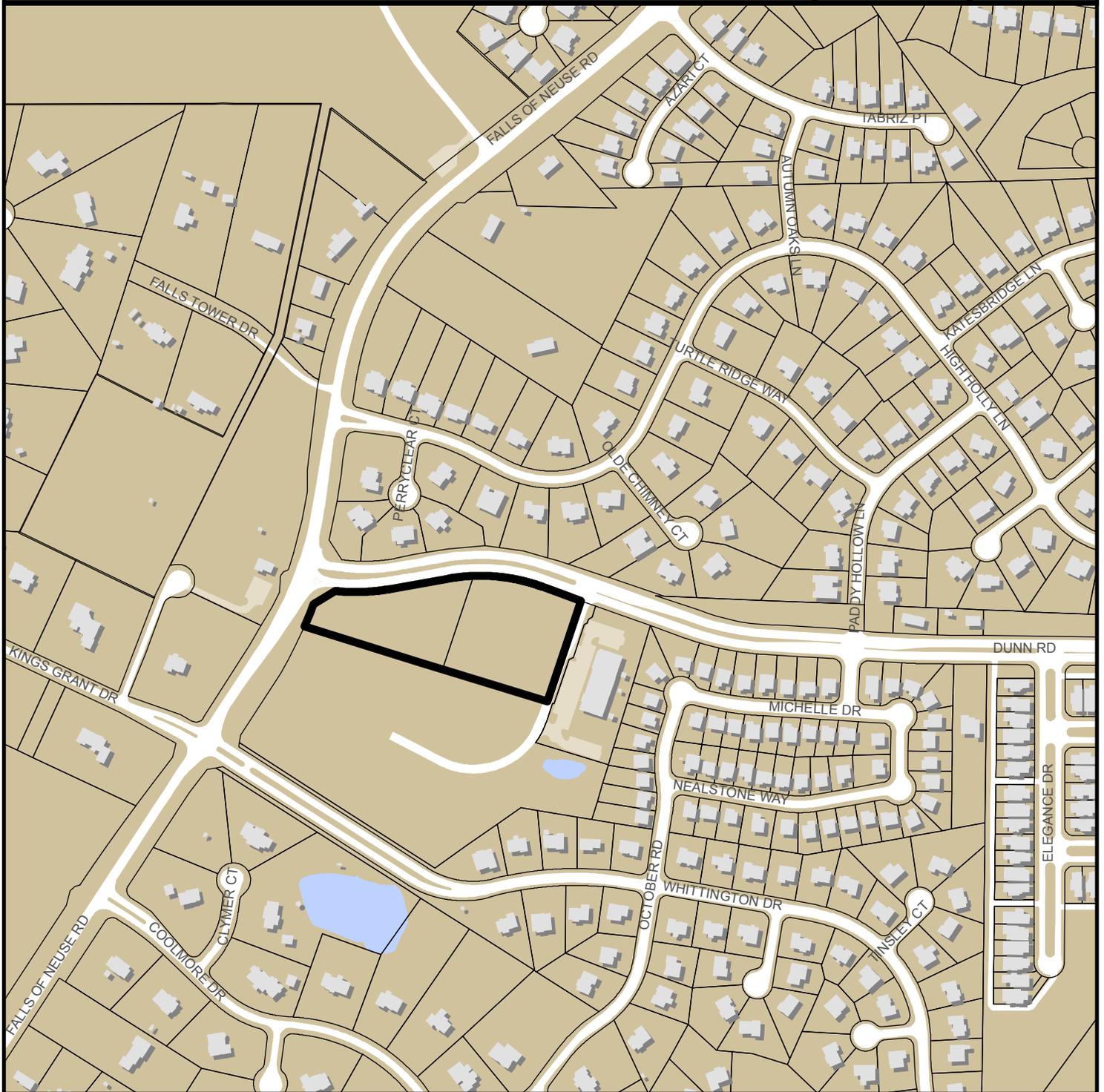


# BEDFORD VILLAGE SR-30-2018



0 300 600 1,200 Feet

Zoning: **NX-3-CU w/UWPOD**

CAC: **North**

Drainage Basin: **HouseNeuse**

Acreage: **1.83**

Sq. Ft.: **76,200**

Planner: **Michael Walters**

Phone: **(919) 996-2636**

Applicant: **Bedford Market LLC**

Phone: **(919)523-9237**





# Administrative Approval Action

AA # 3832 / SR-30-18, Bedford Village  
Transaction# 550041

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the south side of Dunn Road, at the southeast corner of the intersection of Dunn Road and Falls of Neuse Road. The two proposed parcels are located at 1500 and 1540 Dunn Road.

**REQUEST:** Development of a 4.14 acre tract zoned NX-3-CU into a commercial site consisting of two buildings, one being a 2218 SF restaurant and the other a three story (73,889 SF) mixed use building with retail and restaurant uses on the first floor and residential above.

**DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:**

One Design Adjustment has been approved by the Public Works Director for this project, noted below.

1. Based upon Section 8.3.6 Administrative Design Adjustment Findings a Design Adjustment has been approved waiving the block perimeter requirement (8.3).

One Hardship Variance has been approved by the COR Board of Adjustment for this project, noted below. (BOA Hardship Variance A-126-17)

1. The proposed development has been granted complete relief from the 40% forestation requirement as per section 9.1.9 of the Unified Development Ordinance for the entire site.

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by John A. Edwards and company.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

**Note:** *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

**PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:**

### **ENGINEERING**

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.



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## STORMWATER

2. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.

Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

## URBAN FORESTRY

3. Obtain required stub and tree impact permits from the City of Raleigh.
4. Next Step: Prior to the issuance of a mass grading permit or other site permit, whichever comes first, submit a final tree conservation plan with a permit approved by Urban Forestry staff that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required.
5. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.

## PRIOR TO ISSUANCE OF BUILDING PERMITS:

### GENERAL

1. Comply with all conditions of Z-27-14 and Z-55-94.
2. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Right Of Way and/or Easement Dedications, and Tree Save Areas.
3. A recombination map shall be recorded, recombining the existing lots into a single tract.
4. Provide fire flow analysis.

### ENGINEERING

5. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' additional width sidewalk across the Dunn Road frontage is paid to the City of Raleigh shall be paid to the City of Raleigh.
6. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within 14 days from authorization of lot recordation. If a recorded copy of the documents is not provided within this 14 day period, further recordings and building permit issuance may be withheld.



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7. A cross access agreement between the proposed lot owned by Bedford Market, LLC and the existing lot owned by The Aspens at Bedford Falls, LP shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within 1 day of lot recordation. A recorded copy of these documents shall be provided to the Development Services Department within 14 days from authorization of lot recording. If a recorded copy of the documents is not provided within this 14 day period, further recordings and building permit issuance may be withheld.
8. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program.

## PUBLIC UTILITIES

9. A Final Plat must be recorded at the Wake County Register of Deeds office for all necessary Recombinations, Right-of-Way, Utility / Stormwater Easement Dedications and/or Tree Save Areas.
10. Existing sanitary sewer easement must be abandoned through the City of Raleigh.

## STORMWATER

11. A recombination map shall be recorded, recombining the existing lots into a single tract.
12. Next Step: The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.
13. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.

## URBAN FORESTRY

14. A final inspection of required tree conservation and right of way tree protection areas by Urban Forestry staff must be completed.
15. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

### **Prior to issuance of building occupancy permit:**

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.



# Administrative Approval Action

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4. Next Step: All street lights and street signs required as part of the development approval are installed.
5. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
6. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
7. Next Step: Final inspection of all required Tree Conservation and right of way tree protection areas by Urban Forestry Staff.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 7-16-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 7/16/2018

Staff Coordinator: Michael Walters

# Design Adjustment Staff Response



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

<b>PROJECT</b>	Project Name	Bedford Village
	Development Case Number	SR-30-2018
	Transaction Number	550041
	Design Adjustment Number	DA - 38 - 2018
<b>STAFF RESPONSE</b>	<b>Staff recommendation based upon the findings in the applicable code(s):</b>	
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input type="checkbox"/> UDO Art. 8.5 Existing Streets
	<input type="checkbox"/> UDO Art. 8.4 New Streets	<input type="checkbox"/> Raleigh Street Design Manual
	Staff <input checked="" type="checkbox"/> SUPPORTS <input type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.	
	<b>DEPARTMENTS</b>	
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning
	<input checked="" type="checkbox"/> Development Engineering <i>KMK 6-28-18</i>	<input type="checkbox"/> Transportation
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.
	<input type="checkbox"/> Public Utilities	
	<b>CONDITIONS:</b>	
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY		

Authorized Signature

*MELVIN W. FITCHING, PE, MPA*  
**ENGINEERING AND INFRASTRUCTURE MANAGER**

Date

*7/16/2018*

\*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

# Staff Response

## Article 8.3 Blocks Lots, Access



DEVELOPMENT  
SERVICES  
DEPARTMENT

The Development Services Director may in accordance with Sec. 10.2.18. approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;  
YES  NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;  
YES  NO
- C. The requested design adjustment does not increase congestion or compromise Safety;  
YES  NO
- D. The requested design adjustment does not create any lots without direct street Frontage;  
YES  NO
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
  2. The presence of existing buildings, stream and other natural features;
  3. Site layout of developed properties;
  4. Adjoining uses or their vehicles are incompatible;
  5. Strict compliance would pose a safety hazard; or
  6. Does not conflict with an approved or built roadway construction project
  7. adjacent to or in the vicinity of the site.
- YES  NO

### STAFF FINDINGS

The design adjustment for Bedford Village (SR-30-2018) is supported by staff. The most logical point for a public street connection to meet block perimeter requirements would be to the south. The development to the south, The Aspens at Bedford Falls (SR-23-17) is not set up for a public street connection and was not required to provide one. Per the administrative approval for The Aspens at Bedford Falls the site met the maximum block perimeter requirements placed upon it.

In addition, Bedford Village is showing compliance with the pedestrian access requirements as per the zoning conditions Z-27(A)-14 and Z-55-94. Also included in the site plan for Bedford Village is a cross access easement to the south towards the easement provided by The Aspens at Bedford Falls.

# Design Adjustment Application

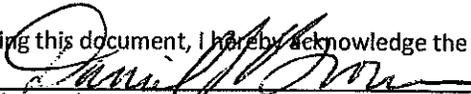


**DEVELOPMENT SERVICES DEPARTMENT**

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

<b>PROJECT</b>	Project Name Bedford Village	
	Case Number	
	Transaction Number	
<b>OWNER</b>	Name Bedford Market, LLC	
	Address 700 Exposition Place, Ste 131	City Raleigh
	State NC	Zip Code 27615 Phone 919-523-9237
<b>CONTACT</b>	Name Daniel Brown	
	Firm D&N Development, LLC	
	Address 700 Exposition Place, Ste 131	City Raleigh
<b>REQUEST</b>	State NC	Zip Code 27615 Phone 919-523-9237
	I am seeking a Design Adjustment from the requirements set forth in the following:	
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings
<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings	
<input type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings	
<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings	
Provide details about the request; (please attach a memorandum if additional space is needed):		
Per section 8.3.2.B.6 of the UDO, a Design Adjustment from the Public Works Director is being requested in regards to the Block Perimeter standards. This request is generated due to the surrounding site constraints which make a road connection infeasible as no public road is planned or proposed in the adjacent property. The development currently under construction to the south is designed so as not to include a public road and received a modification to the maximum block perimeter requirements in the approved Administrative Alternate #3647 Case File SR-23-17. See "other zoning conditions" point 3 of the included AA for additional information.		

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.  
  
 Owner/Owner's Representative Signature 3/29/18  
Date

CHECKLIST	
Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input checked="" type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to [designadjustments@raleighnc.gov](mailto:designadjustments@raleighnc.gov).

Deliver the addressed envelopes and letters to:  
 Development Services, Development Engineering  
 One Exchange Plaza, Suite 500  
 Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA - -
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# Article 8.3, Blocks, Lots, Access

## Administrative Design Adjustment Findings

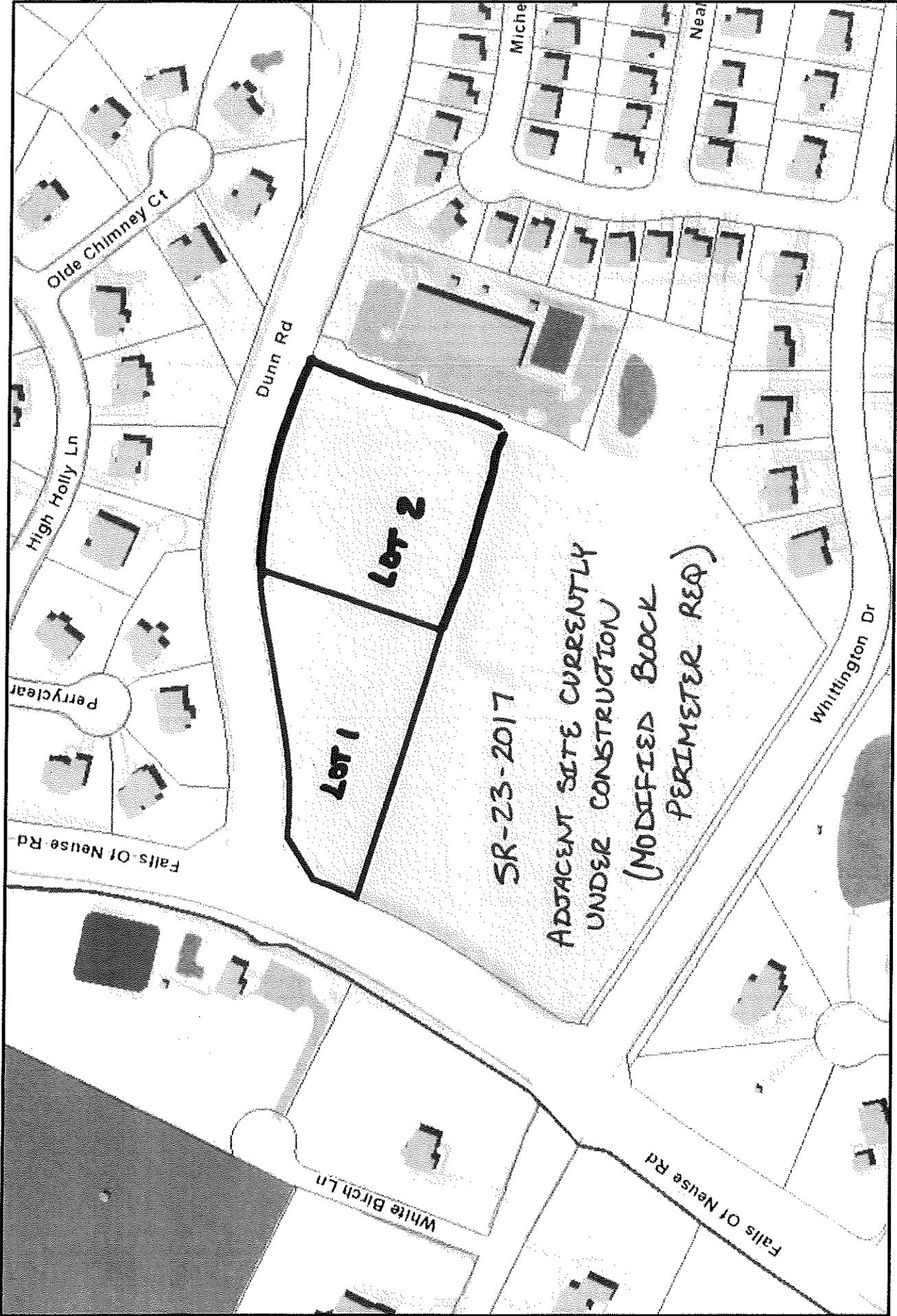


DEVELOPMENT  
SERVICES  
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;  
**Per 8.3.2.B.6, the Public Works Director may waive block perimeter requirements due to existing site conditions.**
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;  
**There are no proposed improvements that would be in conflict with the current Comprehensive plan.**
- C. The requested design adjustment does not increase congestion or compromise Safety;  
**The requested design adjustment will not increase congestion or compromise safety.**
- D. The requested design adjustment does not create any lots without direct street Frontage;  
**The requested design adjustment does not create any lots without direct street frontage.**
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
  2. The presence of existing buildings, stream and other natural features;
  3. Site layout of developed properties;
  4. Adjoining uses or their vehicles are incompatible;
  5. Strict compliance would pose a safety hazard; or
  6. Does not conflict with an approved or built roadway construction project
  7. adjacent to or in the vicinity of the site.

**The site layout of adjacent developed properties is incompatible with block perimeter requirements. The adjacent site was provided relief from block perimeter requirements in AA# 3647 Case File SR-23-17 Watershed Protection Overlay District condition 3. The adjacent property is currently under construction with a large building and parking garage located centrally such that a public street stub could not be accommodated. Additionally, there are retaining walls and 3:1 slopes along the shared property line which restricts road development because of topographic constraints.**



**Bedford Village - Design Adjustment**

**LOTS 1 + 2 TO  
BE RECOMBINED**

**Disclaimer:**  
 Maps make every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.

# Individual Acknowledgement



DEVELOPMENT  
SERVICES  
DEPARTMENT

STATE OF NORTH CAROLINA  
COUNTY OF Johnston

INDIVIDUAL

I, Tracy Rairigh, a Notary Public do hereby certify that  
Daniel L. Brown personally appeared before me this day and  
acknowledged the due execution of the forgoing instrument.

This the 29 day of March, 2018



Notary Public Tracy Rairigh

My Commission Expires: May 23, 2018

**LEGEND**

- |   |                                    |                             |                              |
|---|------------------------------------|-----------------------------|------------------------------|
| BM BOOK OF MAPS                         | BNH MAINHOLE                       | CONCRETE                    | PROPERTY LINE                |
| DB DEAD BOOK                            | W4 WATER LINE                      | EX WATER VALVE              | RIGHT-OF-WAY LINE            |
| PG PAGE                                 | WM WATER METER                     | EX FIRE HYDRANT             | LOT LINE                     |
| R/W RIGHT-OF-WAY                        | WS WATER SERVICE                   | EX WATER METER              | EASEMENT LINE                |
| AC ACROAGE                              | FI FIRE LINE                       | EX SANITARY SEWER MANHOLE   | EXISTING WATER LINE          |
| S.F. SQUARE FEET                        | FL BLDG/FP                         | EX SANITARY SEWER CLEANOUT  | EXISTING SANITARY SEWER      |
| ESP EXISTING IRON PIPE                  | HC HANDICAP                        | EX STORM FLARED END SECTION | EXISTING STORM DRAINAGE      |
| IP IRON PIPE SET                        | TC TOP OF CURB                     | EX STORM DRAIN INLET        | PROP WATER LINE              |
| HF HO/IF OR FORMERLY                    | HT HANDICAP TOP                    | EX LIGHT POLE               | EXISTING STORM DRAINAGE      |
| ELEV ELEVATION                          | BNH MAINHOLE                       | EX STORM FLARED END SECTION | PROP SANITARY SEWER          |
| EX EXISTING                             | TY TYPICAL                         | EX STORM DRAIN INLET        | PROP STORM DRAINAGE          |
| EDP EDGE OF PAVEMENT                    | SV SPOUR VALVE                     | EX STORM FLARED END SECTION | EXISTING CONTOUR LINE        |
| CB CATCH BASIN                          | SP SPACES                          | EX STORM FLARED END SECTION | PROP CONTOUR LINE            |
| DI DROP INLET                           | C.O. CLEAROUT                      | EX STORM FLARED END SECTION | EXISTING OVERHEAD POWER LINE |
| D.I. DIETITE IRON                       | YI YARD INLET                      | EX STORM FLARED END SECTION | PROP BLDG NG CANOPY          |
| CMF CORRUGATED METAL PIPE               | ES EASEMENT                        | EX STORM FLARED END SECTION | CONTRAIL                     |
| HY HEADWALL                             | CONC CONCRETE                      | EX STORM FLARED END SECTION | PROP GUARDRAIL               |
| SS SANITARY SEWER                       | CAG CURB AND GUTTER                | EX STORM FLARED END SECTION | PROP TREE CONSERVATION AREA  |
| FES FLARED END SECTION                  | TSP TRAFFIC SIGNAL POLE            | EX STORM FLARED END SECTION | PROP AVENUE AREA             |
| FFE FRESHED FLOOR ELEVATION             | PROP PROP SANITARY SEWER MANHOLE   | EX STORM FLARED END SECTION |                              |
| PVC POLYVINYL CHLORIDE PIPE             | PROP PROP SANITARY SEWER CLEANOUT  | EX STORM FLARED END SECTION |                              |
| FDC FIRE DEPARTMENT CONNECTION          | PROP PROP STORM CATCH BASIN        | EX STORM FLARED END SECTION |                              |
| RCP REINFORCED CONCRETE PIPE            | PROP PROP STORM FLARED END SECTION | EX STORM FLARED END SECTION |                              |
| R/PZ REDUCED PRESSURE ZONE              |                                    | EX STORM FLARED END SECTION |                              |
| DCVA DOUBLE CHECK VALVE ASSEMBLY        |                                    | EX STORM FLARED END SECTION |                              |
| RPDA REDUCED PRESSURE DETECTOR ASSEMBLY |                                    | EX STORM FLARED END SECTION |                              |

PERRY CLEAR CT.  
(PUBLIC R/W)

N/F  
MURRY BURBA & JAMES LANG JR  
DB 14265, PG 1831  
BM 1995, PG 184  
PIN: 1729-03-22-6309

N/F  
THOMAS & ANANDA WATSON  
DB 17004, PG 1670  
BM 1995, PG 184  
PIN: 1729-03-22-7325

N/F  
JONATHAN SELF  
DB 15942, PG 2103  
BM 1995, PG 184  
PIN: 1729-03-22-4341

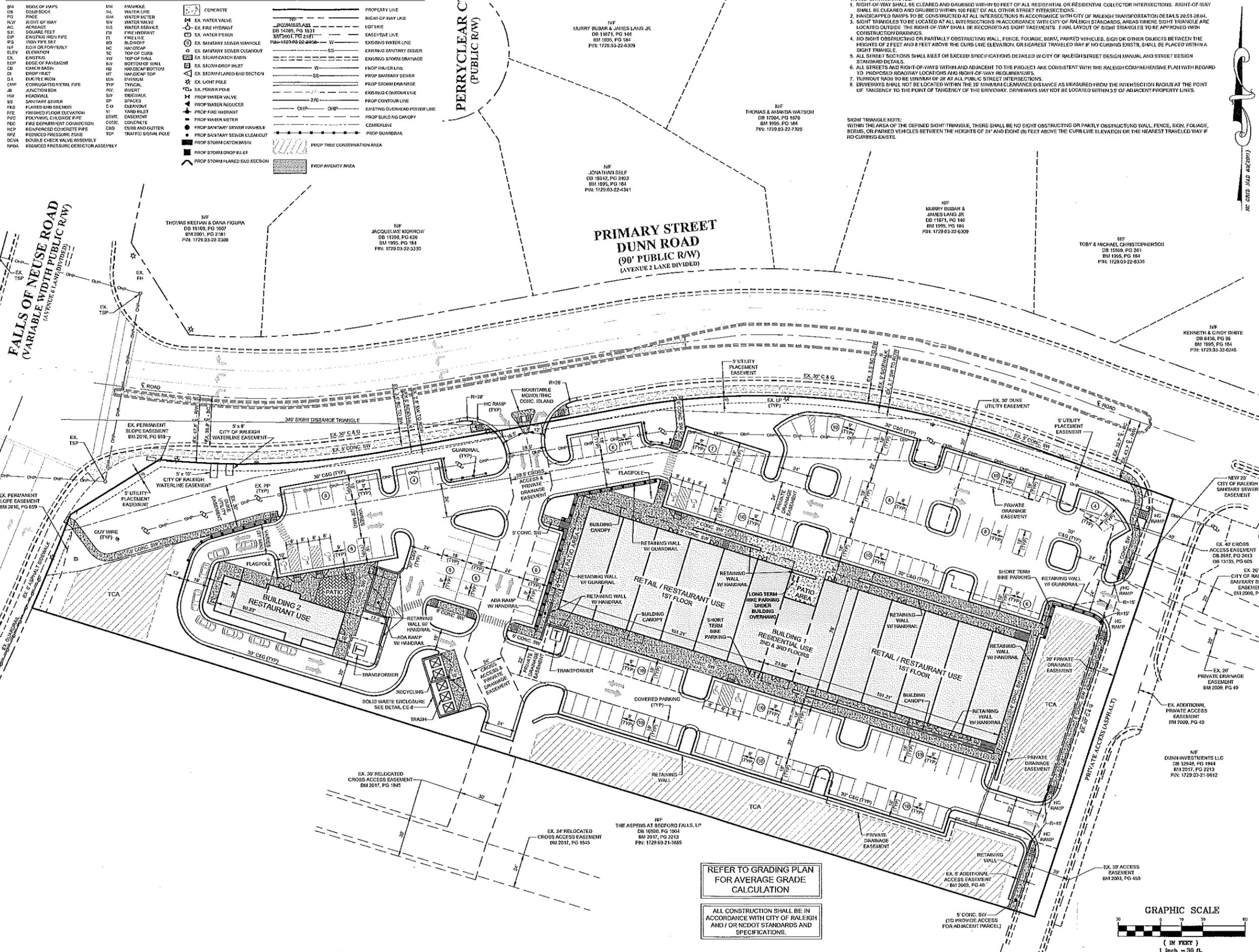
N/F  
MURRY BURBA &  
JAMES LANG JR  
DB 14265, PG 1831  
BM 1995, PG 184  
PIN: 1729-03-22-6309

N/F  
TOBY & MICHAEL CHRISTOPHERSON  
DB 15509, PG 241  
BM 1995, PG 184  
PIN: 1729-03-22-8335

N/F  
KENNETH & GINDY WHITE  
DB 8436, PG 96  
BM 1995, PG 184  
PIN: 1729-03-32-6246

**PRIMARY STREET  
DUNN ROAD  
(90' PUBLIC R/W)  
(AVENUE 2 LANE DIVIDED)**

**FALLS OF NEUSE ROAD  
(VARIABLE WIDTH PUBLIC R/W)  
(A 17' R/W & 6' LANE (D) (D) (D))**



- TRANSPORTATION NOTES:**
- RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50 FEET OF ALL RESIDENTIAL OR RESIDENTIAL COLLECTOR INTERSECTIONS. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 100 FEET OF ALL OTHER STREET INTERSECTIONS.
  - HANDICAPPED RAMPS TO BE CONSTRUCTED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH TRANSPORTATION DETAILS 20.01-20.04.
  - SIGHT TRIANGLES TO BE LOCATED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS. AREAS WHERE SIGHT TRIANGLE ARE LOCATED OUTSIDE THE RIGHT-OF-WAY SHALL BE RECORDED AS SIGHT EASEMENTS. FINAL LAYOUT OF SIGHT TRIANGLES TO BE APPROVED WITH CONSTRUCTION DRAWINGS.
  - NO SIGN OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, PARKED VEHICLES, SIGN OR OTHER OBJECTS BETWEEN THE HEIGHTS OF 2 FEET AND 8 FEET ABOVE THE CURB LINE ELEVATION, OR NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
  - ALL STREET SECTIONS SHALL MEET OR EXCEED SPECIFICATIONS DETAILED IN CITY OF RALEIGH STREET DESIGN MANUAL AND STREET DESIGN STANDARD DETAILS.
  - ALL STREETS AND RIGHT-OF-WAYS WITHIN AND ADJACENT TO THE PROJECT ARE CONSISTENT WITH THE RALEIGH COMPREHENSIVE PLAN WITH REGARD TO PROPOSED ROADWAY LOCATIONS AND RIGHT-OF-WAY REQUIREMENTS.
  - TURNOUT RAMP TO BE MINIMUM OF 28' AT ALL PUBLIC STREET INTERSECTIONS.
  - DRIVEWAYS SHALL NOT BE LOCATED WITHIN THE 20' MINIMUM CLEARANCE DISTANCE AS MEASURED FROM THE INTERSECTION RADIUS AT THE POINT OF TANGENCY TO THE POINT OF TANGENCY OF THE DRIVEWAY. DRIVEWAYS MAY NOT BE LOCATED WITHIN 15' OF ADJACENT PROPERTY LINES.

**SIGHT TRIANGLE NOTE:**  
WITHIN THE AREA OF THE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGN OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 2' AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.



**JOHN A. EDWARDS & COMPANY**  
Consulting Engineers  
and Land Surveyors

NC License F-0289  
333 Wade Ave., Raleigh, N.C. 27605  
Phone: (919) 828-4428  
Fax: (919) 828-4711  
E-mail: info@jaeco.com  
www.jaeco.com



**BEDFORD VILLAGE**  
1500 & 1540 DUNN ROAD  
RALEIGH, NC 27614

**BEDFORD MARKET, LLC**  
700 Exposition Place, Suite # 131  
Raleigh, NC 27615

**SITE PLAN**

Number	Description	Date
1	PER CITY OF RALEIGH COMMENTS	05/15/18
2	PER CITY OF RALEIGH COMMENTS	06/14/18

Revisions

Drawing Scale: 1" = 30'

Drawn By: BF

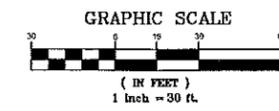
Checked By: JAE, JR

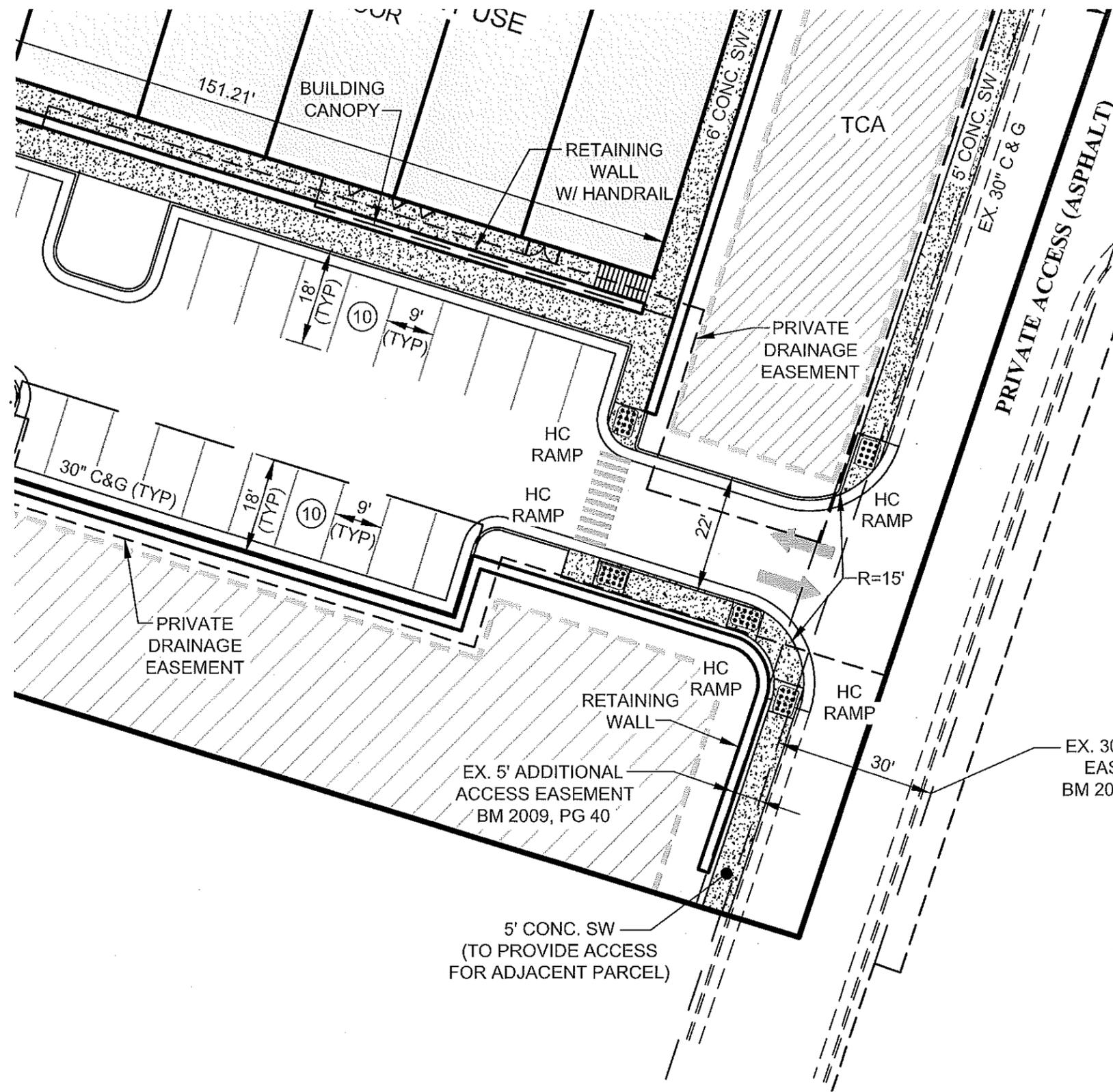
Date Issued: 04/03/18

CE-3

REFER TO GRADING PLAN  
FOR AVERAGE GRADE  
CALCULATION

ALL CONSTRUCTION SHALL BE IN  
ACCORDANCE WITH CITY OF RALEIGH  
AND / OR NCDOT STANDARDS AND  
SPECIFICATIONS.





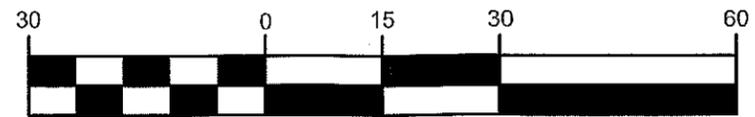
PRIVATE DRAINAGE EASEMENT  
BM 2009, PG 40

EX. ADDITIONAL PRIVATE ACCESS EASEMENT  
BM 2009, PG 40

N/F  
DUNN INVESTMENTS LLC  
DB 12948, PG 1944  
BM 2017, PG 2213  
PIN: 1729.03-21-9812

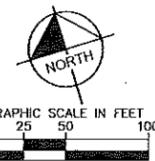
EX. 30' ACCESS EASEMENT  
BM 2003, PG 450

**GRAPHIC SCALE**



( IN FEET )  
1 inch = 30 ft.

Plotted by Bonney, Tom. Sheet: THE ASPENS AT BEDFORD FALLS - Overall Site Plan. June 30, 2017. 12:08:05pm. K:\NRI\_DEVA\07257000\_app\07257000\_01.dwg. Falls of Neuse, P.O. Admin, CAD File: THE ASPENS AT BEDFORD FALLS - Standard\CA-2 ENLARGED SITE PLAN.dwg. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



PROPERTY OWNER	FALLS OFFICE PARTNER, LLC.
DEVELOPER	ASPENS SENIOR LIVING, LLC.
PIN	1729212644, 1729214636 (IN PART)
ROW DEDICATION	0.04 AC
PROPOSED TOTAL ACREAGE	9.75 AC (TOTAL PARCEL)
ZONING	OX-4-CU
EXISTING USE	VACANT
PROPOSED BUILDINGS	1
PROPOSED USE	CONGREGATE GROUP LIVING
PROPOSED DENSITY	19 DU/AC (182 DU/ 9.75 AC)
ON-SITE IMPERVIOUS AREA	4.07 AC
MAX. BLDG HEIGHT ALLOWED	55'
MAX. BLDG HEIGHT PROPOSED	55'
REQUIRED MINIMUM BUILDING/STRUCTURE SETBACKS	
PRIMARY/SIDE STREET	10'
SIDE/REAR LOT LINE	6'
ALLEY	5'
REQUIRED MINIMUM PARKING SETBACKS	
PRIMARY/SIDE STREET	10'
SIDE/REAR LOT LINE	3'
ALLEY	5'
BUILDING LOT COVERAGE	17.97%
*APPROVED PER REZONING CASE NUMBER Z-19-16	

REQUIRED PARKING		
USE: RESIDENTIAL - CONGREGATE GROUP LIVING		
UNITS	182 UNITS X 1 SPACE PER 3 UNITS = 61	61 SPACES
UNITS SUBTOTAL	= 61	
ADMINISTRATIVE	7,000 SF X 1 SPACE PER 400 SF ADMINISTRATIVE EMPLOYEE STAFF WORK AREA = 18	18 SPACES
ADMINISTRATIVE SUBTOTAL	= 18	
TOTAL PARKING SPACES REQUIRED =		79 SPACES
PROPOSED PARKING (9'X18' SPACES)		
TOTAL SPACES PROPOSED =		199 SPACES*
(INCLUDES 10 ACCESSIBLE SPACES)		
(INCLUDES 12 GARAGE SPACES)		
(INCLUDES 52 COMPACT SPACES)		
*ADDITIONAL PARKING SPACES EXCEEDING THE REQUIRED BY 150% WILL ADHERE TO SEC. 7.1.2.0.1., MEASUREMENT 1, WHICH REQUIRES TO DETAIL THE STORMWATER RUNOFF TO PRE-DEVELOPMENT LEVELS FOR THE 2, 10, AND 30-YEAR STORM EVENTS FOR THE PARKING AREA ABOVE THE MAXIMUM.		
TREE CONSERVATION		
REQUIRED 10% AREA =	42,600 SF	
PROVIDED AREA =	45,392 SF	
UMPOD FORESTATION		
REQUIRED 32.5%* AREA =	138,031 SF	
PROVIDED AREA =	138,065 SF (INCLUDES TCA)	
*APPLICANT RECEIVED VARIANCE (A-50-17, DATED 4/10/17) FOR 7.5% REDUCTION OF CODE REQUIRED 40% FORESTATION REQUIREMENT TOTALING 32.5%.		
AMENITY AREA		
REQUIRED 10% AREA =	42,600 SF	
PROVIDED AREA =	44,870 SF	

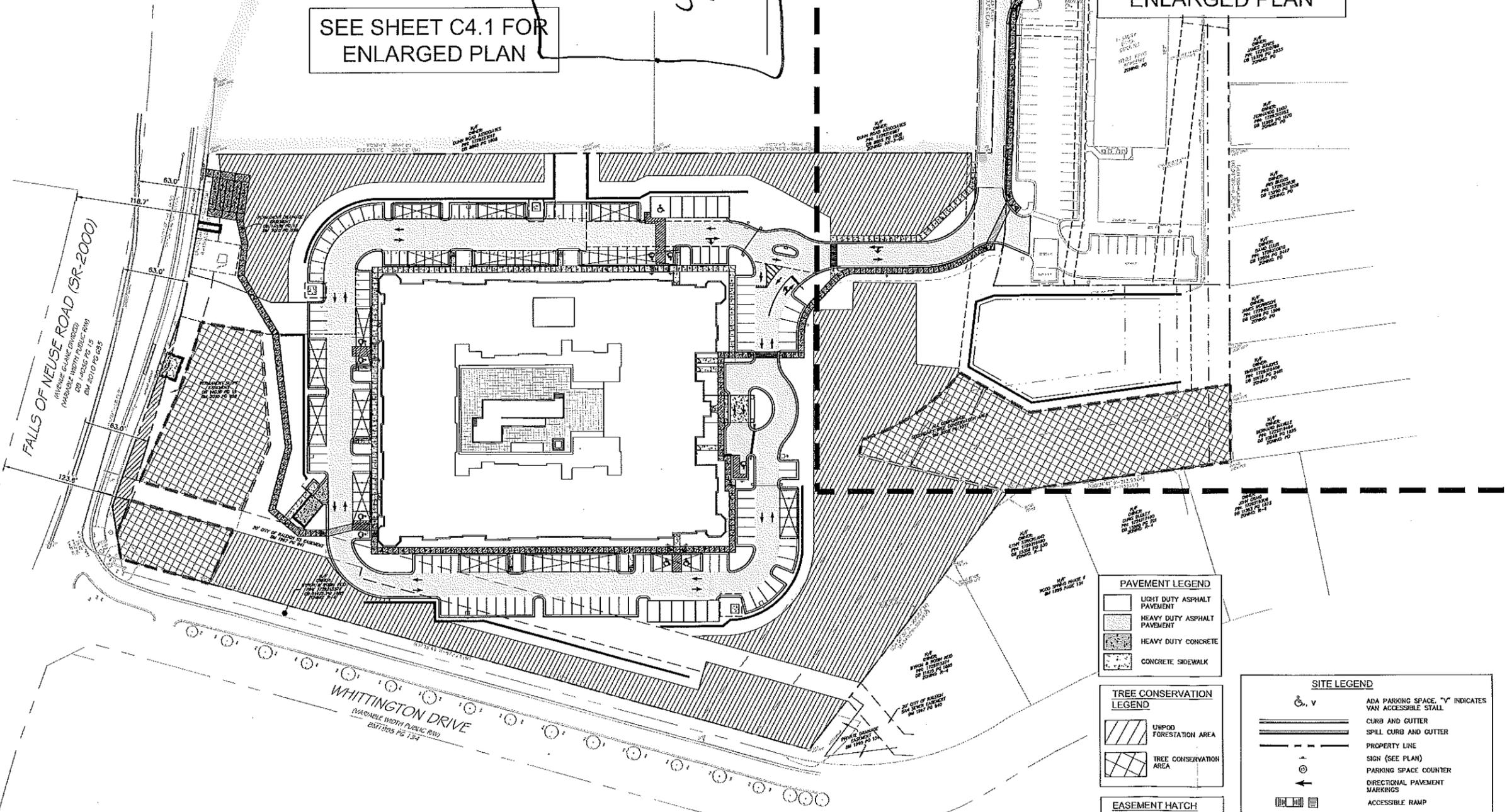
ADA PARKING TABULATION	
HC PARKING REQUIRED	1 PER TYPE ADA UNIT [2 ADA UNITS]
6 FOR 151-200 TOTAL NUMBER OF PARKING SPACES PROVIDED [199 TOTAL SPACES]	
VAN ACCESSIBLE SPACES: ONE OUT OF SIX ACCESSIBLE SPACES MUST BE VAN ACCESSIBLE (MINIMUM ONE) [10 TOTAL HC SPACES]	
HC PARKING PROVIDED	10 SPACES (INCLUDING 3 VAN SPACES)

BUILDING TABULATION	
BLDG 1	4 STORIES
	182 UNITS
	BLDG HT = 55'-0"
	(124) 1-BEDROOM DU
	(58) 2-BEDROOM DU
	CSF = 257,528

Bedford Village

SEE SHEET C4.1 FOR ENLARGED PLAN

SEE SHEET C4.2 FOR ENLARGED PLAN



PAVEMENT LEGEND	
[Symbol]	LIGHT DUTY ASPHALT PAVEMENT
[Symbol]	HEAVY DUTY ASPHALT PAVEMENT
[Symbol]	HEAVY DUTY CONCRETE
[Symbol]	CONCRETE SIDEWALK

TREE CONSERVATION LEGEND	
[Symbol]	UMPOD FORESTATION AREA
[Symbol]	TREE CONSERVATION AREA

EASEMENT HATCH LEGEND	
[Symbol]	NEW 6' PUBLIC PEDESTRIAN EASEMENT

SITE LEGEND	
[Symbol]	ADA PARKING SPACE. "V" INDICATES VAN ACCESSIBLE STALL
[Symbol]	CURB AND GUTTER
[Symbol]	SPILL CURB AND GUTTER
[Symbol]	PROPERTY LINE
[Symbol]	SIGN (SEE PLAN)
[Symbol]	PARKING SPACE COUNTER
[Symbol]	DIRECTIONAL PAVEMENT MARKINGS
[Symbol]	ACCESSIBLE RAMP
[Symbol]	RETAINING WALL
[Symbol]	PARKING SPACE. "C" INDICATES COMPACT SPACE

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.  
SURVEY NOTE: EXISTING INFORMATION TAKEN FROM AN ALTA/ASPS AND TOPOGRAPHIC SURVEY PROVIDED BY KCI ASSOCIATES OF NC DATED JUNE 17, 2016

NO.	REVISIONS	DATE	BY
1	REVISED PER CITY COMMENTS	06/30/17	TWB
2	REVISED PER CITY COMMENTS	06/07/17	TWB
3	REVISED PER CITY COMMENTS	04/07/17	TWB

**Kimley-Horn**  
© 2017 KIMLEY-HORN AND ASSOCIATES, INC. 27801  
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-850-4444  
WWW.KIMLEY-HORN.COM

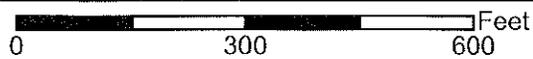
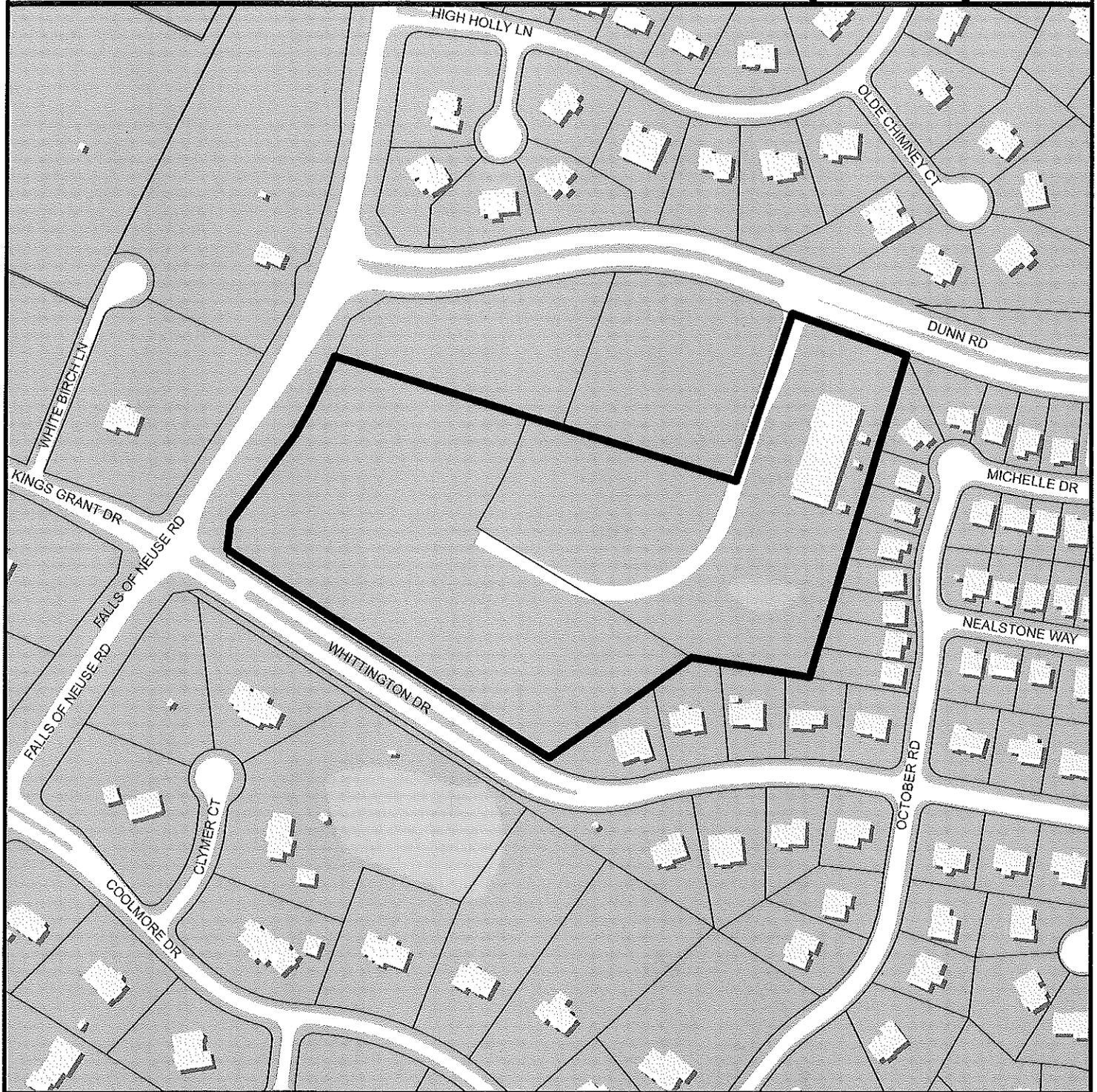
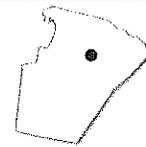


K/A PROJECT	017357000
DATE	06/23/2017
SCALE	AS SHOWN
DESIGNED BY	BLM
DRAWN BY	BLM
CHECKED BY	BLM

OVERALL SITE PLAN

THE ASPENS AT BEDFORD FALLS  
SHEET NUMBER C4.0  
RALEIGH, NC

# ASPEN AT BEDFORD FALLS SR-23-2017



Zoning: **OX-4-CU w/UWPOD**  
CAC: **North**  
Drainage Basin: **Neuse**  
Acreage: **11.78**  
Sq. Ft.: **252,528**

Planner: **Martha Lobo**  
Phone: **(919) 996-2664**  
Applicant: **Apex Construction  
Company, INC**  
Phone: **(919) 398-3419**





## Administrative Action

### Administrative Site Review

City of Raleigh  
Development Plans Review Center  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2626  
www.raleighnc.gov

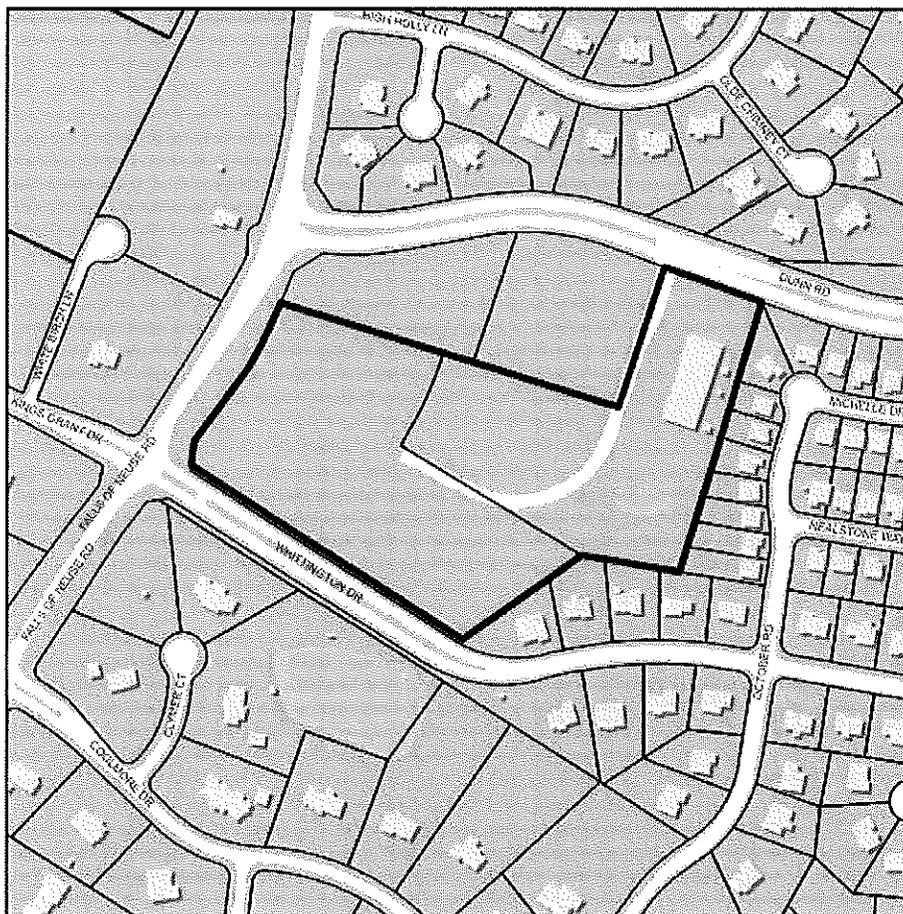
**Case File / Name:** SR-23-17 / Aspens at Bedford Falls

**General Location:** This site is located on the east side of Falls of Neuse Road, between Whittington Drive and Dunn Road.

**CAC:** North

**Request:** Development of a 9.77 acre site zoned Office Mixed Use-4 stories Conditional Use (OX-4-CU) within an Urban Watershed Protection Overlay District (UWPOD) into a 252,528 square foot, 55 foot tall, Civic Use/Congregate Care building. Total number of units proposed is 182. This site is currently part of two parcels to be recombined to create the new 9.77 acre tract for this development. Note a section of shared driveway and sidewalk for this project will be constructed on the adjacent lot that is being recombined.

**Cross-Reference:** Rezoning (Z-19-16), Board of Adjustment Case # A-50-17 and pending approval of Recombination (R-13-17/Transaction 501944)



SR-23-17 Location Map



Code Conformance:	Code Section(s)
<b>Zoning District:</b> Office Mixed Use-4, Conditional Use (OX-4-CU)	<u>2.1, 3.1</u>
<b>Overlay District:</b> Urban Watershed Protection Overlay District (UWPOD)	<u>5.1</u>
<b>Parking:</b> <u>Group Living</u> 1 vehicle space required per 3 units + 1 per 400 SF administrative, employee, staff work area  <u>Group Living: Congregate Care</u> (124) 1-bedroom units proposed (58) 2-bedroom units proposed (182) Units x 1 space per 3 units = 61 required parking spaces <ul style="list-style-type: none"><li>61 spaces required</li></ul> <u>Administrative</u> 7,000 SF x 1 space per 400 SF of administrative, employee, staff work area = 18 required parking spaces <ul style="list-style-type: none"><li>18 spaces required</li></ul> <u>Total Vehicle Parking Spaces</u> <ul style="list-style-type: none"><li>79 spaces required</li><li>199 spaces proposed<ul style="list-style-type: none"><li>Includes 10 accessible spaces</li><li>Includes 12 garage spaces</li><li>Includes 52 compact spaces</li></ul></li></ul>	<u>7.1.2</u>
As the plan shows more than 150% of the required parking on site, Code conformance with UDO Section 7.1.2 D is met through additional stormwater controls on site.	
*No short-term bicycle parking spaces or long-term bicycle parking spaces required	
<b>Street Type(s):</b> <u>Classification of Street(s):</u> <ul style="list-style-type: none"><li>Falls of Neuse Road is classified as an Avenue 6-Lane Divided Street</li></ul>	<u>8.4</u>
<b>Streetscape:</b> <u>Avenue 6-Lane Divided Street</u>  Utility Placement Easement (min) 5' Maintenance Strip (min) 2' Sidewalk (min) 6' Planting area (min) 6' Tree spacing 40' o.c. average	<u>8.5</u>

Trees Required = 347 LF/40 FT= 9 trees  
(5 existing trees + 4 proposed trees)

**Setbacks/Frontage:** Building/Structure Setbacks

3.4, 3.2, 2.2

**Congregate Care Structure:**

Primary Street 10 ft (minimum) / 177.4 ft provided  
Side Street 10 ft (minimum) / 140+ ft provided from  
Whittington Drive

Side Lot Line 0 ft or 6 ft (minimum) / 118.6 ft  
provided

Rear yard 0 ft or 6 ft (minimum) / 200+ ft + provided  
Building height 4 stories/55 ft (maximum per Z-19-  
16)) / 55 ft provided

**(2) Garage Structure(s) and (16) Parking Shelters  
(Accessory)**

Primary Street 10 ft (minimum) / 250+ ft provided  
Side Street 10 ft (minimum) / 150+ ft provided from  
Whittington Drive

Side Lot Line 0 ft or 6 ft (minimum) / 70+ ft provided  
Rear yard 0 ft or 6 ft (minimum) / 280+ ft + provided

Building height 25 ft (maximum) / 15 or less ft  
provided

**Neighborhood  
Transitions:**

**Zone A: Protective Yard**

**Type 2: Medium (20 feet)**

168 ft of lineal feet on the rear of the parcel

- A wall or fence between 6.5 and 9 feet in height required
  - 7 ft wood fence provided
- Five shade trees per 100 lineal feet
  - 9 shade trees required
  - 32 existing trees provided
- Four understory trees per 100 lineal feet
  - 7 understory trees required
  - 7 existing trees provided
- 30 shrubs per 100 lineal feet
  - 51 shrubs required
  - 51 shrubs provided

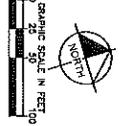
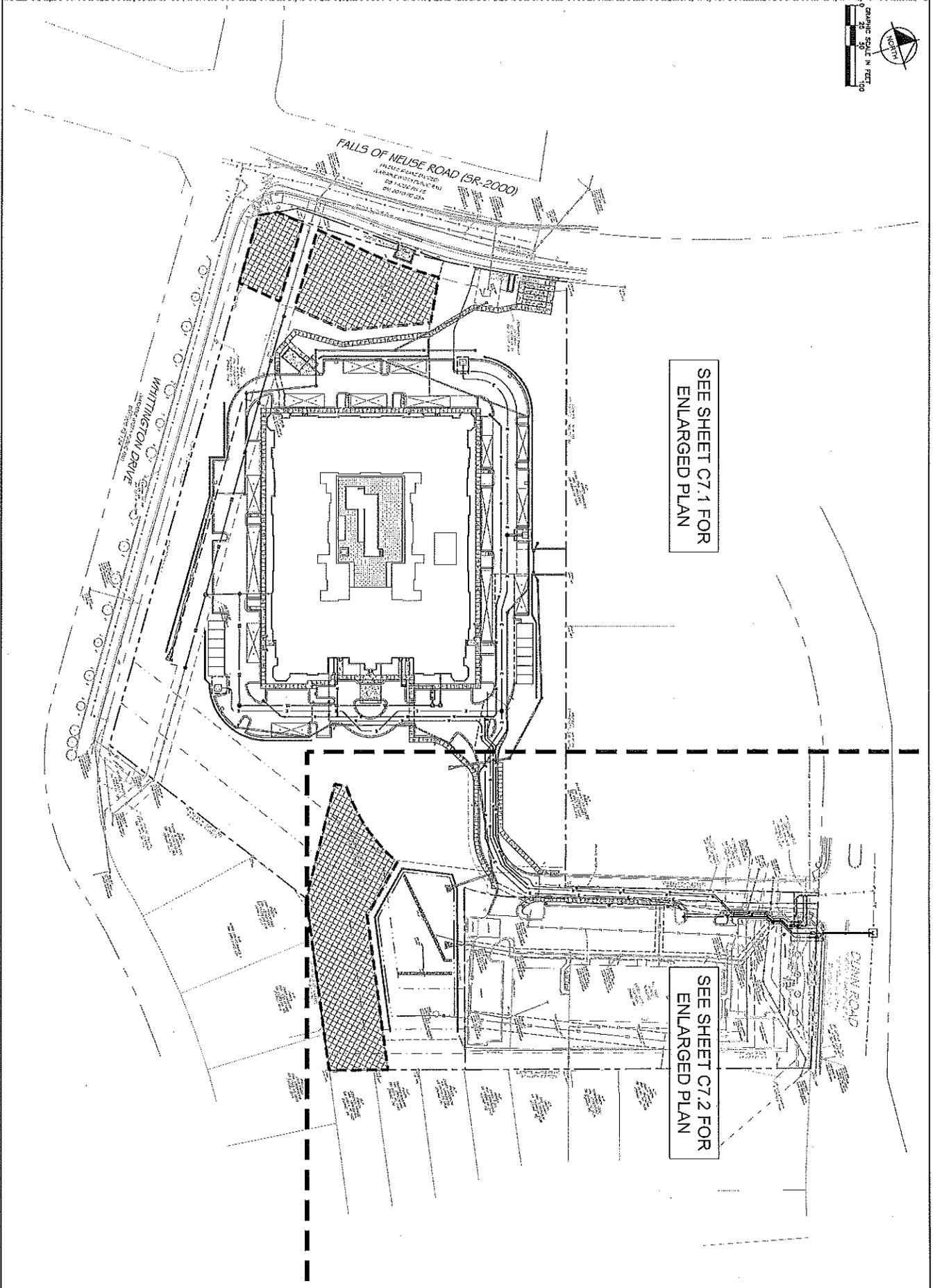
**Zone A: Protective Yard**

**Type 3: Wide (50 feet)**

522 ft of lineal feet on the rear of the parcel

- Six shade trees per 100 lineal feet
  - 32 shade trees required
  - 32 existing trees provided
- Five understory canopy trees per 100 lineal feet
  - 27 understory trees required
  - 27 existing trees provided
- 60 shrubs per 100 lineal feet
  - 314 shrubs required
  - 314 shrubs provided





SEE SHEET C7.1 FOR ENLARGED PLAN

SEE SHEET C7.2 FOR ENLARGED PLAN

SHEET NUMBER  
C7.0

THE ASPENS AT  
BEDFORD FALLS

RALEIGH NC

OVERALL UTILITY  
PLAN

KHA PROJECT  
017357000

DATE  
06/23/2017

SCALE AS SHOWN

DESIGNED BY  
EJM

DRAWN BY  
EJM

CHECKED BY  
EJM

**Kimley»Horn**

© 2017 KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-835-1434  
WWW.KIMLEY-HORN.COM

REVISIONS	DATE	BY
REMOVED PER CITY COMMENTS	06/30/17	TMB
REMOVED PER CITY COMMENTS	06/27/17	TMB
REMOVED PER CITY COMMENTS	06/27/17	TMB

Type 3: Wide (50 feet- adjacent south side)  
• Screening met through provision of tree conservation area in this location

**Transitional Protective Yards:**

N/A

7.2.4

**Stormwater:**

This site will meet stormwater quality and quantity through the use of a wet pond. The existing wet pond requires maintenance and the maintenance (and retrofit work) will be done prior to the rest of the project. This retrofitted wet pond will then be able to function during construction work, which will require a separate erosion control device. Because the SWMF is being retrofitted and used by an existing building and site, in accordance with Part 10A Section 9.2.2, an as-built plan and certification of any stormwater control device shall be reviewed and accepted by the City prior to other site work.

9.2

**Tree Conservation:**

TREE CONSERVATION:  
Site acres = 9.75 Net Acres.  
Primary Tree Conservation - Thoroughfare and Secondary Tree Conservation for a total 1.04 AC or 10.6%

9.1

**Variances, Design Adjustments, Administrative Alternates:**

Raleigh Zoning Board Variance (A-50-17) Approved as requested allowing the following:

UDO 9.1.9.A. Watershed Protection Overlay District for a 7.5% reduction of 40% Urban Watershed Protection Overlay District (UWPOD) forestation totaling 32.5% of the site.

AND

UDO 9.1.9.A.1. to reduce the minimum contiguous gross land area for qualifying forestation areas from 1/5 of the required forestation area (.79 acres) to 1/11 of the required forestation area (.37 acres) on a 9.79 acre property.

Plan shows conformance with the following:  
- 2.39 AC or 24.5% wooded area (preserved)  
- and .78 or 8% wooded area (planted)

**Other: Zoning Conditions of Z-19-16**

Zoning Conditions— Z-19-16 Falls of Neuse Road, east side, south of Dunn Road, being Wake County PINs 1729212644, 1729214636 (in part), approximately 9.79 acres rezoned to Office Mixed Use – 4 stories – Conditional Use with Urban

Watershed Protection Overlay District (OX-4-CU w/UWPOD). Conditions dated: September 22, 2016

1. The use of the property shall be limited to a Congregate Care facility for independent living restricted to people 62 years of age and older, their spouses, surviving spouses, and resident staff personnel.

- *plan shows conformance*

2. Building height shall be limited to 4 stories and 55 feet, measured in accordance with UDO Section 1.5.7.

- *plan shows conformance*

3. Subject to City Council approval, the maximum block perimeter standards in UDO Section 8.3.2, the open access, connectivity and stub street standards in UDO Section 8.3.4, and the cross access requirements in UDO Section 8.3.5 shall be modified such that a maximum block perimeter of 4,900 feet shall be permitted; a maximum stub street of 900 feet shall be permitted; and additional cross access to adjoining parcels under UDO Section 8.3.5 shall not be required. A public easement providing for pedestrian access of at least six (6) feet in width from Falls of Neuse Road to Dunn Road and directly connecting to the principal building's primary entrance shall be recorded with the Wake County Register of Deeds prior to the earlier of (i) the issuance of a building permit for any building on the property or (ii) the sale of any lot within the property which does not result in the immediate recombination of all parcels of the property into a single recombined lot.

- *plan shows conformance with condition that easements be recorded prior to permit issuance*

4. Residential density shall not exceed an aggregate of 190 dwelling units and/or rooming units.

- *182 units proposed*

5. Principal building(s) on the property shall be located at least 100 feet away from the adjacent R-4 zoned residential properties (which may overlap the Neighborhood Transition requirements set forth in UDO Article 3.5) as follows: Morrison (PIN 1729310515; DB 10018 P 1596); Majors (PIN 1729310409; DB 10116 P 2481); Naville (PIN 1729219494; DB 10649 P 1825); Craig (PIN 1729219308; DB 11363 P 1873); Dudley 1729217490; DB 15560 P 701); Strickland (PIN

1729216490 DB 15358 P 530); Reid (PIN 1729215374 DB 11475 P 1882), provided that as to the 11.5-foot wide strip of property running along Whittington Drive as part of the Reid property, (PIN 1729215374; DB 11475 P 1882), only the Neighborhood Transition requirements shall apply, understanding the latter may partially overlap with the conditioned 100-foot setback on the remaining portion of the Reid property. Ordinance (2016) 643 ZC 736 Effective: 11/1/16

*-plan shows conformance*

6. Poles for parking lot light fixtures located more than 50 feet away from residential zoning districts shall not exceed 20 feet in height. All lighting fixtures on site shall be full cutoff fixtures.

*-condition of plan approval to be met prior to permit issuance*

7. An undisturbed Tree Conservation Area (TCA) having an average width of at least 55 feet shall be preserved where the property adjoins the Falls of Neuse Road. Such TCA is subject to any build-to requirements under the UDO, existing cross-access easements or rights, utility easements and rights, and pedestrian access connections required by the UDO and these zoning conditions.

*-plan shows conformance*

8. A 15' x 20' transit easement on Falls of Neuse Road shall be provided to the City prior to the issuance of a building permit for the property. The property owner shall install an ADA-accessible transit shelter within the transit easement per the specifications below provided the property owner receives written notice to build the shelter from the City of Raleigh Department of Transportation within ninety (90) days after the issuance of a building permit. Provided the property owner receives such written notice within the required timeframe, the ADA-accessible transit shelter shall be completed prior to the issuance of any certificate of occupancy for the property with the following improvements: • one 15' x 20' cement pad, • one 30' long cement landing zone parallel to the street between the sidewalk and the back of the curb, • one sleeve for the installation of a 2-inch x 2-inch post, • one bench, and • one litter container.

*-plan shows conformance. Easement to be provided prior to building permit issuance*

9. Any exposed site retaining wall facing toward

Whittington Drive, between the building(s) and the southern property boundary, shall be constructed of concrete, masonry or segmental block units. This wall face will be clad or manufactured with a textured masonry veneer surface. Unit sizes and color(s) will be compatible with and complementary to the material palette selected for the principal building(s).

*-condition of approval prior to permit issuance*

10. At least eighty percent of all exterior building elevations (exclusive of windows, doors, trim, roof and railings) shall be comprised of a combination of stone (manufactured or natural), brick, wood and/or cementitious fiberboard such as HardiePlank.

*-condition of approval prior to permit issuance*

**OFFICIAL ACTION: Approval with conditions**

---

**CONDITIONS OF  
APPROVAL:**

**Prior to issuance of a mass land disturbing permit for the site:**

1. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

**Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable:**

2. That a final tree conservation plan with permit be approved by the Forestry Specialist. The plan must show metes and bounds descriptions of all tree conservation areas, and tree protection fence around all tree conservation areas;
3. That a stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance, including the designation of buffer areas and open space areas for stormwater purposes prior to grading or the approval of construction drawings, whichever event comes first;
4. That a nitrogen offset payment must be made to a qualifying mitigation bank;
5. That plans for the shared stormwater devices be submitted to the Development Services Department and approved by the Engineering Services Department;
6. That in accordance with Part 10A Section 9.4.4, a surety equal to 125% of the cost of clearing, grubbing and reseeding a site and the stormwater device, shall be paid to the City;
7. That the developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans;
8. That the developer submit an application for exchange of the city of Raleigh sanitary sewer easement as shown on the preliminary plan to the Public Utilities Department and that the new and abandoned easements be shown on all plats for recording prior to building permit issuance;
9. That the City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document be provided to the City by the end of the next business day following the recordation of the final plat; further recordings and building permit authorization will be withheld if the recorded document is not provided to the City;
10. That NCDOT encroachment approval into the Falls of Neuse Road slope easement for the proposed sign and switchback handicap ramp be provided to the City;

**Prior to issuance of building permits:**

11. That a recombination map (R-13-17) be recorded recombining the two current parcels to create the 9.77 acre New Lot 1 and 2.00 acres of New Lot 2;
12. That Infrastructure Construction Plans are approved by the City of Raleigh, including obtaining stub permits, tree impact permit and a street lighting plan, if applicable;
13. That all conditions of Z-19-16 are complied with;
14. That a final site lighting plan showing UDO conformance and meeting condition of rezoning #6 be approved;
15. That a 15' x 20' transit deed of easement is approved by the City staff and that the location of the easement is shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat;
16. That all conditions of BOA A-50-17 are complied with;
17. That the amended and restated 30' cross access easement originally recorded in Book 10293, page 45 and amended in Book 16808 page 2295 (shown on sheet C1.0- Existing Conditions of the approved preliminary plans as the "New Relocated Cross Access Easement") be provided to the City, and that the 6' pedestrian access easement among the proposed lots is approved by the Development Services Department for recording in the Wake County Registry, and that a copy of the recorded pedestrian access easement be returned to the City within 1 day of recording;
18. That ½ of 126' required right of way with utility easement for the existing Falls of Neuse Road is dedicated to the City of Raleigh and recorded with the Wake County Register of Deeds;
19. That a map be recorded showing dedication of the proposed City of Raleigh water line easement and sanitary sewer easement as shown on the preliminary plan;
20. That all stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements and the plats shall contain the following note: "All private storm drainage easements & stormwater measures will be maintained by the property owners association";
21. That a tree conservation map be recorded with metes and bound showing the designated Tree Conservation Areas and shall be in compliance with Chapter 9 of the Unified Development Ordinance;

**Prior to issuance of building occupancy permit:**

22. That in accordance with Part 10A Section 9.2.2, an as-built plan and certification any stormwater control device shall be reviewed and accepted by the City prior to final stormwater inspection approval or certificate.

I hereby certify this administrative decision.

**Signed:** (Planning Director) Kenneth Bowen Date: 8/22/2017  
(BWB)

**Staff Coordinator:** Martha Y Lobo

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.

---

**FINDINGS:** City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 06-30-2017, submitted by Kimley-Horn and Associates, Inc.

---

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date: 8-22-2020**

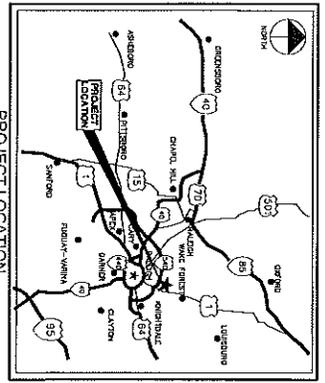
Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

**WHAT NEXT?:**

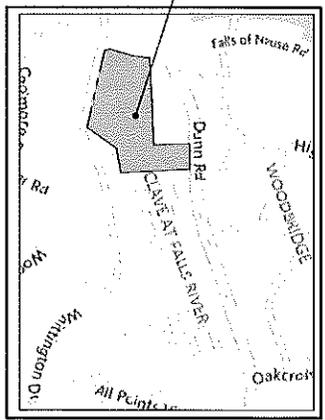
- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.



**PROJECT LOCATION**

**ADMINISTRATIVE SITE PLAN SUBMITTAL FOR:  
 ASPENS AT BEDFORD FALLS  
 1580 DUNN ROAD  
 RALEIGH, NORTH CAROLINA 27607**

**DEVELOPMENT PLAN: SR-23-17**      **REZONING CASE: Z-19-16**      **RECOMBINATION: R-13-17**  
**TRANSACTION #504769**      **(CURRENTLY IN REVIEW)**



**VICINITY MAP**  
 1" = 450'

**1. Purpose:** The purpose of this Administrative Site Plan Submittal is to provide the necessary information for the Review Board to make a decision on the proposed development. The Review Board will consider the proposed development in light of the applicable zoning ordinance and other applicable laws and regulations.

**2. Description of the Project:** The proposed development consists of a multi-unit residential development consisting of approximately 150 units. The units will be constructed in a multi-story building with a mix of unit types, including single-family detached, townhomes, and multi-family units.

**3. Location:** The proposed development is located at 1580 Dunn Road, Raleigh, North Carolina 27607. The site is bounded by Dunn Road to the north, Claine at Falls River to the south, and I-85 to the east.

**4. Surrounding Land Use:** The surrounding land use is primarily residential and commercial. The site is located in a well-served area with access to major roads and public transportation.

**5. Project Description:** The proposed development will consist of approximately 150 units, including single-family detached, townhomes, and multi-family units. The units will be constructed in a multi-story building with a mix of unit types. The development will include a mix of unit types, including single-family detached, townhomes, and multi-family units.

**6. Project Goals:** The project goals are to provide a high-quality residential development that meets the needs of the community. The development will be designed to be aesthetically pleasing and to provide a mix of unit types and amenities.

**7. Project Benefits:** The project benefits include the creation of new housing units, the creation of new jobs, and the improvement of the local economy. The development will also provide a mix of unit types and amenities that will meet the needs of the community.

**8. Project Impacts:** The project impacts include the potential for increased traffic, the potential for increased noise, and the potential for increased air pollution. However, the project is located in a well-served area and the impacts are expected to be minimal.

**9. Project Mitigation:** The project mitigation measures include the implementation of traffic management measures, the implementation of noise abatement measures, and the implementation of air quality management measures.

**10. Project Conclusion:** The project is a high-quality residential development that meets the needs of the community. The development will be designed to be aesthetically pleasing and to provide a mix of unit types and amenities. The project is expected to have minimal impacts and the impacts are expected to be mitigated.

**Administrative Site Review Application**  
 (for UDO Districts only)

**Project Name:** ASPENS AT BEDFORD FALLS  
**Project Address:** 1580 DUNN ROAD, RALEIGH, NC 27607  
**Project Owner:** ASPENS SINGLE LIVING, LLC  
**Project Architect:** CROSS ARCHITECTS, PLLC

**UDO District:** SR-23-17  
**Rezoning Case:** Z-19-16  
**Recombination:** R-13-17

**Project Description:** Multi-unit residential development consisting of approximately 150 units, including single-family detached, townhomes, and multi-family units.

**Project Goals:** Provide a high-quality residential development that meets the needs of the community.

**Project Benefits:** Creation of new housing units, new jobs, and economic improvement.

**Project Impacts:** Potential for increased traffic, noise, and air pollution.

**Project Mitigation:** Implementation of traffic management, noise abatement, and air quality management measures.

**Project Conclusion:** The project is a high-quality residential development that meets the needs of the community.

**Project Description:** Multi-unit residential development consisting of approximately 150 units, including single-family detached, townhomes, and multi-family units.

**Project Goals:** Provide a high-quality residential development that meets the needs of the community.

**Project Benefits:** Creation of new housing units, new jobs, and economic improvement.

**Project Impacts:** Potential for increased traffic, noise, and air pollution.

**Project Mitigation:** Implementation of traffic management, noise abatement, and air quality management measures.

**Project Conclusion:** The project is a high-quality residential development that meets the needs of the community.

**CONTACTS:**

**APPLICANT/DEVELOPER:** ASPENS SINGLE LIVING, LLC  
 505 PECAN STREET, SUITE 101  
 FORT WORTH, TEXAS 76102  
 ATTN: BARRY K. METCALF  
 BARRK@ASPENS.COM

**ARCHITECT:** CROSS ARCHITECTS, PLLC  
 1255 W. 15TH STREET, SUITE 125  
 BRUNSWICK, GEORGIA 31524  
 BRUNSWICK@CROSSARCHITECTS.COM

**LANDSCAPE ARCHITECT:** KALEY-HORN AND ASSOCIATES, INC.  
 421 FAYETTEVILLE STREET, SUITE 600  
 RALEIGH, NORTH CAROLINA 27601  
 RICHARD.BROWN@KALEY-HORN.COM

**ENGINEER:** KALEY-HORN AND ASSOCIATES, INC.  
 421 FAYETTEVILLE STREET, SUITE 600  
 RALEIGH, NORTH CAROLINA 27601  
 ATTN: BRAD A. HIGDON, P.E.  
 BRAD.HIGDON@KALEY-HORN.COM

**SURVEYOR:** KCS ASSOCIATES OF NC  
 405 FALLS OF NEUSE ROAD, FLOOR 4  
 RALEIGH, NC 27607  
 ATTN: ROBERT C. BALDWIN, PLS. NO. L-1451

**REVISIONS**

NO.	DATE	DESCRIPTION	BY
1	02/23/17	REVISION PER CITY COMMENTS	THE
2	02/23/17	REVISION PER CITY COMMENTS	THE
3	02/23/17	REVISION PER CITY COMMENTS	THE

**SOLID WASTE REJECTION STATEMENT:**  
 THIS ALL-RENTAL PROJECT WILL PROVIDE DESIGNATED REUSE AREA TO HANDLE SOLID WASTE RECYCLING FOR THE CONTRACTOR. A PRIVATE HANLER

**ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NORTH CAROLINA STANDARDS AND SPECIFICATIONS.**

**SUBJECT MATTER INFORMATION TAKEN FROM AN ATLAS AND TOPOGRAPHIC SURVEY PROVIDED BY KCS ASSOCIATES OF NC DATED JUNE 17, 2016**

**NC CERTIFICATE OF AUTHORIZATION # F-0102**

**PRELIMINARY**  
 UNLESS OTHERWISE NOTED

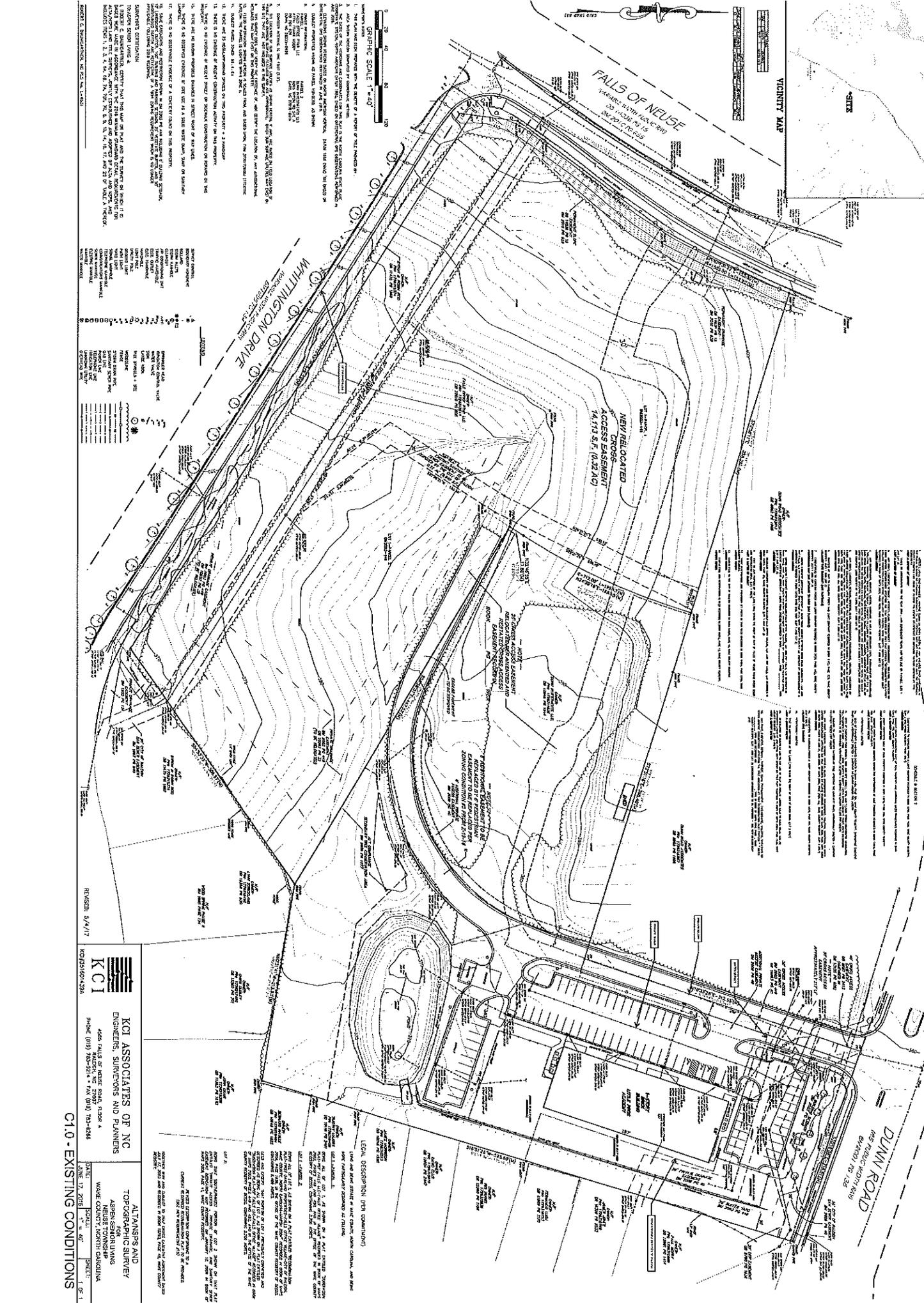
**Kimley»Horn**

421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NORTH CAROLINA 27601  
 PHONE: (919) 835-1494  
 FAX: (919) 653-9847

**SHEET LIST TABLE**

Sheet Number	Sheet Title
001	GENERAL NOTES
002	GENERAL NOTES
003	GENERAL NOTES
004	GENERAL NOTES
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**DATE:** FEBRUARY 23, 2017  
**JOB NUMBER:** 017357000



GRAPHIC SCALE 1" = 40'

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NEIGHBORING PROPERTIES:

1. 100' WIDE SETBACK FROM DUNN ROAD TO PROPERTY LINE.

2. 100' WIDE SETBACK FROM DUNN ROAD TO PROPERTY LINE.

3. 100' WIDE SETBACK FROM DUNN ROAD TO PROPERTY LINE.

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REMARKS:

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REMARKS: 5/4/17

K028560439



**KCI ASSOCIATES OF NC**  
ENGINEERS, SURVEYORS AND PLANNERS

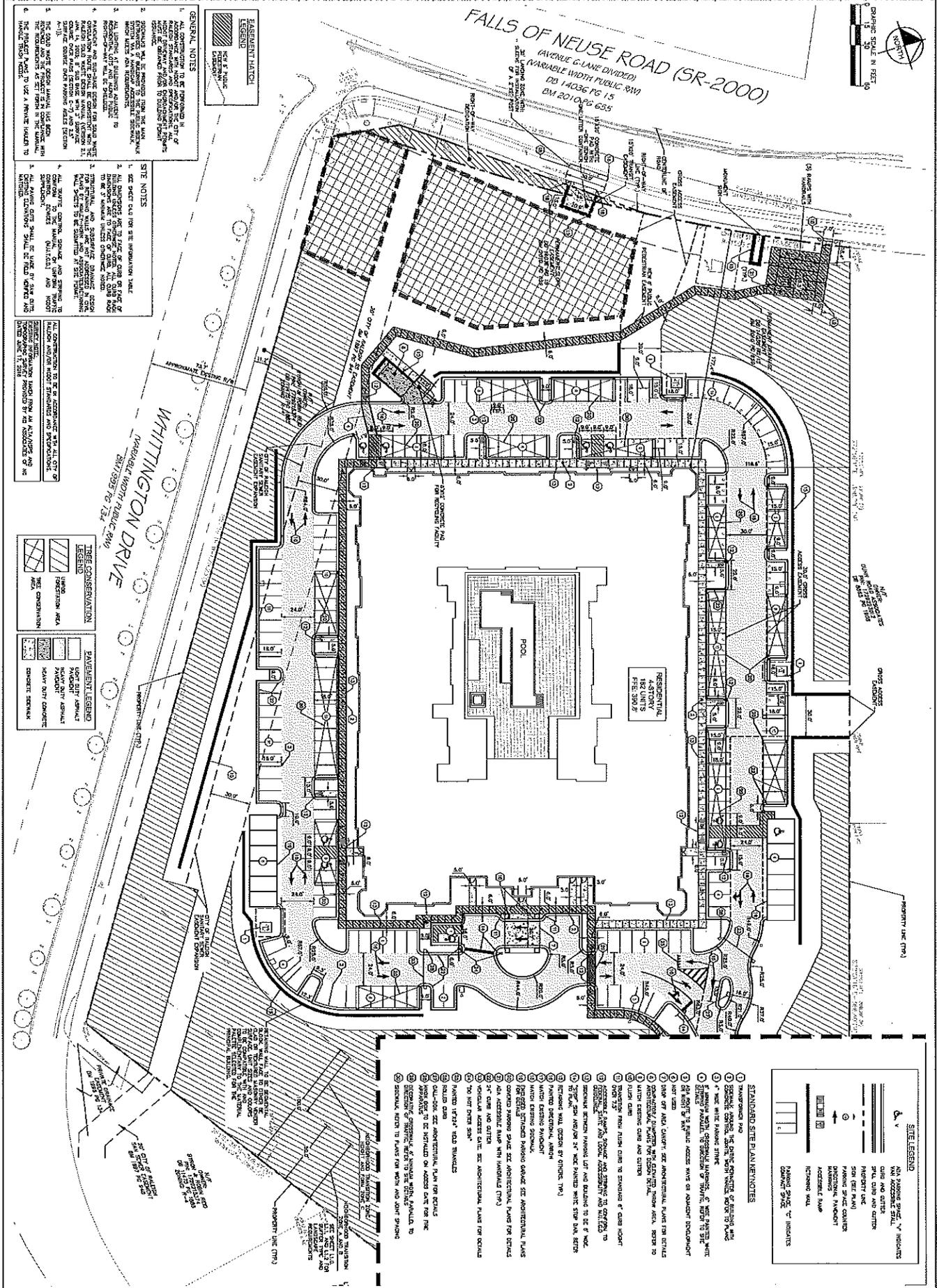
4605 VALLEY ROAD, SUITE 100  
PHONE: (919) 750-2211 • FAX: (919) 750-4284

ALTMANS AND  
TOPOGRAPHIC SURVEY  
FOR  
ASPER SHERRILL  
NEUSE TOWNSHIP  
WAKE COUNTY, NORTH CAROLINA

DATE: 05/17/17

SHEET: 1 OF 1





**GENERAL NOTES**

1. ALL CONSTRUCTION TO BE PERFORMED IN ACCORDANCE WITH THE CITY OF RALEIGH SPECIFICATIONS FOR CONSTRUCTION AND THE CITY OF RALEIGH SPECIFICATIONS FOR CONSTRUCTION AND THE CITY OF RALEIGH SPECIFICATIONS FOR CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RALEIGH.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING TREES AND LANDSCAPE.
7. THE CONTRACTOR SHALL MAINTAIN ADEQUATE ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING TREES AND LANDSCAPE.

**SITE NOTES**

1. SEE SHEET 04.1 FOR SITE INFORMATION.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RALEIGH.
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**THREE CONSERVATION LEGEND**

- 1. WOOD CONSERVATION AREA
- 2. WETLAND CONSERVATION AREA
- 3. WATERSHED CONSERVATION AREA

**PAVEMENT LEGEND**

- 1. ASPHALT
- 2. CONCRETE
- 3. CURB
- 4. DRIVEWAY
- 5. SIDEWALK
- 6. BIKEWAY
- 7. TRAIL
- 8. OTHER

**STANDARD SITE PLAN ABBREVIATIONS**

- 1. WALL
- 2. WINDOW
- 3. DOOR
- 4. ROOF
- 5. FLOOR
- 6. CEILING
- 7. STAIR
- 8. ELEVATOR
- 9. MECHANICAL
- 10. ELECTRICAL
- 11. PLUMBING
- 12. FIRE
- 13. SECURITY
- 14. LANDSCAPE
- 15. UTILITIES
- 16. SIGNAGE
- 17. FURNITURE
- 18. OTHER

**PROPERTY LINE (TYP)**

APPROXIMATE PROPERTY LINE

PROPERTY LINE (TYP)

**WHITTINGTON DRIVE**

APPROXIMATE PROPERTY LINE

PROPERTY LINE (TYP)

**RESIDENTIAL**

RESIDENTIAL UNITS

RESIDENTIAL UNITS

**POOL**

POOL

POOL

**THE ASPENS AT BEDFORD FALLS**

ENLARGED SITE PLAN

DATE: 05/22/2017

SCALE: AS SHOWN

DRAWN BY: B.M.

CHECKED BY: B.M.

**FALLS OF NEUSE ROAD (SR-2000)**

(AVENUE G-LANE DIVIDER)

VARIABLE WIDTH PUBLIC R/W

DB 14036 PG 15

BM 2010 PGS 655

**LEGEND**

EXISTING LOT

EXISTING BUILDING

EXISTING DRIVEWAY

EXISTING SIDEWALK

EXISTING BIKEWAY

EXISTING TRAIL

EXISTING OTHER

**PROPERTY LINE (TYP)**

APPROXIMATE PROPERTY LINE

PROPERTY LINE (TYP)

**WHITTINGTON DRIVE**

APPROXIMATE PROPERTY LINE

PROPERTY LINE (TYP)

**RESIDENTIAL**

RESIDENTIAL UNITS

RESIDENTIAL UNITS

**POOL**

POOL

POOL

**STANDARD SITE PLAN ABBREVIATIONS**

- 1. WALL
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- 16. SIGNAGE
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- 18. OTHER

**PROPERTY LINE (TYP)**

APPROXIMATE PROPERTY LINE

PROPERTY LINE (TYP)

**WHITTINGTON DRIVE**

APPROXIMATE PROPERTY LINE

PROPERTY LINE (TYP)

**RESIDENTIAL**

RESIDENTIAL UNITS

RESIDENTIAL UNITS

**POOL**

POOL

POOL

**THE ASPENS AT BEDFORD FALLS**

ENLARGED SITE PLAN

DATE: 05/22/2017

SCALE: AS SHOWN

DRAWN BY: B.M.

CHECKED BY: B.M.

**Kimley Horn**

© 2017 KIMLEY-HORN AND ASSOCIATES, INC.

421 FAWCETT BLVD, SUITE 300, RALEIGH, NC 27601

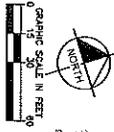
PHONE: 919-835-1494

WWW.KIMLEY-HORN.COM

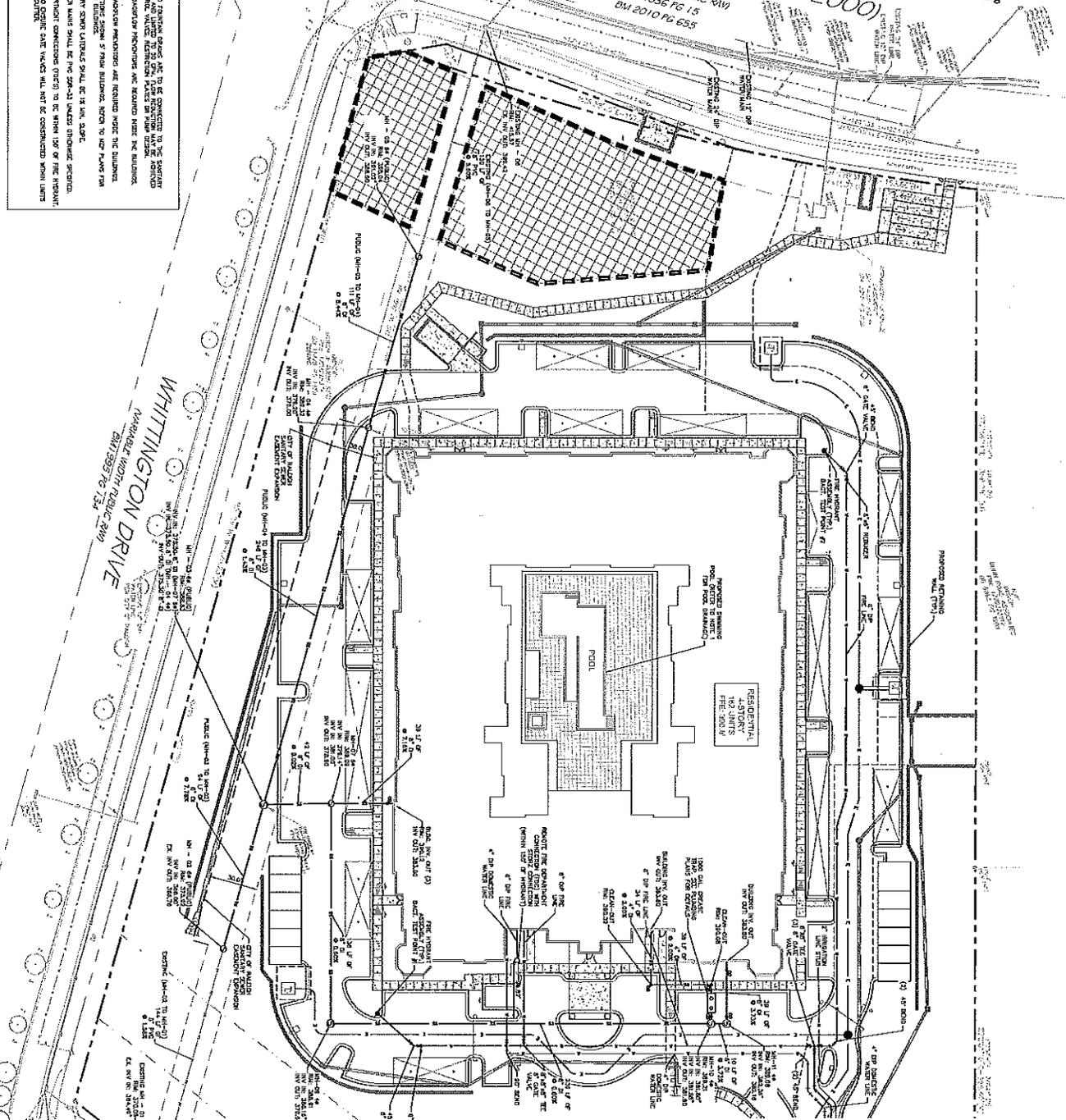
NO.	REVISIONS	DATE	BY
1	REVISION PER CITY COMMENTS	05/30/17	TND
2	REVISION PER CITY COMMENTS	06/07/17	TND
3	REVISION PER CITY COMMENTS	04/07/17	TND

# FALLS OF NEUSE ROAD (SR-2000)

(AVENUE G-LANE DIVIDED)  
 (VARIABLE WIDTH PUBLIC R/W)  
 DB 14036 PG 15  
 BM 2010 PG 655



1. ALL EXISTING AND PROPOSED UTILITIES ARE TO BE CONNECTED TO THE SOUTHWEST BRANCH OF THE FALLS OF NEUSE CANAL. THE SOUTHWEST BRANCH OF THE FALLS OF NEUSE CANAL IS LOCATED UNDER THE BRIDGE.
2. NO EXISTING UTILITIES ARE TO BE MOVED OR DELETED UNLESS SPECIFICALLY NOTED OTHERWISE.
3. THE PROPOSED UTILITIES ARE TO BE LOCATED UNDER THE BRIDGE.
4. IF ANY EXISTING UTILITIES ARE TO BE MOVED OR DELETED, THE PROPOSED UTILITIES SHALL BE MOVED TO THE SAME LOCATION AS THE EXISTING UTILITIES.
5. ALL THE PROPOSED UTILITIES SHALL BE MOVED TO THE SAME LOCATION AS THE EXISTING UTILITIES.
6. ALL THE PROPOSED UTILITIES SHALL BE MOVED TO THE SAME LOCATION AS THE EXISTING UTILITIES.
7. CONTRACTORS TO LOCATE EXISTING UTILITIES SHALL NOT BE CONSIDERED UNLESS THE UTILITIES ARE LOCATED AS SHOWN ON THIS PLAN.



SEE SHEET C7.2 FOR CONTINUATION

**UTILITY LEGEND**

- PROPOSED PER LINE
- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- PROPOSED STORM SEWER LINE
- PROPOSED GAS LINE
- PROPOSED ELECTRIC LINE
- PROPOSED TELEPHONE LINE
- PROPOSED FIBER OPTIC LINE
- PROPOSED CABLE TV LINE
- PROPOSED RAILROAD LINE
- PROPOSED HIGHWAY LINE
- PROPOSED AIRPORT LINE
- PROPOSED CANAL LINE
- PROPOSED DRAINAGE LINE
- PROPOSED IRRIGATION LINE
- PROPOSED FLOOD CONTROL LINE
- PROPOSED WINDMILL LINE
- PROPOSED OTHER LINE

**NOTES**

1. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEDFORD FALLS UTILITIES DEPARTMENT SPECIFICATIONS.
2. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEDFORD FALLS UTILITIES DEPARTMENT SPECIFICATIONS.
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10. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEDFORD FALLS UTILITIES DEPARTMENT SPECIFICATIONS.





VICINITY MAP (NOT TO SCALE)

DESIGN ADJUSTMENT A DESIGN ADJUSTMENT HAS BEEN SUBMITTED FOR BLOCK PERIMETER (UDO SEC 8.3.2) AND FOR RALEIGH STREET DESIGN MANUAL SEC 5.1.1

SOLID WASTE INSPECTIONS STATEMENT DEVELOPER IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL. PRIVATE SERVICE TO BE PROVIDED.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS.

HORIZONTAL DATUM: NAD83 VERTICAL DATUM: NAVD88

REFER TO GRADING PLAN FOR AVERAGE GRADE CALCULATION

SITE DATA

OWNER: BEDFORD MARKET, LLC 700 EXPOSITION PLACE - STE 131 RALEIGH, NC 27615

ADDRESS: LOT 1 1500 DUNN ROAD RALEIGH, NC 27614

LOT 2 1540 DUNN ROAD RALEIGH, NC 27614

PIN: LOT 1 = 1729.03-22-3012 LOT 2 = 1729.03-21-6967

AREA: LOT 1 = 79,867 S.F. (1.8335 AC.) LOT 2 = 100,563 S.F. (2.3086 AC.)

ZONING: NX-3-CU

OVERLAY DISTRICT: URBAN WATERSHED PROTECTION OVERLAY DISTRICT

CURRENT LAND USE: VACANT

PROPOSED LAND USE: RETAIL / RESTAURANT / RESIDENTIAL

PROPOSED BUILDING TYPE: BUILDING 1 = MIXED USE BUILDING 2 = GENERAL

REFERENCE: DB 8865, PG 1908 BM 2007, PG 2676 WAKE COUNTY REGISTRY

INDEX

Table listing index items: CE-1 EXISTING CONDITIONS PLAN, CE-2 FALLS OF NEUSE EXISTING CONDITIONS, CE-3 SITE PLAN, CE-4 UTILITY PLAN, CE-5 GRADING PLAN, CE-6 STORMWATER PLAN, CE-7 STORMWATER DETAILS, CE-8 SITE DETAILS, CE-9 FIRE DEPARTMENT ACCESS / ADA ACCESS & AMENITY PLAN, L100 PLANTING PLAN, L101 PLANTING NOTES AND DETAILS, A0.01 BUILDING 1 - FLOOR PLAN, A0.02 BUILDING 1 - FLOOR PLAN, A0.03 BUILDING 2 - FLOOR PLAN, A0.04 BUILDING 1 - EXTERIOR ELEVATIONS, A0.05 BUILDING 2 - EXTERIOR ELEVATIONS

BEDFORD VILLAGE 1500 & 1540 DUNN ROAD ADMINISTRATIVE SITE REVIEW

SR-30-18

TRANS. #550041

RALEIGH, NORTH CAROLINA 27614

MAY 2018

REVISED JUNE 2018

PARKING

Table showing parking requirements and provided spaces for proposed retail and residential units.

LOT AREA

SITE 180,430 S.F. (4.14 AC.)

AMENITY AREA/OPEN SPACE

REQUIRED (10%) 0.41 AC. (18,043 S.F.) PROVIDED 0.53 AC. (23,261 S.F.) PROVIDED 12.8%

TREE CONSERVATION AREA

TCA REQUIRED (10%) 0.41 AC. TCA PROVIDED 0.41 AC.

IMPERVIOUS AREA CALCULATION

EXISTING 0.10 AC. PROPOSED 2.85 AC.

BIKE PARKING SUMMARY BIKE PARKING IS LOCATED UNDER BUILDING OVERHANG. BUILDING OVERHANG PROVIDES COVER FOR LONG TERM PARKING.

Table showing bike parking requirements and provided spaces for restaurant and retail units.

OWNER/DEVELOPER: BEDFORD MARKET, LLC 700 EXPOSITION PLACE, SUITE 131 Raleigh, N.C. 27615 Phone: (919) 523-9237

ARCHITECT: PLANWORX ARCHITECTURE 5711 Six Forks Road Raleigh, N.C. 27609 Phone: (919) 424-1940 E-mail: bnaegele@planworx.com

LANDSCAPE ARCHITECT: SITE COLLABORATIVE 727 W. Hargett St. Raleigh, N.C. 27603 Phone: (919) 805-3586 E-mail: graham@sitecollaborative.com

CIVIL ENGINEER: JOHN A. EDWARDS & COMPANY Consulting Engineers NC License F-0289 333 Wade Ave., Raleigh, N.C. 27605 Phone: (919) 828-4428 E-mail: info@jaeco.com

BOA DECISION A-126-17

PER RALEIGH BOARD OF ADJUSTMENT DECISION A-126-17 ON NOV 13, 2017, THE PROPOSED DEVELOPMENT HAS COMPLETE RELIEF FROM THE 40% FORESTATION REQUIREMENT FOR THE URBAN WATERSHED PROTECTION OVERLAY DISTRICT. SEE BELOW FOR ADDITIONAL INFORMATION.

WHEREAS DUNN ROAD ASSOCIATES, LLC, PROPERTY OWNERS, REQUEST COMPLETE RELIEF FROM THE 40% FORESTATION REQUIREMENTS SET FORTH IN SECTION 8.1.3 OF THE UNIFIED DEVELOPMENT ORDINANCE FOR BOTH AN 1.8 ACRE PROPERTY AND A 2.31 ACRE PROPERTY, BOTH ZONED NEIGHBORHOOD MIXED USE 3-CONDITIONAL USE AND URBAN WATERSHED PROTECTION OVERLAY DISTRICT AND LOCATED AT 1500 AND 1540 DUNN ROAD RESPECTIVELY.

DECISION: APPROVED WITH CONDITION THE APPLICANT INSTALLS OR MAINTAINS LANDSCAPING AS SHOWN ON THE LANDSCAPE PLAN INCLUDED IN THE APPLICATION PACKET.

Administrative Site Review Application (for UDO Districts only)



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | cfax 919-996-1831 Litchford Satellite Office | 1320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

Form section for Building Type and For Office Use Only, including checkboxes for Detached, Attached, Apartment, Townhouse, General, Mixed Use, Open Lot, etc.

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name Bedford Village - 1500 & 1540 Dunn Road

Zoning District NX-3-CU Overlay District (if applicable) Inside City Limits? Yes No

Proposed Use Retail / Restaurant / Residential

Property Address(es) 1500 & 1540 Dunn Road Major Street Locator: Dunn Road and Falls of Neuse

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1729.03-22-3012 P.I.N. 1729.03-21-6967 P.I.N.

What is your project type? Apartment, Mixed Residential, Duplex, Other, etc.

WORK SCOPE Per City Code Section 10.2.B.3.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

CLIENT/DEVELOPER/OWNER Company Bedford Market, LLC Name (s) Daniel Brown Address 700 Exposition Place, Suite 131, Raleigh, NC 27615 Phone (919) 523-9237 Email daniel.brownadvisory@gmail.com Fax

CONSULTANT (Contact Person for Plans) Company John A. Edwards & Company Name (s) Johnny Edwards Address 333 Wade Ave, Raleigh, NC 27605 Phone 919-828-4428 Email johnny@jaeco.com Fax 919-828-4711

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Table with columns for Zoning Information and Building Information, detailing zoning districts, building types, and site data.

Table for Stormwater Information, detailing impervious surface, flood hazard area, and stormwater management details.

Table for Residential Developments, detailing apartment, condominium, and residential unit counts.

SIGNATURE BLOCK (Applicable to all developments)

Signature block area for the applicant, including fields for name, title, date, and printed name.



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Consulting Engineers  
and Land Surveyors

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**BEDFORD VILLAGE**  
1500 & 1540 DUNN ROAD  
RALEIGH, NC 27614

**D&N DEVELOPMENT, LLC**  
700 Exposition Place, Suite # 131  
Raleigh, NC 27615

Client

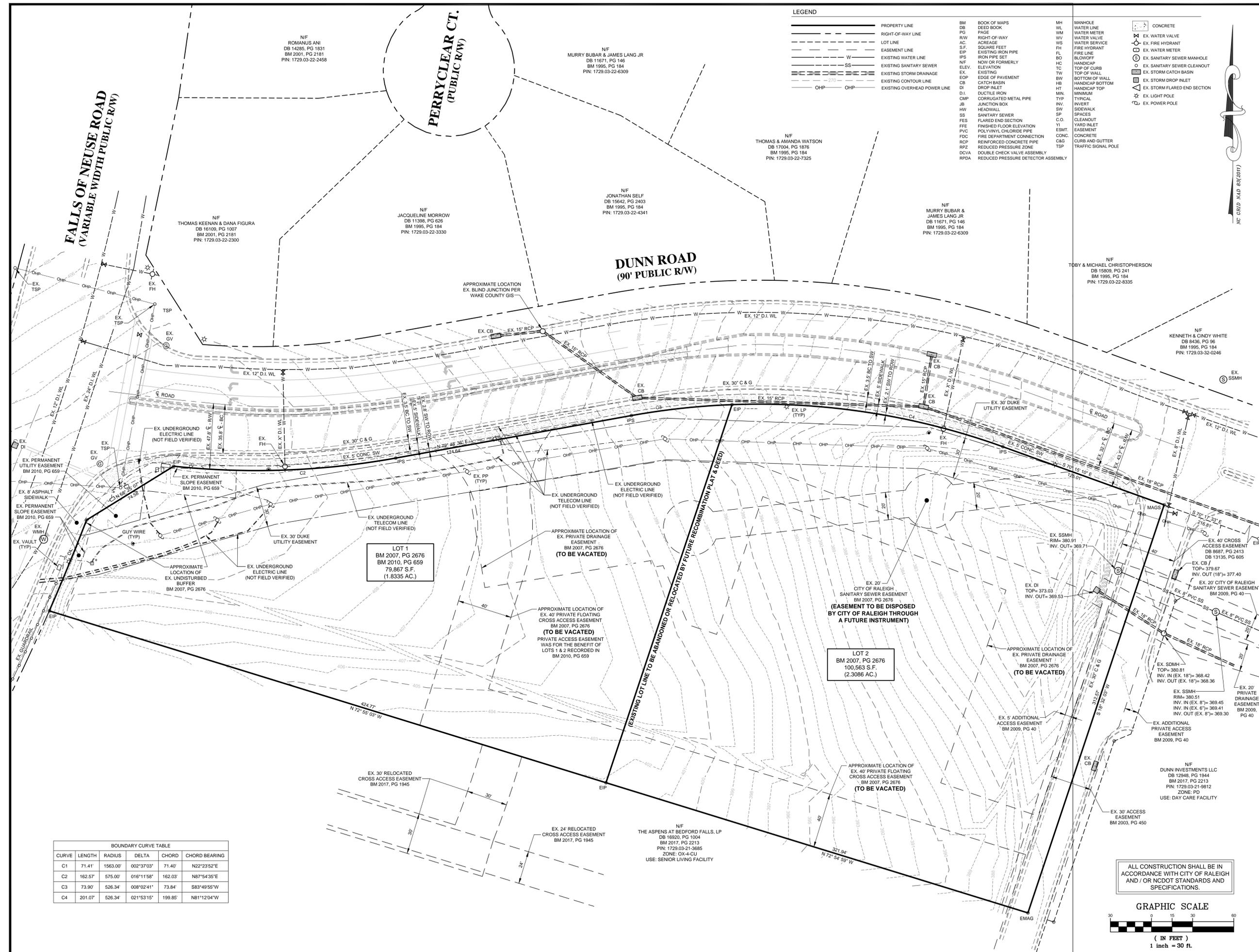
Approvals

**EXISTING CONDITIONS PLAN**

Number	Description	Date
1	PER CITY OF RALEIGH COMMENTS	05/15/18
2	PER CITY OF RALEIGH COMMENTS	06/14/18

Drawing Scale 1" = 30'  
Drawn By ZCS / BF  
Checked By JAE, JR.  
Date Issued 04/03/18

**CE-1**



**LEGEND**

—	PROPERTY LINE	BM	BOOK OF MAPS	MH	MANHOLE
- - -	RIGHT-OF-WAY LINE	DB	DEED BOOK	WL	WATER LINE
- - -	LOT LINE	PG	PAGE	WM	WATER METER
- - -	EASEMENT LINE	AC	ACREAGE	WV	WATER VALVE
- - -	EXISTING WATER LINE	S.F.	SQUARE FEET	WS	WATER SERVICE
- - -	EXISTING SANITARY SEWER	EIP	EXISTING IRON PIPE	FH	FIRE HYDRANT
- - -	EXISTING STORM DRAINAGE	IPS	IRON PIPE SET	BO	BLOWOFF
- - -	EXISTING CONTOUR LINE	NF	NOW OR FORMERLY	HC	HANDCAP
- - -	EXISTING OVERHEAD POWER LINE	ELEV.	ELEVATION	TC	TOP OF CURB
- - -		CB	CATCH BASIN	HW	HEADWALL
		DI	DROP INLET	HT	HANDCAP TOP
		D.I.	DUCTILE IRON	MIN.	MINIMUM
		CMP	CORRUGATED METAL PIPE	TYP	TYPICAL
		JB	JUNCTION BOX	INV.	INVERT
		HW	HEADWALL	SW	SIDEWALK
		SS	SANITARY SEWER	SP	SPACES
		FES	FLARED END SECTION	C.O.	CLEANOUT
		FEE	FINISHED FLOOR ELEVATION	YI	YARD INLET
		PVC	POLYVINYL CHLORIDE PIPE	ESMT.	EASEMENT
		FDC	FIRE DEPARTMENT CONNECTION	CONC.	CONCRETE
		RCP	REINFORCED CONCRETE PIPE	C&G	CURB AND GUTTER
		RPZ	REDUCED PRESSURE ZONE	TSP	TRAFFIC SIGNAL POLE
		DCVA	DOUBLE CHECK VALVE ASSEMBLY		
		RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY		

**FALLS OF NEUSE ROAD**  
(VARIABLE WIDTH PUBLIC R/W)

**PERRYCLEAR CT.**  
(PUBLIC R/W)

**DUNN ROAD**  
(90' PUBLIC R/W)

NIF  
ROMANUS ANI  
DB 14285, PG 1831  
BM 2001, PG 2181  
PIN: 1729.03-22-2458

MURRY BUBAR & JAMES LANG JR  
DB 11671, PG 146  
BM 1995, PG 184  
PIN: 1729.03-22-6309

NIF  
THOMAS & AMANDA WATSON  
DB 17004, PG 1876  
BM 1995, PG 184  
PIN: 1729.03-22-7325

NIF  
JONATHAN SELF  
DB 15642, PG 2403  
BM 1995, PG 184  
PIN: 1729.03-22-4341

NIF  
MURRY BUBAR & JAMES LANG JR  
DB 11671, PG 146  
BM 1995, PG 184  
PIN: 1729.03-22-6309

NIF  
THOMAS KEENAN & DANA FIGURA  
DB 6109, PG 1007  
BM 2001, PG 2181  
PIN: 1729.03-22-2300

NIF  
JACQUELINE MORROW  
DB 11398, PG 626  
BM 1995, PG 184  
PIN: 1729.03-22-3330

NIF  
TOBY & MICHAEL CHRISTOPHERSON  
DB 15809, PG 241  
BM 1995, PG 184  
PIN: 1729.03-22-9335

NIF  
KENNETH & CINDY WHITE  
DB 8436, PG 96  
BM 1995, PG 184  
PIN: 1729.03-32-0246

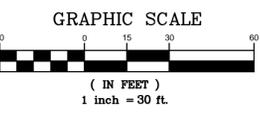
**LOT 1**  
BM 2007, PG 2676  
BM 2010, PG 659  
79,867 S.F.  
(1.8335 AC.)

**LOT 2**  
BM 2007, PG 2676  
100,563 S.F.  
(2.3086 AC.)

**BOUNDARY CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	71.41'	1563.00'	002°37'03"	71.40'	N22°23'52"E
C2	162.57'	575.00'	016°11'58"	162.03'	N87°54'35"E
C3	73.90'	526.34'	008°02'41"	73.84'	S83°49'55"W
C4	201.07'	526.34'	021°53'15"	199.85'	N81°12'04"W

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



X:\cgs\2018\2018 D&N Development LLC (695\_17) DUNN ROAD - 1 PRELIMINARY\02-17 Civil Base 2017.dwg, 6/20/2018, 8:14:45 AM



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Scale

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1500 & 1540 DUNN ROAD  
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700 Exposition Place, Suite # 131  
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Approvals

Drawing Title  
**FALLS OF NEUSE ROAD  
EXISTING CONDITIONS**

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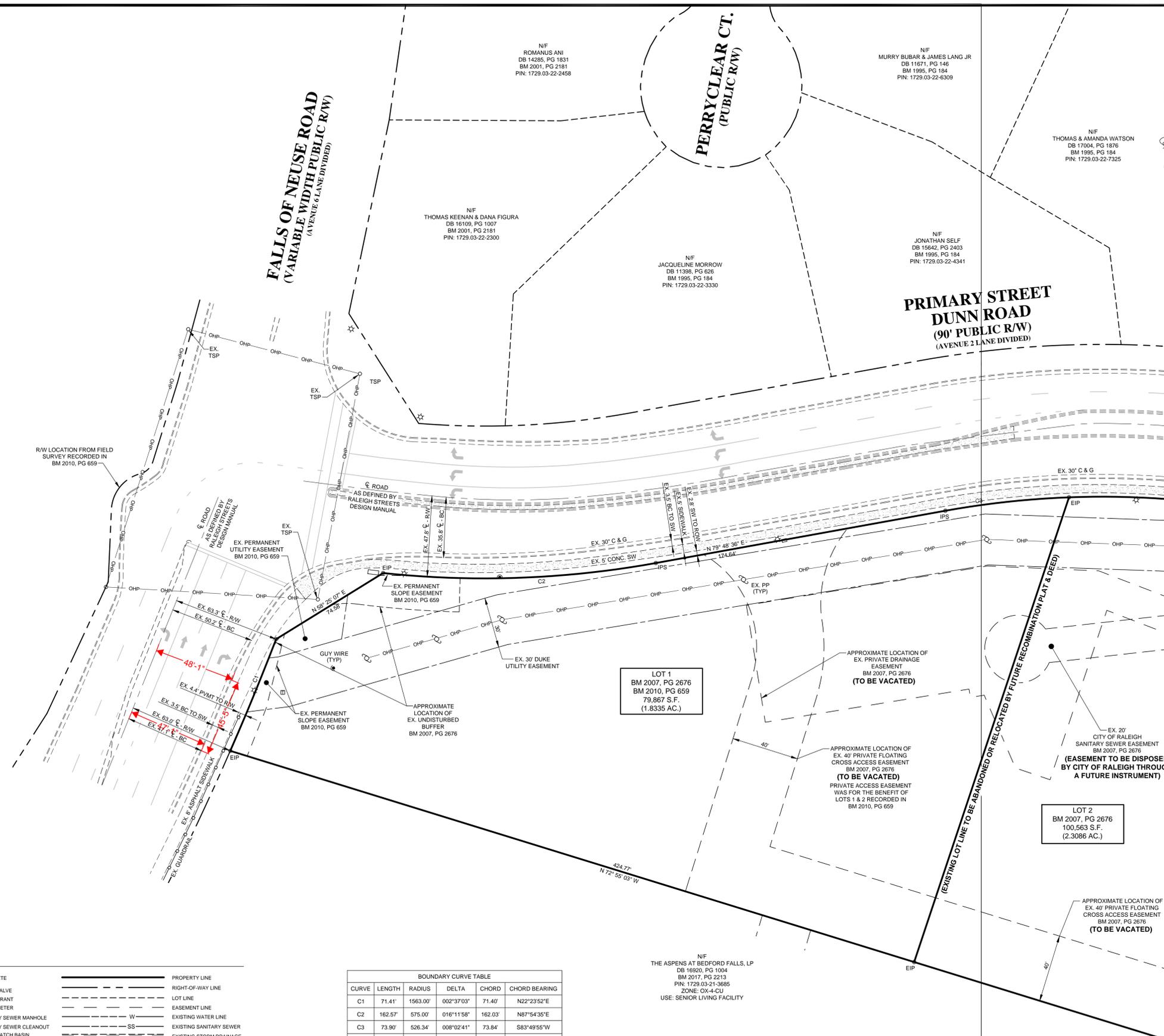
Drawing Scale 1" = 30'

Drawn By BF

Checked By JAE, JR.

Date Issued 04/03/18

**CE-2**

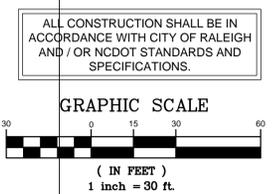


**LEGEND**

BM BOOK OF MAPS	MH MANHOLE	CONCRETE	PROPERTY LINE
DB DEED BOOK	WL WATER LINE	EX. WATER VALVE	RIGHT-OF-WAY LINE
PG PAGE	WM WATER METER	EX. FIRE HYDRANT	LOT LINE
R/W RIGHT-OF-WAY	WV WATER VALVE	EX. WATER METER	EASEMENT LINE
AC ACREAGE	WS WATER SERVICE	EX. SANITARY SEWER MANHOLE	EXISTING WATER LINE
S.F. SQUARE FEET	FL FIRE LINE	EX. SANITARY SEWER CLEANOUT	EXISTING SANITARY SEWER
EIP EXISTING IRON PIPE	BO BLOWOFF	EX. STORM CATCH BASIN	EXISTING STORM DRAINAGE
IPS IRON PIPE SET	HC HANDICAP	EX. STORM DROP INLET	EXISTING CONTOUR LINE
NF NOW OR FORMERLY	TC TOP OF CURB	EX. STORM FLARED END SECTION	OHP OHP
ELEV. ELEVATION	TW TOP OF WALL	EX. LIGHT POLE	
EX. EXISTING	BW BOTTOM OF WALL	EX. POWER POLE	
EOP EDGE OF PAVEMENT	HB HANDICAP BOTTOM		
CB CATCH BASIN	HT HANDICAP TOP		
DI DROP INLET	MN MINIMUM		
D.I. DUCTILE IRON	TYP TYPICAL		
CMP CORRUGATED METAL PIPE	INV. INVERT		
JB JUNCTION BOX	SW SIDEWALK		
HW HEADWALL	SP SPACES		
SS SANITARY SEWER	C.O. CLEANOUT		
FES FLARED END SECTION	YI YARD INLET		
FPE FINISHED FLOOR ELEVATION	ESMT. EASEMENT		
PVC POLYVINYL CHLORIDE PIPE	CONC. CONCRETE		
FDC FIRE DEPARTMENT CONNECTION	C&G CURB AND GUTTER		
RCF REINFORCED CONCRETE PIPE	TSP TRAFFIC SIGNAL POLE		
RPZ REDUCED PRESSURE ZONE			
DCVA DOUBLE CHECK VALVE ASSEMBLY			
RPDA REDUCED PRESSURE DETECTOR ASSEMBLY			

**BOUNDARY CURVE TABLE**

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X:\projects\2018\2018-17 DUNN ROAD\1- PRELIMINARY\02-17 Civil Base 2017.dwg, 6/20/2018, 8:16:06 AM

LEGEND					
BM	BOOK OF MAPS	MH	MANHOLE	CONCRETE	PROPERTY LINE
DB	DEED BOOK	WL	WATER LINE	EX. WATER VALVE	RIGHT-OF-WAY LINE
PG	PAGE	WM	WATER METER	EX. FIRE HYDRANT	LOT LINE
R/W	RIGHT-OF-WAY	WS	WATER SERVICE	EX. WATER METER	EASEMENT LINE
AC	ACREAGE	FL	FIRE LINE	EX. SANITARY SEWER MANHOLE	EXISTING WATER LINE
S.F.	SQUARE FEET	BO	BLOWOFF	EX. STORM CATCH BASIN	EXISTING SANITARY SEWER
EIP	EXISTING IRON PIPE	HC	HANDICAP	EX. STORM FLARED END SECTION	PROP WATER LINE
IPS	IRON PIPE SET	TC	TOP OF CURB	EX. STORM DRAINAGE	PROP SANITARY SEWER
NP	NOW OR FORMERLY	TV	TOP OF WALL	EX. STORM DRAINAGE	EXISTING CONTOUR LINE
ELEV.	ELEVATION	BT	BOTTOM OF WALL	EX. STORM FLARED END SECTION	PROP CONTOUR LINE
EX.	EXISTING	HB	HANDICAP BOTTOM	EX. STORM FLARED END SECTION	EXISTING OVERHEAD POWER LINE
EOP	EDGE OF PAVEMENT	HT	HANDICAP TOP	EX. STORM FLARED END SECTION	PROP BUILDING CANOPY
CB	CATCH BASIN	MIN	MINIMUM	EX. STORM FLARED END SECTION	CENTERLINE
DI	DROP INLET	TYP	TYPICAL	EX. STORM FLARED END SECTION	PROP GUARDRAIL
D.I.	DUCTILE IRON	SP	SPIGATES	EX. STORM FLARED END SECTION	PROP TREE CONSERVATION AREA
CMP	CORRUGATED METAL PIPE	SW	SIDEWALK	EX. STORM FLARED END SECTION	PROP AMENITY AREA
JB	JUNCTION BOX	SP	SPIGATES	EX. STORM FLARED END SECTION	
HW	HEADWALL	SS	SEWER	EX. STORM FLARED END SECTION	
SANITARY SEWER		SS	SEWER	EX. STORM FLARED END SECTION	
FES	FLARED END SECTION	SS	SEWER	EX. STORM FLARED END SECTION	
FFE	FINISHED FLOOR ELEVATION	SS	SEWER	EX. STORM FLARED END SECTION	
PVC	POLYVINYL CHLORIDE PIPE	SS	SEWER	EX. STORM FLARED END SECTION	
FDC	FIRE DEPARTMENT CONNECTION	SS	SEWER	EX. STORM FLARED END SECTION	
RCF	REINFORCED CONCRETE PIPE	SS	SEWER	EX. STORM FLARED END SECTION	
RPZ	REDUCED PRESSURE ZONE	SS	SEWER	EX. STORM FLARED END SECTION	
DCVA	DOUBLE CHECK VALVE ASSEMBLY	SS	SEWER	EX. STORM FLARED END SECTION	
RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY	SS	SEWER	EX. STORM FLARED END SECTION	

PERRY CLEAR CT.  
(PUBLIC R/W)

NF  
MURRY BUBAR & JAMES LANG JR  
DB 11671, PG 146  
BM 1995, PG 184  
PIN: 1729.03-22-6309

NF  
JONATHAN SELF  
DB 15642, PG 2403  
BM 1995, PG 184  
PIN: 1729.03-22-4341

PRIMARY STREET  
DUNN ROAD  
(90' PUBLIC R/W)  
(AVENUE 2 LANE DIVIDED)

- TRANSPORTATION NOTES:
- RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50 FEET OF ALL RESIDENTIAL OR RESIDENTIAL COLLECTOR INTERSECTIONS. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 100 FEET OF ALL OTHER STREET INTERSECTIONS.
  - HANDICAPPED RAMPS TO BE CONSTRUCTED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH TRANSPORTATION DETAILS 20.01-20.04.
  - SIGHT TRIANGLES TO BE LOCATED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS. AREAS WHERE SIGHT TRIANGLE ARE LOCATED OUTSIDE THE RIGHT-OF-WAY SHALL BE RECORDED AS SIGHT EASEMENTS. FINAL LAYOUT OF SIGHT TRIANGLES TO BE APPROVED WITH CONSTRUCTION DRAWINGS.
  - NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, PARKED VEHICLES, SIGN OR OTHER OBJECTS BETWEEN THE HEIGHTS OF 2 FEET AND 8 FEET ABOVE THE CURB LINE ELEVATION, OR NEAREST TRAVELED WAY IF NO CURBING EXISTS. SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
  - ALL STREET SECTIONS SHALL MEET OR EXCEED SPECIFICATIONS DETAILED IN CITY OF RALEIGH STREET DESIGN MANUAL AND STREET DESIGN STANDARD DETAILS.
  - ALL STREETS AND RIGHT-OF-WAYS WITHIN AND ADJACENT TO THE PROJECT ARE CONSISTENT WITH THE RALEIGH COMPREHENSIVE PLAN WITH REGARD TO PROPOSED ROADWAY LOCATIONS AND RIGHT-OF-WAY REQUIREMENTS.
  - TURNOUT RADI TO BE MINIMUM OF 28' AT ALL PUBLIC STREET INTERSECTIONS.
  - DRIVEWAYS SHALL NOT BE LOCATED WITHIN THE 20' MINIMUM CLEARANCE DISTANCE AS MEASURED FROM THE INTERSECTION RADIUS AT THE POINT OF TANGENCY TO THE POINT OF TANGENCY OF THE DRIVEWAY. DRIVEWAYS MAY NOT BE LOCATED WITHIN 3.5' OF ADJACENT PROPERTY LINES.

SIGHT TRIANGLE NOTE:  
WITHIN THE AREA OF THE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 2' AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.

FALLS OF NEUSE ROAD  
(VARIABLE WIDTH PUBLIC R/W)  
(AVENUE 2 LANE DIVIDED)

NF  
THOMAS KEENAN & DANA FIGURA  
DB 16109, PG 1007  
BM 2001, PG 2181  
PIN: 1729.03-22-2300

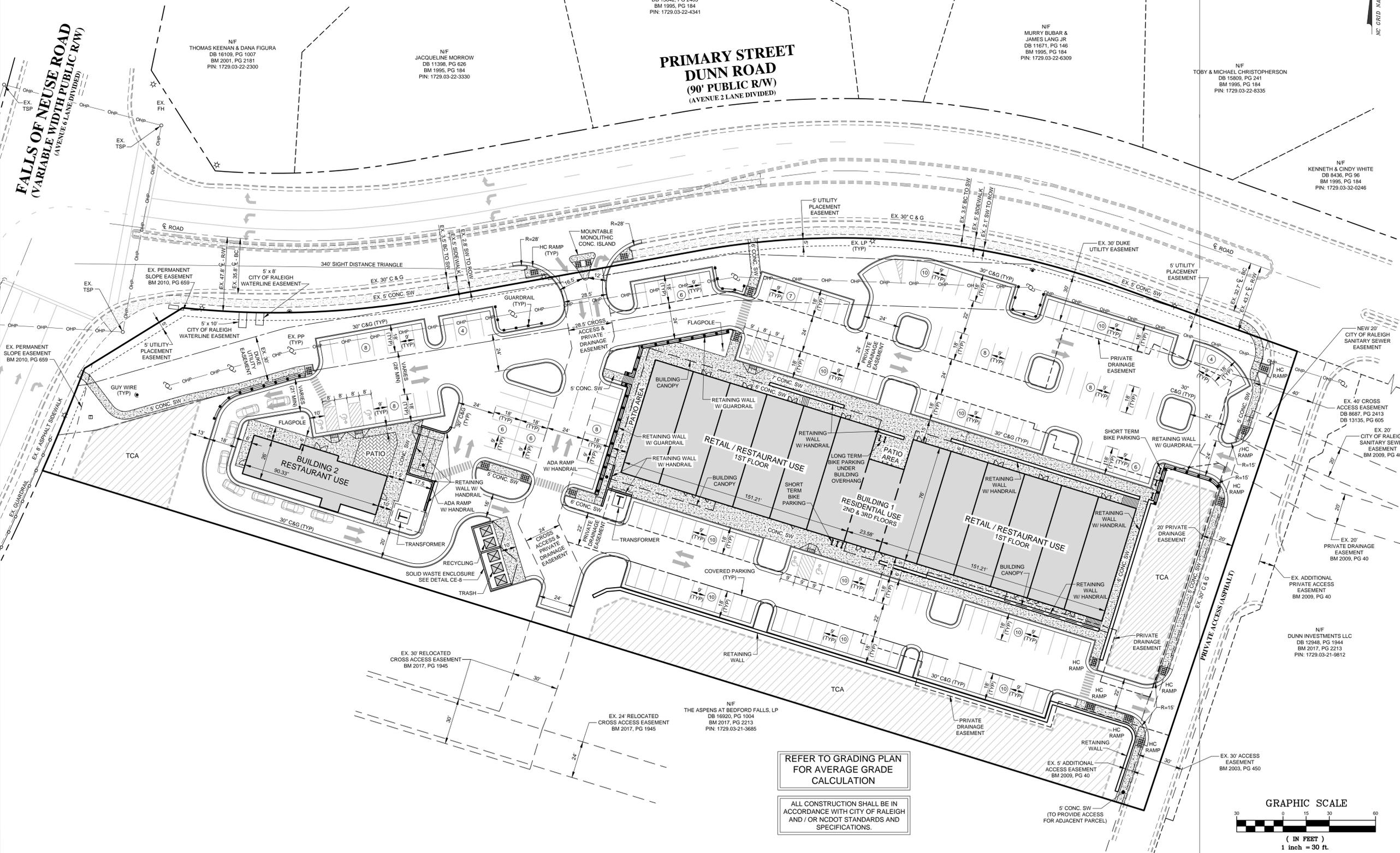
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DB 17004, PG 1876  
BM 1995, PG 184  
PIN: 1729.03-22-7325

NF  
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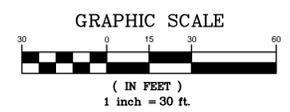
NF  
TOBY & MICHAEL CHRISTOPHERSON  
DB 15809, PG 2411  
BM 1995, PG 184  
PIN: 1729.03-22-8335

NF  
KENNETH & CINDY WHITE  
DB 8436, PG 96  
BM 1995, PG 184  
PIN: 1729.03-22-0246



REFER TO GRADING PLAN  
FOR AVERAGE GRADE  
CALCULATION

ALL CONSTRUCTION SHALL BE IN  
ACCORDANCE WITH CITY OF RALEIGH  
AND / OR NCDOT STANDARDS AND  
SPECIFICATIONS.



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Project

**BEDFORD VILLAGE**  
1500 & 1540 DUNN ROAD  
RALEIGH, NC 27614

Client

**BEDFORD MARKET, LLC**  
700 Exposition Place, Suite # 131  
Raleigh, NC 27615

Drawing Title

**SITE PLAN**

Revisions		
Number	Description	Date
1	PER CITY OF RALEIGH COMMENTS	05/15/18
2	PER CITY OF RALEIGH COMMENTS	06/14/18

Drawing Scale 1" = 30'

Drawn By BF

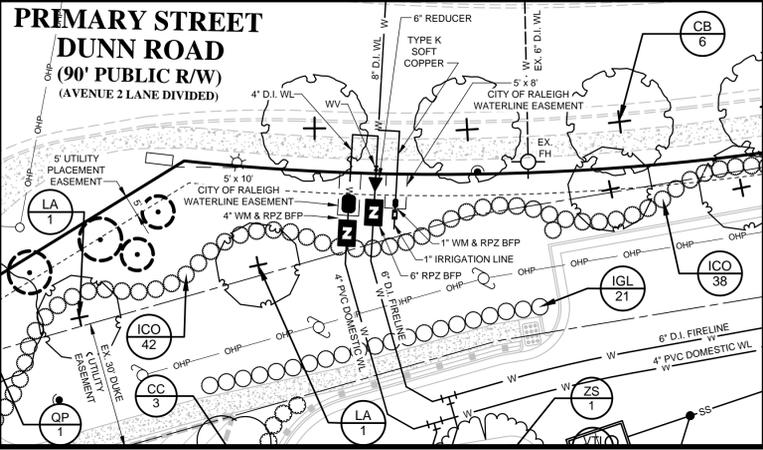
Checked By JAE, JR.

Date Issued 04/03/18

CE-3

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**PRIMARY STREET  
DUNN ROAD  
(90' PUBLIC R/W)  
(AVENUE 2 LANE DIVIDED)**

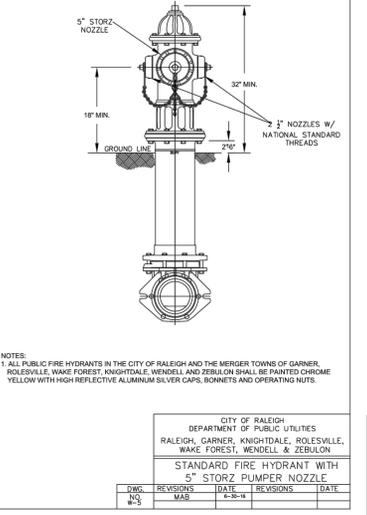
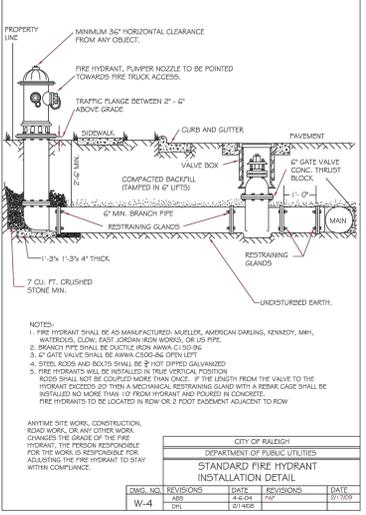
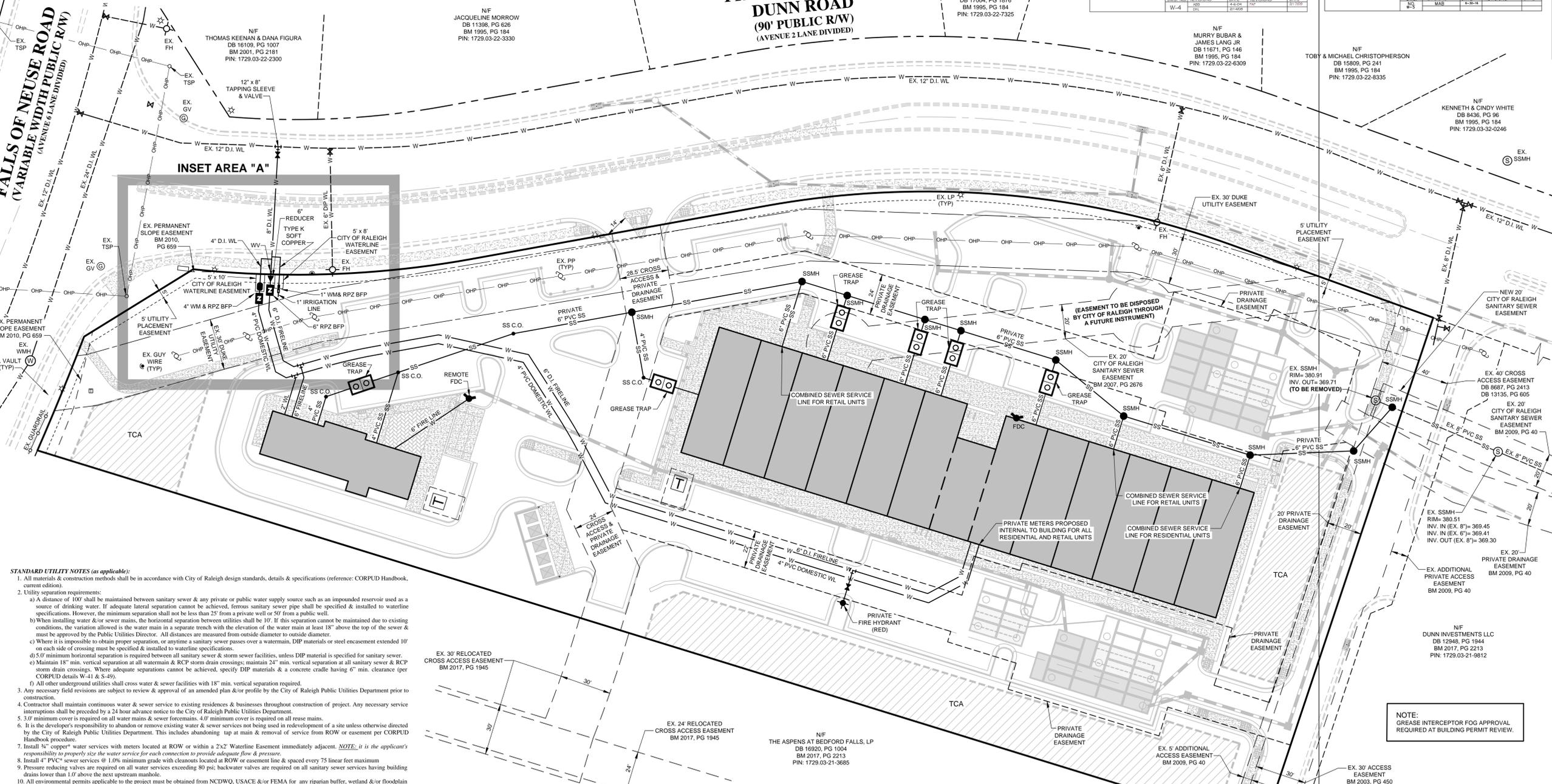


**INSET AREA "A"**  
SCALE: 1" = 20'

**LEGEND**

BM	BOOK OF MAPS	MH	MANHOLE	CONCRETE	PROPERTY LINE
DB	DEED BOOK	WL	WATER LINE	EX WATER VALVE	RIGHT-OF-WAY LINE
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R/W	RIGHT-OF-WAY	WS	WATER SERVICE	EX WATER METER	EASEMENT LINE
AC	ACREAGE	WH	WATER HYDRANT	EX SANITARY SEWER MANHOLE	EXISTING WATER LINE
S.F.	SQUARE FEET	FL	FIRE LINE	EX SANITARY SEWER CLEANOUT	EXISTING STORM DRAINAGE
EIP	EXISTING IRON PIPE	BL	BLOWOFF	EX STORM CATCH BASIN	PROP WATER LINE
IP	IRON PIPE	HC	HANDICAP	EX STORM FLARED END SECTION	PROP SANITARY SEWER
NF	NOW OR FORMERLY	TC	TOP OF CURB	EX STORM DROP INLET	PROP STORM DRAINAGE
ELEV	ELEVATION	HT	HANDICAP TOP	EX STORM FLARED END SECTION	EXISTING CONTOUR LINE
EX	EXISTING	HW	HEADWALL	EX STORM FLARED END SECTION	PROP CONTOUR LINE
EOP	EDGE OF PAVEMENT	HW	HEADWALL	EX STORM FLARED END SECTION	EXISTING OVERHEAD POWER LINE
CB	CATCH BASIN	HW	HEADWALL	EX STORM FLARED END SECTION	PROP BUILDING CANOPY
DI	DUCTILE IRON	HW	HEADWALL	EX STORM FLARED END SECTION	PROP GUARDRAIL
CM	CORRUGATED METAL PIPE	HW	HEADWALL	EX STORM FLARED END SECTION	
JB	JUNCTION BOX	HW	HEADWALL	EX STORM FLARED END SECTION	
HW	HEADWALL	HW	HEADWALL	EX STORM FLARED END SECTION	
SS	SANITARY SEWER	HW	HEADWALL	EX STORM FLARED END SECTION	
FES	FLARED END SECTION	HW	HEADWALL	EX STORM FLARED END SECTION	
FFE	FINISHED FLOOR ELEVATION	HW	HEADWALL	EX STORM FLARED END SECTION	
PVC	POLYVINYL CHLORIDE PIPE	HW	HEADWALL	EX STORM FLARED END SECTION	
FDC	FIRE DEPARTMENT CONNECTION	HW	HEADWALL	EX STORM FLARED END SECTION	
RC	REINFORCED CONCRETE	HW	HEADWALL	EX STORM FLARED END SECTION	
RPZ	REDUCED PRESSURE ZONE	HW	HEADWALL	EX STORM FLARED END SECTION	
RCPA	REDUCED PRESSURE DETECTOR ASSEMBLY	HW	HEADWALL	EX STORM FLARED END SECTION	

**PRIMARY STREET  
DUNN ROAD  
(90' PUBLIC R/W)  
(AVENUE 2 LANE DIVIDED)**



CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
STANDARD FIRE HYDRANT  
INSTALLATION DETAIL

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-4	ADD	4-2-04	TRF	3/1/09
	REV	8-16-08		

CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
RALEIGH, GARNER, KNIGHTDALE, ROLESVILLE,  
WAKE FOREST, WENDELL & ZEBULON  
STANDARD FIRE HYDRANT WITH  
5" STORAGE PUMPER NOZZLE

DWG.	REVISIONS	DATE	REVISIONS	DATE
NCS	MAR	6-18-11		

**STANDARD UTILITY NOTES (as applicable):**

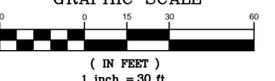
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
- Utility separation requirements:
  - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
  - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
  - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications.
  - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
  - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
- All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
- Install "N" copper water services with meters located at ROW or within a 2x2' Waterline Easement immediately adjacent. *NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.*
- Install 4" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDWR, USACE &/or FEMA or any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NCDOT Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Stephen Calverley at (919) 996-2334 or stephencalverley@raleighnc.gov for more information.
- Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina.

These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information.

**GENERAL NOTES**

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- GREASE INTERCEPTORS TO BE MINIMUM 1,000 GALLON CAPACITY. SIZING TO BE PROVIDED AT UPFIT.

**GRAPHIC SCALE**



**JOHN A. EDWARDS & COMPANY**  
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and Land Surveyors

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**BEDFORD VILLAGE**  
1500 & 1540 DUNN ROAD  
RALEIGH, NC 27614

Client:  
**BEDFORD MARKET, LLC**  
700 Exposition Place, Suite # 131  
Raleigh, NC 27615

Drawing Title:  
**UTILITY PLAN**

Number	Description	Date
1	PER CITY OF RALEIGH COMMENTS	05/15/18
2	PER CITY OF RALEIGH COMMENTS	06/14/18

Drawing Scale: 1" = 30'

Drawn By: BF  
Checked By: JAE, JR.  
Date Issued: 04/03/18

**CE-4**

**EXTERIOR MATERIALS**

-  HORIZONTAL CEMENTITIOUS SIDING
-  CEMENTITIOUS BOARD & BATTEN SIDING
-  BRICK VENEER
-  8"x16" BRICK VENEER OR CMU
-  BRICK SOLDIER

NOTE:  
 FIRST FLOOR F.F.E. (RETAIL) TO SECOND FLOOR F.F.E. (RESIDENTIAL):  $\geq 13'-9"$   
 TRANSPARENCY:  
 GROUND STORY:  
 TOTAL FACADE: 3901.51 S.F.  
 TRANSPARENT FACADE: 2393.28 S.F.  
 61.34% TRANSPARENCY PROVIDED  
 MAX. BLANK WALL AREA PROVIDED: 1'-0"

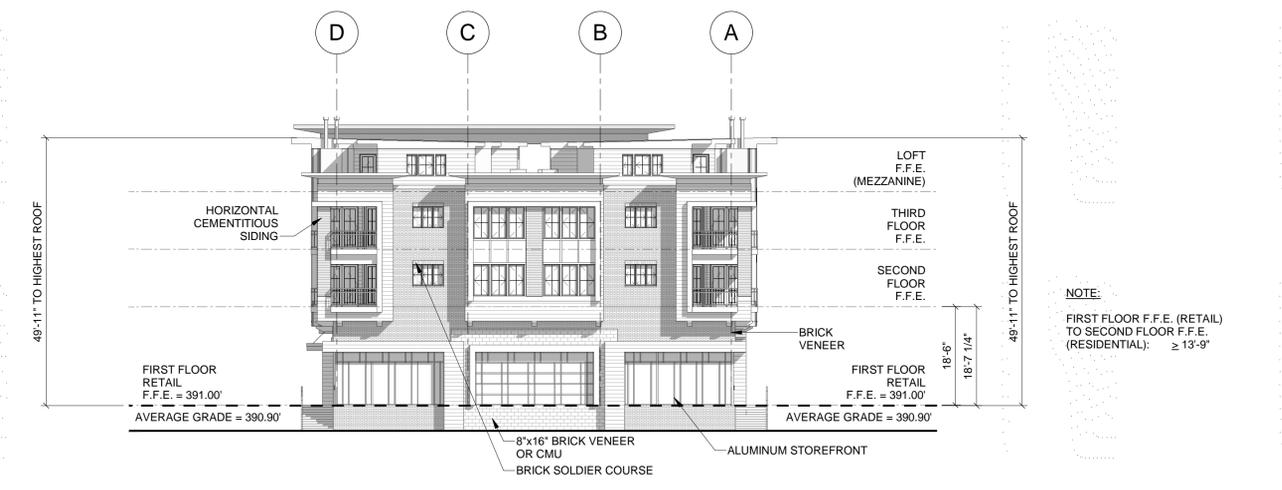


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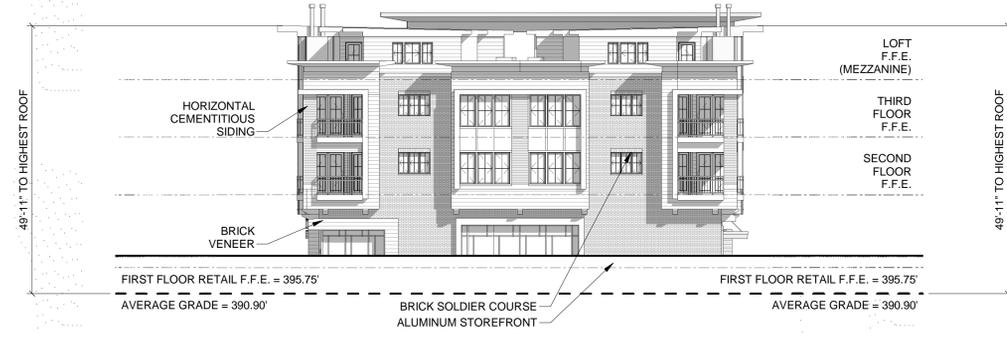
PRELIMINARY  
 NOT FOR CONSTRUCTION



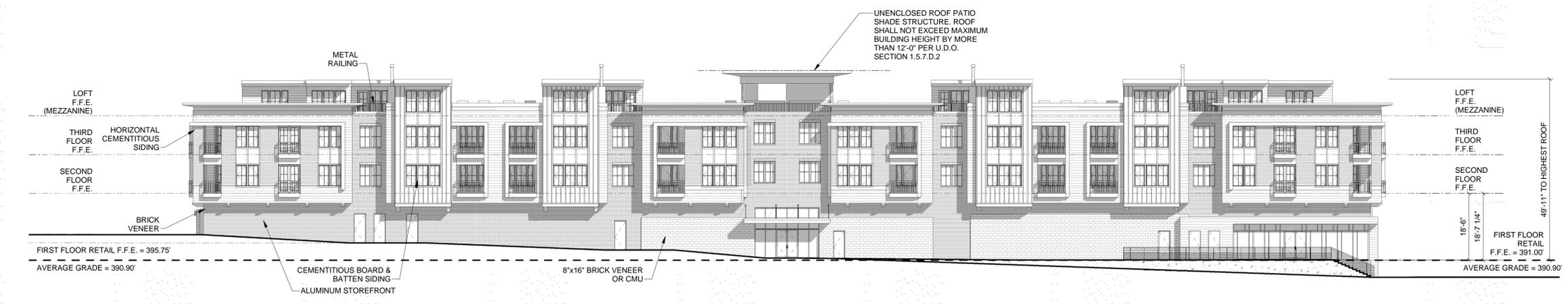
**1 NORTH ELEVATION**  
 1/16" = 1'-0"



**2 EAST ELEVATION**  
 1/16" = 1'-0"



**3 WEST ELEVATION**  
 1/16" = 1'-0"



**4 SOUTH ELEVATION**  
 1/16" = 1'-0"

Bedford Village  
 D&N Development  
 Raleigh, NC

PROGRESS DATE:	ISSUE DATE:	REVISIONS	DESCRIPTION
NUMBER	DATE	INITIALS	
06/13/2018			

PROJECT NO: 003718  
 DRAWN BY: KB  
 CHECKED BY: BN  
 SHEET TITLE: Building 1 - Exterior Elevations  
 SHEET NUMBER:

**A0.04**

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 2. Contractor is to notify architect immediately of conditions or items varying from depicted information. 4. Planworx Architecture, P.A. will not assume any liability for expenses associated with errors and omissions on these drawings unless offset by verified construction savings as a result of Planworx Architecture, P.A. design.  
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