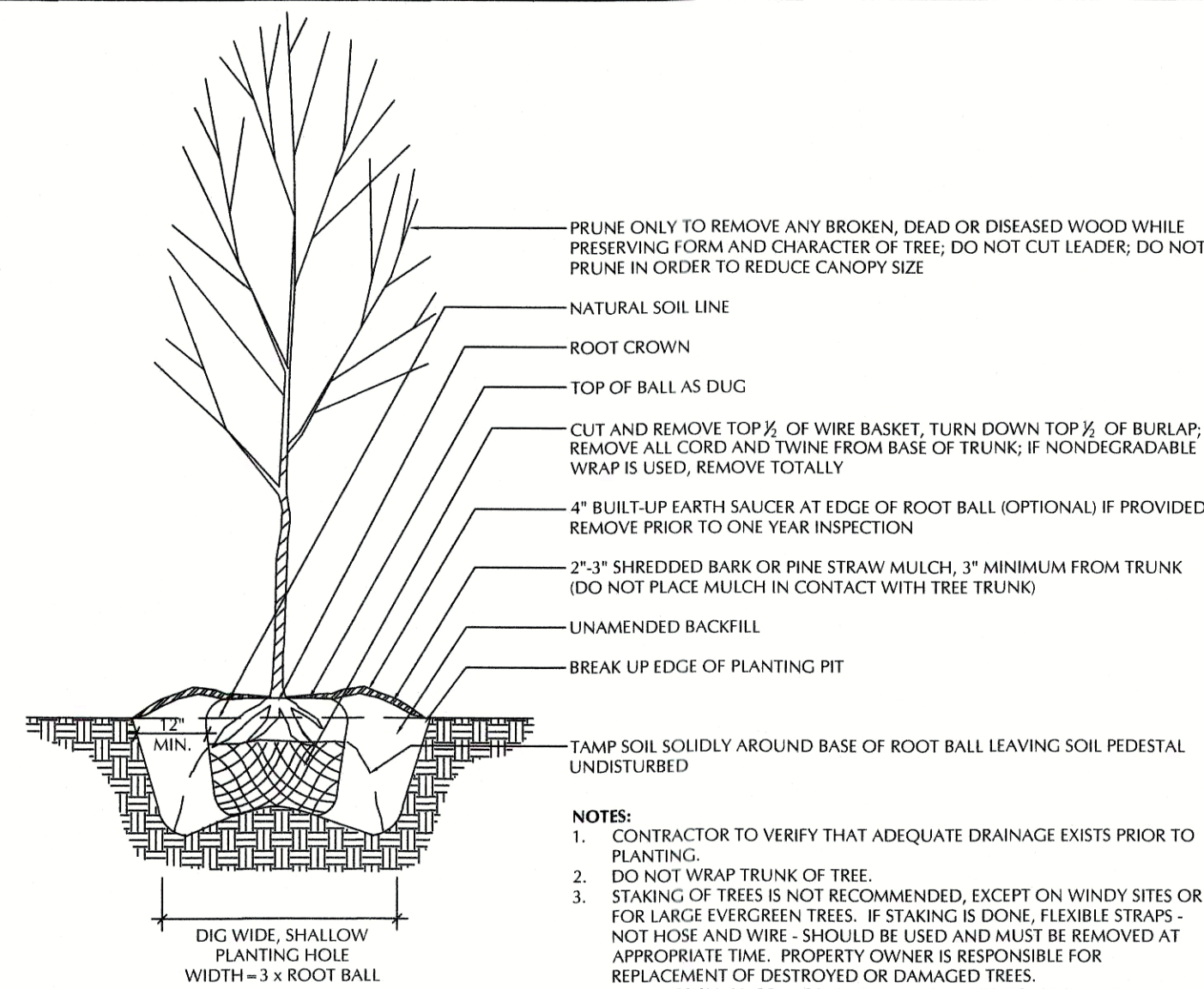


Diagram illustrating the components of a tree planting pit, numbered 1 through 12:

- BALL & BURLAP PLANT - FOLD BURLAP DOWN INTO GROUND. SET TOP OF BALL FLUSH WITH FINISHED GRADE
- BACKFILL: AMEND THE TOP 6" BY INCORPORATING 1"-1.5" COMPOSTED GROUND BARK OR OTHER SUITABLE ORGANIC MATTER OR PROVIDE NATIVE SOIL WITH MINIMUM OF 3% HUMIC MATTER
- SET TOP OF ROOT BALL 1"-2" ABOVE FINISHED GRADE
- 2"-3" SHREDDED BARK OR PINE STRAW MULCH, 3" MINIMUM FROM TRUNK (DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK)
- CONTAINER GROWN PLANT - PULL ROOTS OUT OF BALL OR CUT SIDES
- FIRM PEDESTAL UNDER ROOT BALL
- BREAK UP EDGE OF PLANTING PIT
- 12" DEEP - CULTIVATE ENTIRE PLANTING AREA AS SINGLE BED WHEN PLANTING MULTIPLES FOR LARGER SHRUB OR TREE BALLS, MAKE 4" DEEPER THAN ROOT BALL

NOTES:

BURGER KING WHOLESALE MASTER PLANT SCHEDULE								
PLANT TYPE	QTY	KEY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER	HEIGHT	NOTES
CANOPY TREES	4	RB	<i>Cercis canadensis</i> 'Merlot'	Eastern Redbud 'Merlot'	B&B	3"	10'	MATCHED
	9	CE	<i>Ulmus parvifolia</i> 'Sempervirens'	Chinese Elm 'Sempervirens'	B&B	3"	10'	MATCHED
	3	MT	<i>Ginkgo biloba</i> 'Autumn Gold'	Maiden Hair Tree 'Autumn Gold'	B&B	3"	10'	MATCHED
	5	ZSV	<i>Zelkova serrata</i> 'Village Green'	Village Green Japanese Zelkova	B&B	3"	10'	MATCHED
UNDERSTORY TREES	3	INS	<i>Ilex x 'Nelle R. Stevens'</i>	Nelle R. Stevens Holly	B&B	1.5"	6'	MATCHED
	4	MV	<i>Magnolia Virginiana</i>	Sweet Bay Magnolia	20 Gal.	N/A	6'	3 Stems Min.
SHRUBS	37	DBH	<i>Ilex cornuta</i> 'Burfordii Nana'	Dwarf Burford Holly	CONT.	5 Gal.	18"-24"	MATCHED
	44	CAH	<i>Ilex cornuta</i> 'Carissa'	Carissa Holly	CONT.	5 Gal.	18"-24"	MATCHED
	14	SPH	<i>Ilex crenata</i> 'Sky Pencil'	Sky Pencil Holly	CONT.	5 Gal.	18"-24"	MATCHED
	48	DYH	<i>Ilex vomitoria</i> 'Nana'	Dwarf Yaupon Holly	CONT.	5 Gal.	18"-24"	MATCHED
	14	OTO	<i>Osmanthus fragrans</i>	Osmanthus Tea Olive	CONT.	5 Gal.	18"-24"	MATCHED
	76	OLL	<i>Prunus laurocerasus</i> 'Otto Luyken'	Otto Luyken Laurel	CONT.	5 Gal.	18"-24"	MATCHED

BURGER KING WHOLESALE MASTER PLANT SCHEDULE								
PLANT TYPE	QTY	KEY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER	HEIGHT	NOTES
CANOPY TREES	4	RB	<i>Cercis canadensis</i> 'Merlot'	Eastern Redbud 'Merlot'	B&B	3"	10'	MATCHED
	9	CE	<i>Ulmus parvifolia</i> 'Sempervirens'	Chinese Elm 'Sempervirens'	B&B	3"	10'	MATCHED
	3	MT	<i>Ginkgo biloba</i> 'Autumn Gold'	Maiden Hair Tree 'Autumn Gold'	B&B	3"	10'	MATCHED
	5	ZSV	<i>Zelkova serrata</i> 'Village Green'	Village Green Japanese Zelkova	B&B	3"	10'	MATCHED
UNDERSTORY TREES	3	INS	<i>Ilex x 'Nelle R. Stevens'</i>	Nelle R. Stevens Holly	B&B	1.5"	6'	MATCHED
	4	MV	<i>Magnolia Virginiana</i>	Sweet Bay Magnolia	20 Gal.	N/A	6'	3 Stems Min.
SHRUBS	37	DBH	<i>Ilex cornuta</i> 'Burfordii Nana'	Dwarf Burford Holly	CONT.	5 Gal.	18"-24"	MATCHED
	44	CAH	<i>Ilex cornuta</i> 'Carissa'	Carissa Holly	CONT.	5 Gal.	18"-24"	MATCHED
	14	SPH	<i>Ilex crenata</i> 'Sky Pencil'	Sky Pencil Holly	CONT.	5 Gal.	18"-24"	MATCHED
	48	DYH	<i>Ilex vomitoria</i> 'Nana'	Dwarf Yaupon Holly	CONT.	5 Gal.	18"-24"	MATCHED
	14	OTO	<i>Osmanthus fragrans</i>	Osmanthus Tea Olive	CONT.	5 Gal.	18"-24"	MATCHED
	76	OLL	<i>Prunus laurocerasus</i> 'Otto Luyken'	Otto Luyken Laurel	CONT.	5 Gal.	18"-24"	MATCHED

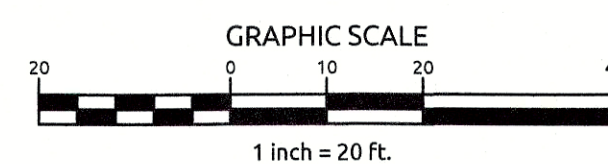

1. THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING GRADING, WALLS, ETC., REFER TO THE SITE AND GRADING PLANS.
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF FALEIGH STANDARDS AND SPECIFICATIONS AND NCOT, IF APPLICABLE.
3. TREE PROTECTION FENCE SHALL SURROUND ALL EXISTING PLANTINGS AND EXISTING BURIED AREAS.
4. THE TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETE. THE FENCE SHALL BE REMOVED PRIOR TO THE FINAL SITE INSPECTOR FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
5. NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO LANDSCAPING, GRADING, BUILDING ELEVATIONS (ESPECIALLY COLOR), LIGHTING, OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING MUNICIPALITY.
6. THE SITE SHALL BE STABILIZED AND SEEDDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
7. ALL HVAC SYSTEMS AND TRASH BINS WILL BE SCREENED FROM OFF-SITE VIEWS.
8. ALL DUMPSTER AND RECYCLING LOCATIONS WILL BE SCREENED FROM OFF-SITE VIEWS.
9. NO TREE SHALL BE LOCATED WITHIN A ROADWAY RIGHT-OF-WAY OR WITHIN 5 FEET OF A SIDEWALK.
10. ALL PLANTS AND PLANTING PROCEDURES SHALL MEET OR EXCEED AN A.L.A. STANDARDS AS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" 2004 OR LATER EDITION.
11. ALL TREES AND SHRUBS SHALL BE FULL, WELL-BRANCHED PLANTS WHICH ARE CHARACTERISTIC TO THE SPECIES.
12. ALL PLANT BEDS TO BE MULCHED WITH A MINIMUM OF 4" OF CLEAN PINE STRAW. ALL PLANT GROUPINGS SHALL BE MULCHED AS ONE BED. APPLY PRE-EMERGENT HERBICIDE TO ALL NEW PLANTING BEDS AT MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
13. TOPSOIL SHALL BE SPREAD OVER THE ENTIRE LANDSCAPE AREA TO A DEPTH OF AT LEAST 4 INCHES IN LAWN AREAS AND 6 INCHES IN SHRUB AND GROUNDCOVER BEDS.
14. ALL PLANTING SPACES SHALL BE WITHIN 50 FEET OF A TRUNK OF ONE CANOPY TREE OR 75 FEET OF TWO TREES SPACED MAX. 50 FEET APART.
15. FINAL LOCATION OF ALL TURF AREAS SHALL BE APPROVED BY THE OWNER.
16. VERIFICATION OF PLANT QUANTITIES SHOWN ON THIS PLAN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
17. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED UTILITIES PRIOR TO INSTALLATION OF ANY PLANT MATERIAL. IF CONFLICTS OCCUR, PLANT LOCATIONS SHOULD BE ADJUSTED AND APPROVED BY THE ARCHITECT BEFORE ANY HOLE IS DUG.
18. A TREE IMPACT PERMIT WILL BE REQUIRED PRIOR TO BUILDING PERMIT ISSUANCE.
19. THE SOD TYPE SHALL BE TIFWAY #419 BERMUDA SOD.

16. UNDERSTORY TREES SHALL BE A MINIMUM OF 1.5" CALIPER FOR SINGLE STEM AND 6' TALL FOR BOTH SINGLE AND MULTI-STEMMED TREES

PERIMETER ISLAND LANDSCAPE:

- 440 LF OF PERIMETER ISLAND (NORTH, EAST AND SOUTH BOUNDARY)
- $\frac{440}{100} = 4.4 \times 30 = 132$ SHRUBS REQUIRED
- 132 SHRUBS PROVIDED
- 285 LF OF PERIMETER ISLAND (WEST BOUNDARY)
- $\frac{285}{100} = 2.85 \times 30 = 86$ SHRUBS REQUIRED
- 86 SHRUBS PROVIDED

- 21 TREES PROVIDED PER BOARD OF ADJUSTMENT CASE A-124-16



FINAL DRAWING
FOR REVIEW ONLY

WithersRavenel
Engineers | Planners | Surveyors

CITY OF RALEIGH, NORTH CAROLINA

BULLARD RETAIL DEVELOPMENT

LANDSCAPE PLAN

Job No.	02170031	Drawn By	WR
Date	03/17/17	Designer	ALF

Revisions		
1	PER CITY COMMENTS	09.18.17

Sheet No.

L1.0