

# GROVE BARTON RETAIL ADDITION

## SR-32-2018 / S-15-18



Zoning: **CX-3-PK**

CAC: **Northwest**

Drainage Basin: **Turkey Creek**

Acreage: **2.51**

Sq. Ft./ lots: **4,416/ 2**

Planner: **Ryan Boivin**

Phone: **(919) 996-2681**

Applicant: **FNC Grove Barton  
LLC**

Phone: **(646)807-8060**





# Administrative Approval Action

SR-32-18 & S-15-18 Grove Barton Retail Addition  
Transaction # 550847, AA # 3834 (Subdivision) and # 3836 (ASR)

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

- LOCATION:** This site is located on the north side of Grove Barton Road and west side of Hilburn Drive. The site is addressed at 4800 Grove Barton Rd, which is inside City limits.
- REQUEST:** Subdivision of a 2.51-acre tract zoned CX-3-PK into two lots. Proposed Lot 1 will be 1.47 acres and Lot 2 will be 1.00 acre in size. Lot 2 will be developed by constructing a 4,801 SF general building for Retail Sales use.

**DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** Variance (A-40-17) approved as requested for relief from aspects of the street frontage buffer yard required by the Parkway frontage (UDO 3.4.3).

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 7/12/2018 by *Commercial Site Design, PLLC*.

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

- CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME** – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.
- CONCURRENT SITE REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Concurrent Site Review plans:***

### General

1. The Existing Conditions Sheet (C-1 in ASR plans) will not show proposed property lines in Concurrent Site Plans.
2. Sheet C-2, as shown in ASR plans, will be labelled “Proposed Subdivision & Site Plan” in Concurrent Site Plans.

### Engineering

3. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

### Stormwater



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- 4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
- 5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

## Urban Forestry

- 6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
- 7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

**LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input type="checkbox"/>	City Code Covenant	<input type="checkbox"/>	Slope Easement
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input checked="" type="checkbox"/>	Utility Placement Easement	<input checked="" type="checkbox"/>	Cross Access Easement
<input type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other:

**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

**The following items must be approved prior to recording the plat:**

## Engineering

- 8. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
- 9. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
- 10. A fee-in-lieu for 1' of sidewalk for 910' is paid to the City of Raleigh (UDO 8.1.10).



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11. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of this document is not provided, further recordings and building permit issuance will be withheld.
12. A cross access and shared driveway easement between the two proposed lots in this subdivision shall be recorded at the Wake County Register of Deeds within one day of recordation of the subdivision plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of this document is not provided, further recordings and building permit issuance will be withheld.

## Stormwater

13. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
14. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
15. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
16. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

## Urban Forestry

17. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.13 acres of tree conservation area.
18. A fee-in-lieu for street trees in the right-of-way along Grove Barton Rd. (11 trees) and Hilburn Drive (7 trees) will be collected prior to Subdivision Plat Approval.

**BUILDING PERMITS** – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.



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***The following items must be approved prior to the issuance of building permits:***

## **General**

19. Comply with all conditions of A-40-17.
20. Provide fire flow analysis.
21. All conditions of subdivision approval (indicated as conditions to be met prior to plat recordation above) shall be met and the subdivision recorded prior to building permit issuance.

## **Stormwater**

22. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
23. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
24. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
25. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

## **Urban Forestry**

26. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

***The following are required prior to issuance of building occupancy permit:***

27. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
28. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
29. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
30. All street lights and street signs required as part of the development approval are installed.
31. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.



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32. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
33. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff.

## EXPIRATION DATES (ADMINISTRATIVE SITE REVIEW CASE SR-32-18):

The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

### 3-Year Expiration Date: 7-25-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

### 4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

## EXPIRATION DATES (SUBDIVISION CASE S-15-18):

If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

### 3-Year Sunset Date: 7-25-2021

Record entire subdivision.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 7/25/2018

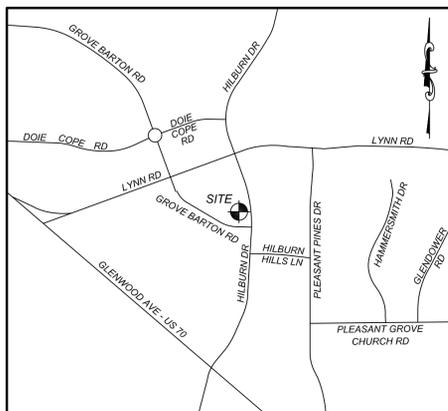
Staff Coordinator: Ryan Boivin

# GROVE BARTON RETAIL ADDITION

**SITE ADDRESS: 4800 GROVE BARTON ROAD  
RALEIGH, WAKE COUNTY, NORTH CAROLINA**

**CSD PROJECT NUMBER: ORA-1601**

**PRELIMINARY SUBDIVISION (S-15-18) & ADMINISTRATIVE SITE PLAN (SR-32-18)**



VICINITY MAP  
1" = 1000'

### CONTACTS

<b>ZONING</b> CITY OF RALEIGH DEVELOPMENT SERVICES 919-996-2664	<b>SANITARY SEWER</b> CITY OF RALEIGH PUBLIC UTILITIES 919-996-2176
<b>SIGNAGE</b> CITY OF RALEIGH DEVELOPMENT SERVICES 919-996-2472	<b>GAS</b> PSNC 877-776-2427
<b>BUILDING &amp; INSPECTIONS</b> CITY OF RALEIGH DEVELOPMENT SERVICES 919-996-2630	<b>ELECTRIC</b> DUKE POWER 800-653-5307
<b>STREET &amp; HIGHWAY DATA</b> CITY OF RALEIGH TRANSPORTATION 919-996-2408	<b>TELEPHONE</b> AT&T 877-438-0041
<b>NCDOT</b> 919-733-3213	<b>FIRE</b> CITY OF RALEIGH DEVELOPMENT SERVICES 919-996-2197
<b>WATER</b> CITY OF RALEIGH PUBLIC UTILITIES 919-996-2176	<b>CABLE</b> SPECTRUM
<b>STORM SEWER</b> CITY OF RALEIGH STORM WATER SERVICES 919-996-3520	

SITE INFORMATION	
OWNER / DEVELOPER:	FNC GROVE BARTON, LLC 5323 SPRING VALLEY ROAD, SUITE 250 DALLAS, TEXAS 75254
DESIGNER:	COMMERCIAL SITE DESIGN, PLLC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 TEL: (919) 848-6121; FAX: (919) 848-3741
ZONING:	CX-3-PK
EXISTING USE:	RETAIL / RESTAURANT / PERSONAL SERVICES
TREE CONSERVATION AREA:	REQUIRED: 0.156 ACRES OR 10% PROVIDED: 0.25 ACRES OR 10%
LOT 1	
SITE ADDRESS:	4800 GROVE BARTON ROAD
PARCEL IDENTIFICATION NUMBER:	0787420160
PARKING REQUIREMENTS:	EXISTING "RESTAURANT" USE = 6,143 SF = 6.143 SF / 150 = 41 SPACES EXISTING RETAIL USE = 2,903 SF = 2,903 SF / 300 = 10 SPACES 61 SPACES REQUIRED AND 17 MAXIMUM ALLOWED
PARKING PROVIDED:	63 REGULAR SPACES 3 HANDICAP SPACE 66 TOTAL SPACES
TOTAL SITE AREA:	64,018 SF OR 1.47 ACRES
DISTURBED AREA:	0 SF
EXISTING IMPERVIOUS AREA:	45,803 SF OR 1.05 ACRES
PROPOSED IMPERVIOUS AREA:	0 SF
BUILDING AREA:	9,046 SF
WATER:	CITY OF RALEIGH PUBLIC UTILITIES
SEWER:	CITY OF RALEIGH PUBLIC UTILITIES
AMENITY AREA:	NOT REQUIRED AS THIS LOT IS NOT PART OF ASR APPLICATION
LOT 2	
SITE ADDRESS:	TO BE DETERMINED
PARCEL IDENTIFICATION NUMBER:	PORTION OF 0787420160
PARKING REQUIREMENTS:	PROPOSED RETAIL USE = 4,801 SF / 300 = 16 16 SPACES REQUIRED AND 24 MAXIMUM ALLOWED
PARKING PROVIDED:	30 REGULAR SPACES 2 HANDICAP SPACE 32 TOTAL SPACES 8 SPACES OVER MAXIMUM ALLOWED, HOWEVER PROJECT IS COMPLIANT WITH UDO SEC 7.1.2.D.1
BICYCLE PARKING:	SHORT TERM REQUIRED: 1 / 5,000 SF (MINIMUM 4 SPACES) SHORT TERM PROVIDED: 4 SPACES
TOTAL SITE AREA:	43,561 SF OR 1.00 ACRES
DISTURBED AREA:	22,276 SF OR 0.51 ACRES
EXISTING IMPERVIOUS TO REMAIN:	19,228 SF OR 0.46 ACRES
EXISTING IMPERVIOUS TO BE REMOVED:	570 SF OR 0.01 ACRES
NEW IMPERVIOUS:	8,314 SF OR 0.19 ACRES
TOTAL EXISTING AND PROPOSED IMPERVIOUS:	28,242 SF OR 0.65 ACRES (8,314 SF INCREASE)
BUILDING AREA:	4,801 SF
WATER:	CITY OF RALEIGH PUBLIC UTILITIES
SEWER:	CITY OF RALEIGH PUBLIC UTILITIES
AMENITY AREA:	10% OF LOT AREA = 43,561 SF X 0.10 = 4,356 SF REQUIRED 4,684 SF PROVIDED

### Administrative Site Review Application (for UDO Districts only)



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2191 | (fax) 919-996-1831  
Litchford Satellite Office | 1030 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot
<input type="checkbox"/> Accessory <input type="checkbox"/> Non-Residential Office <input type="checkbox"/> Duplex <input type="checkbox"/> Other (describe):	<input type="checkbox"/> Retail <input type="checkbox"/> Office <input type="checkbox"/> Industrial/Storage <input type="checkbox"/> Bank <input type="checkbox"/> Restaurant <input type="checkbox"/> Contraception

Development Name: **Grove Barton Retail Addition**

Zoning District: **CX-3-PK** Overlay District (if applicable): \_\_\_\_\_ Inside City Limits?  Yes  No

Proposed Use: **Retail**

Property Address(es): **4800 Grove Barton Rd** Major Street Location: **Grove Barton & Lynn Rd**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N.	P.I.N.	P.I.N.	P.I.N.
0787420160			

What is your project type?  Commercial Site Design, PLLC

I hereby designate **Commercial Site Design, PLLC** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

Client/Developer/Owner: **FNC Grove Barton, LLC** Name (S): **Matt Samuel**  
Address: **5323 Spring Valley Rd, Ste 250, Dallas, TX 75254**  
Phone: **646-807-8060** Email: **mattsamuel@niagaraholdings.com** Fax: \_\_\_\_\_

Consultant (Contact Person for Plans): **Commercial Site Design** Name (S): **Brian Soltz**  
Address: **8312 Creedmoor Rd**  
Phone: **919-848-6121** Email: **soltz@csitedesign.com** Fax: \_\_\_\_\_

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s): <b>CX-3-PK</b>	Proposed building use(s): <b>Retail</b>
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross: <b>0 SF</b>
Overlay District:	Proposed Building(s) sq. ft. gross: <b>4,801</b>
Total Site Area: <b>2.51 ACRES</b>	Total sq. ft. gross (existing & proposed): <b>4,801</b>
Off-street parking: Required <b>16</b> Provided: <b>32</b>	Proposed height of building(s): <b>20'</b>
COA (Certificate of Appropriateness) case #:	# of stories: <b>One</b>
BOA (Board of Adjustment) case # <b>A-40-17</b>	Ceiling height of 1 <sup>st</sup> floor: <b>14'</b>
CUO (Conditional Use District) case # <b>Z</b>	

FOR RESIDENTIAL DEVELOPMENTS

1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care or Life Care Dwelling Units	6. Infill Development 2,2,7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (3-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

I hereby designate **Commercial Site Design, PLLC** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/We have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: **Matt Samuel** Date: **2-2-17**  
Printed Name: **Matt Samuel** MEMBER / MANAGER

- #### RIGHT-OF-WAY OBSTRUCTION NOTES:
- LANE AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY LANE OR SIDEWALK OBSTRUCTION, THE CONTRACTOR OR ENGINEER SHALL SUBMIT A TRAFFIC CONTROL AND / OR PEDESTRIAN PLAN ALONG WITH A RIGHT-OF-WAY SERVICES APPLICATION TO REQUEST THE OBSTRUCTION PRIOR TO THE START OF WORK. rightofwayservices@raleighnc.gov FOR APPROVAL
  - THE CITY OF RALEIGH AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
  - ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT STANDARD SPECIFICATION FOR ROADWAY STRUCTURES, NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
  - ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND / OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
  - PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE- CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
  - ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

#### REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	05-15-18	CITY COMMENTS	JWR
2	06-21-18	CITY COMMENTS #2	JWR
3	07-12-18	AMENITY AREA REVISION	RCN

### Preliminary Subdivision Plan Application



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2191 | (fax) 919-996-1831  
Litchford Satellite Office | 1030 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate review type and include the Plan Checklist document.

Office Use Only: Transaction # \_\_\_\_\_ Project Coordinator \_\_\_\_\_ Team leader \_\_\_\_\_

PRELIMINARY APPROVALS

Subdivision  Conventional Subdivision  Compact Development  Conservative Subdivision

\*May require City Council approval if in a Metro Park Overlay or Historic Overlay District

If your project has been through the Due Diligence process, provide the transaction ID:

Development Name: **Grove Barton Retail Addition**

Proposed Use: **Retail**

Property Address(es): **4800 Grove Barton Rd**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

PIN Recorded Deed	PIN Recorded Deed	PIN Recorded Deed	PIN Recorded Deed
0787420160			

What is your project type?  
 Single family  Townhouse  Subdivision in a non-residential zoning district  
 Other (describe): \_\_\_\_\_

Owner/Developer Information

Company Name: **FNC Grove Barton, LLC** Owner/Developer Name: **Matt Samuel**  
Address: **5323 Spring Valley Rd, Ste 250, Dallas, TX 75254**  
Phone: **646-807-8060** Email: **mattsamuel@niagaraholdings.com** Fax: \_\_\_\_\_

Consultant/Contact Person for Plans

Company Name: **Commercial Site Design** Contact Name: **Brian Soltz**  
Address: **8312 Creedmoor Rd, Raleigh, NC 27613**  
Phone: **919-848-6121** Email: **soltz@csitedesign.com** Fax: \_\_\_\_\_

DEVELOPMENT TYPE AND SITE DATA TABLE (Applicable to all developments)

ZONING INFORMATION

Zoning District(s): **CX-3-PK**

If more than one district, provide the acreage of each:

Overlay District?  Yes  No

Inside City Limits?  Yes  No

CUO (Conditional Use District) Case # **Z**

COA (Certificate of Appropriateness) Case # \_\_\_\_\_

BOA (Board of Adjustment) Case # **A**

STORMWATER INFORMATION

Existing Impervious Surface: **LOT 1 = 45,803 SF OR 1.05 ACRES** Flood Hazard Area:  Yes  No  
**LOT 2 = 28,242 SF OR 0.65 ACRES**

Proposed Impervious Surface: **LOT 1 = 45,803 SF (NO CHANGE)** Wetlands:  Yes  No  
**LOT 2 = 28,242 SF (8,314 SF INCREASE)**

If in a Flood Hazard Area, provide the following:  
 Alluvial Soils: \_\_\_\_\_ Flood Study: \_\_\_\_\_ FEMA Map Panel #: \_\_\_\_\_

NUMBER OF LOTS AND DENSITY

Total # of Townhouse Lots: Detached \_\_\_\_\_ Attached \_\_\_\_\_

Total # of Single Family Lots: \_\_\_\_\_ Total # of All Lots: \_\_\_\_\_

Overall Units/Acre Densities Per Zoning Districts

Total # of Open Space and/or Common Area Lots

SIGNATURE BLOCK (Applicable to all developments)

I hereby designate **Commercial Site Design** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/We have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: **Matt Samuel** Date: **3-27-18**  
Printed Name: **Matt Samuel** MEMBER / MANAGER

- #### SHEET INDEX
- C-1 EXISTING CONDITIONS
  - C-1A CURRENT RECORDED PLAT
  - C-2 SITE PLAN
  - C-2A SOLID WASTE SERVICE TRUCK TURN PLAN
  - C-3 GRADING PLAN
  - C-3A BIORETENTION DETAILS
  - C-4 UTILITY PLAN
  - C-5 LANDSCAPE PLAN
  - C-6 TREE CONSERVATION PLAN
  - A2.0 EXTERIOR ELEVATIONS

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

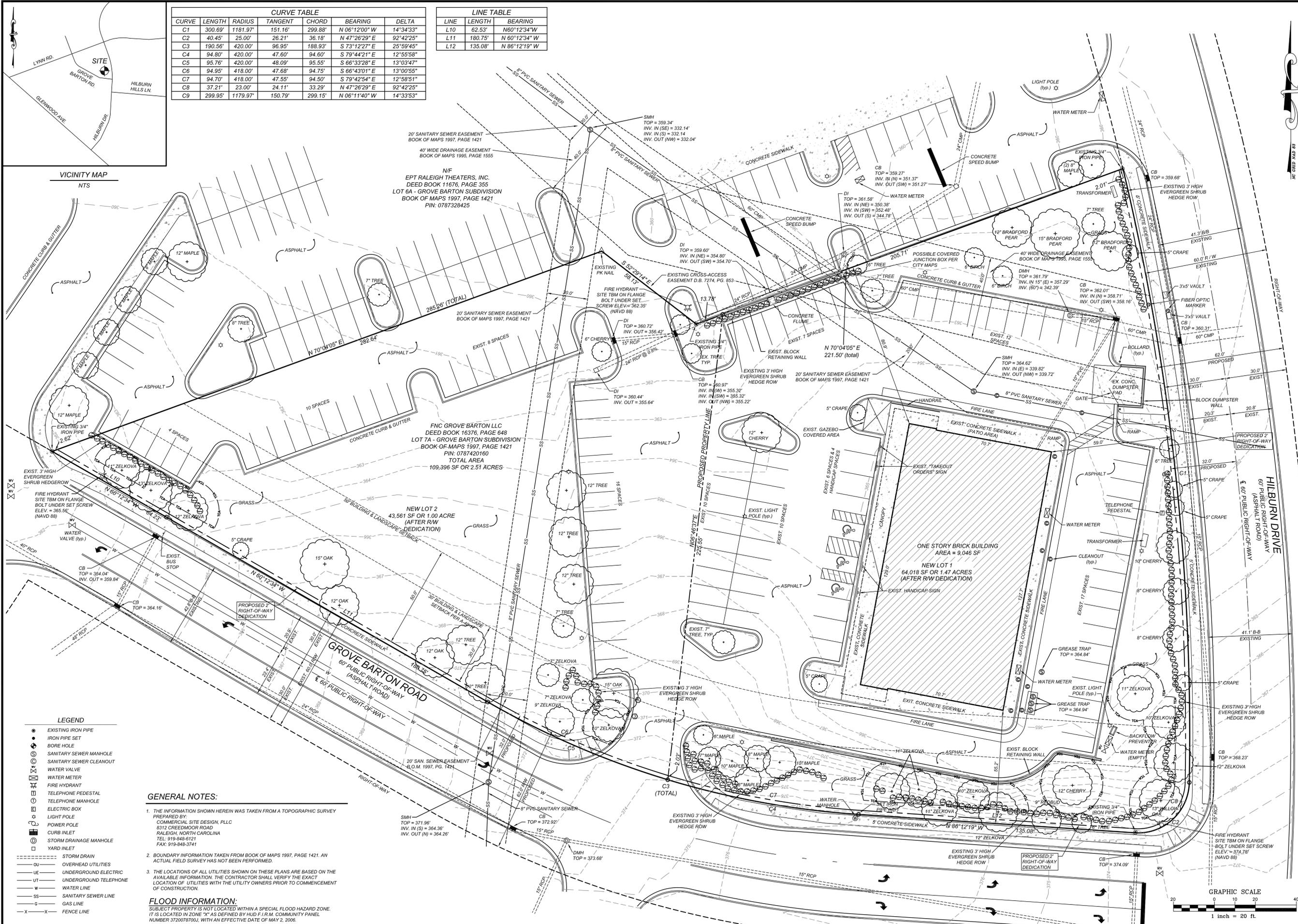
**COMMERCIAL SITE DESIGN**

8312 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27613

(919) 848-6121, FAX: (919) 848-3741  
WWW.CSITDESIGN.COM

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	300.69'	1181.97'	151.16'	299.88'	N 06°12'00" W	14°34'33"
C2	40.45'	25.00'	26.21'	36.18'	N 47°26'29" E	92°42'25"
C3	190.56'	420.00'	96.95'	188.93'	S 73°12'27" E	25°59'45"
C4	94.80'	420.00'	47.60'	94.60'	S 79°44'21" E	12°55'58"
C5	95.76'	420.00'	48.09'	95.55'	S 66°33'28" E	13°03'47"
C6	94.95'	418.00'	47.68'	94.75'	S 66°43'01" E	13°00'55"
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LINE TABLE		
LINE	LENGTH	BEARING
L10	62.53'	N 60°12'34" W
L11	180.75'	N 60°12'34" W
L12	135.08'	N 86°12'19" W



N/F  
EPT RALEIGH THEATERS, INC.  
DEED BOOK 11676, PAGE 355  
LOT 6A - GROVE BARTON SUBDIVISION  
BOOK OF MAPS 1997, PAGE 1421  
PIN: 0787328425

FNC GROVE BARTON LLC  
DEED BOOK 16376, PAGE 648  
LOT 7A - GROVE BARTON SUBDIVISION  
BOOK OF MAPS 1997, PAGE 1421  
PIN: 0787420160  
TOTAL AREA  
109,396 SF OR 2.51 ACRES

NEW LOT 2  
43,561 SF OR 1.00 ACRE  
(AFTER RW DEDICATION)

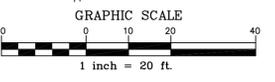
ONE STORY BRICK BUILDING  
AREA = 9,046 SF  
NEW LOT 1  
64,018 SF OR 1.47 ACRES  
(AFTER RW DEDICATION)

**GENERAL NOTES:**

- THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY:  
COMMERCIAL SITE DESIGN, PLLC  
8312 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA  
TEL: 919-848-6121  
FAX: 919-848-3741
- BOUNDARY INFORMATION TAKEN FROM BOOK OF MAPS 1997, PAGE 1421. AN ACTUAL FIELD SURVEY HAS NOT BEEN PERFORMED.
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

**FLOOD INFORMATION:**  
SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 37200767001, WITH AN EFFECTIVE DATE OF MAY 2, 2006.

- LEGEND**
- EXISTING IRON PIPE
  - IRON PIPE SET
  - BORE HOLE
  - SANITARY SEWER MANHOLE
  - SANITARY SEWER CLEANOUT
  - WATER VALVE
  - WATER METER
  - FIRE HYDRANT
  - TELEPHONE PEDESTAL
  - TELEPHONE MANHOLE
  - ELECTRIC BOX
  - LIGHT POLE
  - POWER POLE
  - CURB INLET
  - STORM DRAINAGE MANHOLE
  - YARD INLET
  - STORM DRAIN
  - OVERHEAD UTILITIES
  - UNDERGROUND ELECTRIC
  - UNDERGROUND TELEPHONE
  - WATER LINE
  - SANITARY SEWER LINE
  - GAS LINE
  - FENCE LINE



NO.	DATE	DESCRIPTION
1	05-15-18	CITY COMMENTS #1
2	06-21-18	CITY COMMENTS #2

**COMMERCIAL SITE DESIGN**

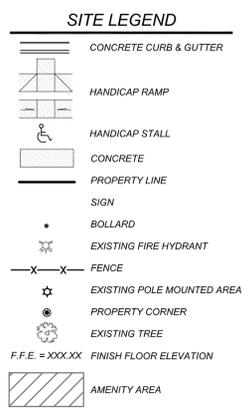
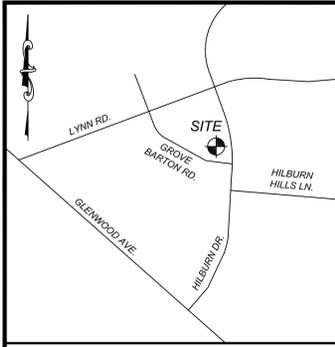
8912 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27615  
(919) 848-6121, FAX: (919) 848-3741  
WWW.CSDDESIGN.COM

**OWNER:**  
FNC GROVE BARTON LLC  
5323 SPRING VALLEY ROAD  
SUITE 250  
DALLAS, TX 75254

**GROVE BARTON RETAIL ADDITION**  
4800 GROVE BARTON ROAD  
RALEIGH, WAKE COUNTY, NORTH CAROLINA

**EXISTING CONDITIONS PLAN**

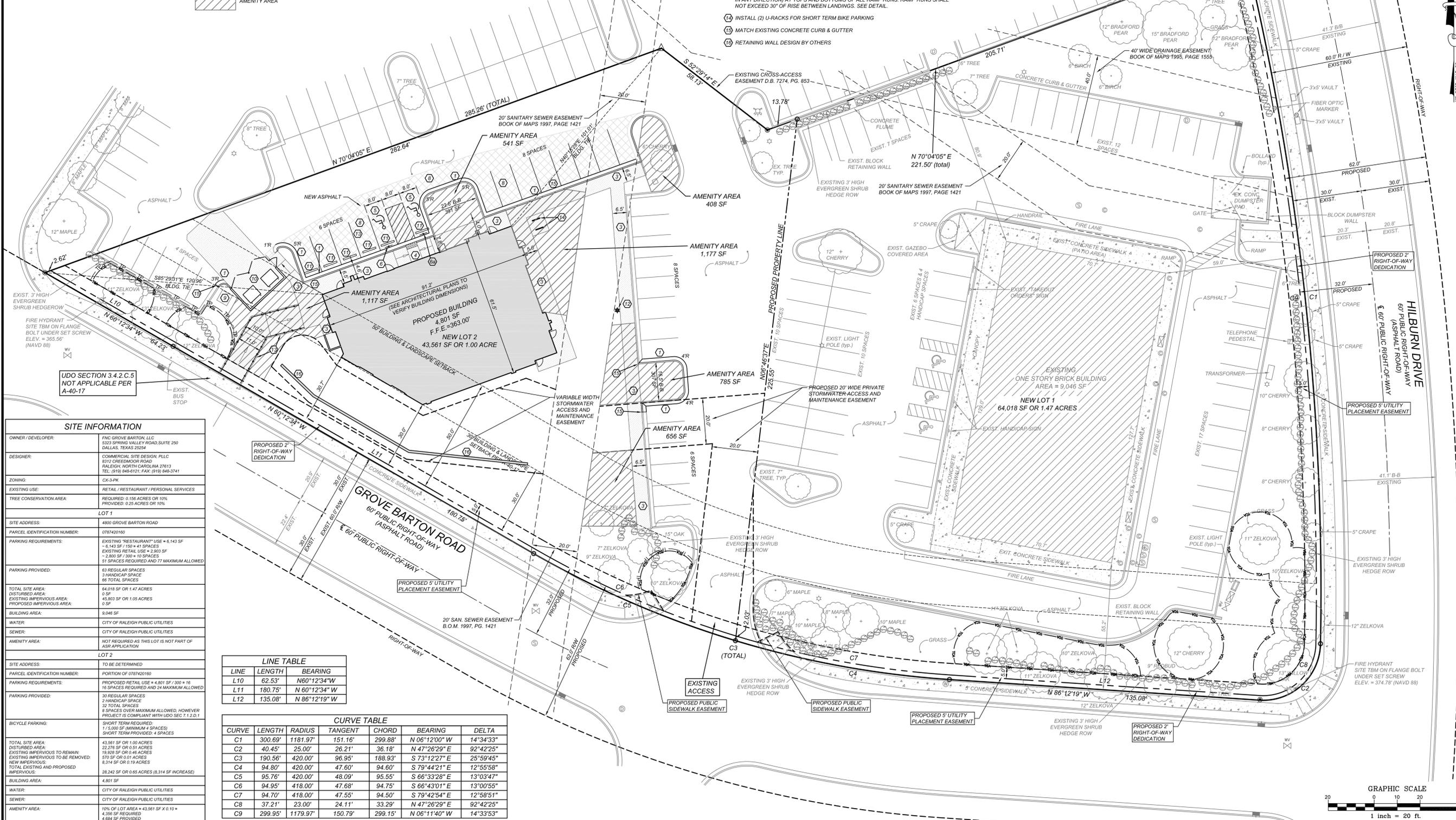
PROJECT NO: ORA-1601  
FILENAME: ORA1601-DP  
DRAWN BY: RCN  
SCALE: 1" = 20'  
DATE: 12-10-12  
SHEET NO: C-1



- SITE KEYNOTES:**
- CONSTRUCT 2.0' CONCRETE CURB AND GUTTER PER DETAIL SHEET
  - NOT USED
  - CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET
  - CONSTRUCT CONCRETE HANDICAP RAMP PER DETAIL SHEET
  - HANDICAP PARKING STALL
  - INSTALL HANDICAP PARKING SIGN PER DETAIL SHEET
  - INSTALL "VAN ACCESSIBLE" HANDICAP PARKING SIGN PER DETAIL SHEET
  - NOT USED
  - ASPHALT PAVEMENT PER DETAIL SHEET
  - TRANSFORMER PAD BY GENERAL CONTRACTOR, PER ELECTRIC COMPANY SPECIFICATIONS, (COORDINATE SIZE AND LOCATION WITH UTILITY COMPANY)
  - CONSTRUCT DUMPSTER PAD, MINIMUM 6" CONCRETE WITH 4" ABC BASE, AND TRASH ENCLOSURE WITH GATES, SEE ARCHITECTURAL SHEETS FOR DETAIL, MATERIALS TO MATCH BUILDING. SOLID WASTE SERVICES WILL BE PROVIDED BY A PRIVATE CONTRACTOR / HAULER
  - CONCRETE WHEEL STOP PER DETAIL SHEET
  - RELOCATE EXISTING POLE MOUNTED AREA LIGHT
  - ADA RAMP WITH HANDRAILS. PROVIDE MINIMUM 5' x 5' LANDING (2% MAXIMUM SLOPE IN ANY DIRECTION) AT TOPS AND BOTTOMS OF ALL RAMP RUNS. RAMP RUNS SHALL NOT EXCEED 30° OF RISE BETWEEN LANDINGS. SEE DETAIL.
  - INSTALL (2) U-RACKS FOR SHORT TERM BIKE PARKING
  - MATCH EXISTING CONCRETE CURB & GUTTER
  - RETAINING WALL DESIGN BY OTHERS

**BOARD OF ADJUSTMENT**  
A-40-17, WHEREAS, FNC Grove Barton LLC, property owner, requests a variance to the Parkway frontage standards of Section 3.4.3. of the Unified Development Ordinance which require a 50' wide heavily landscaped buffer between the roadway and adjacent development in order to permit a new building and dumpster enclosure within 30' of Grove Barton Road, to permit existing parking areas to remain within the Parkway buffer along Grove Barton Road and to not have to plant the 50' protective yard standard because of the existing and proposed improvements as well as a variance from Section 3.4.2.C.5. in order to permit a site plan for a new building on a property without requiring compliance with the new streetscape requirement. The subject property of this request is a 2.51 acre property zoned Commercial Mixed-Use-3-Parkway and is located at 4800 Grove Barton Road.  
Decision: Approved as requested, Date 03-14-17.

VICINITY MAP  
NTS



**SITE INFORMATION**

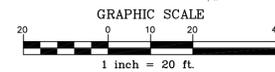
OWNER / DEVELOPER:	FNC GROVE BARTON, LLC 5225 SPRING VALLEY ROAD, SUITE 250 DALLAS, TEXAS 75254
DESIGNER:	COMMERCIAL SITE DESIGN, PLLC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 TEL: (919) 848-6121; FAX: (919) 848-3741
ZONING:	CX-3-PK
EXISTING USE:	RETAIL / RESTAURANT / PERSONAL SERVICES
TREE CONSERVATION AREA:	REQUIRED: 0.156 ACRES OR 10% PROVIDED: 0.25 ACRES OR 10%
SITE ADDRESS:	LOT 1 4800 GROVE BARTON ROAD
PARCEL IDENTIFICATION NUMBER:	0787420160
PARKING REQUIREMENTS:	EXISTING "RESTAURANT" USE = 6,143 SF = 41 SPACES EXISTING RETAIL USE = 2,903 SF = 2,800 SF / 300 = 10 SPACES 51 SPACES REQUIRED AND 17 MAXIMUM ALLOWED
PARKING PROVIDED:	63 REGULAR SPACES 3 HANDICAP SPACE 66 TOTAL SPACES
TOTAL SITE AREA:	64,018 SF OR 1.47 ACRES
DISTURBED AREA:	0 SF
EXISTING IMPERVIOUS AREA:	45,883 SF OR 1.05 ACRES
PROPOSED IMPERVIOUS AREA:	0 SF
BUILDING AREA:	9,046 SF
WATER:	CITY OF RALEIGH PUBLIC UTILITIES
SEWER:	CITY OF RALEIGH PUBLIC UTILITIES
AMENITY AREA:	NOT REQUIRED AS THIS LOT IS NOT PART OF ASR APPLICATION
SITE ADDRESS:	LOT 2 TO BE DETERMINED
PARCEL IDENTIFICATION NUMBER:	PORTION OF 0787420160
PARKING REQUIREMENTS:	PROPOSED RETAIL USE = 4,801 SF / 300 = 16 16 SPACES REQUIRED AND 24 MAXIMUM ALLOWED
PARKING PROVIDED:	30 REGULAR SPACES 2 HANDICAP SPACE 32 TOTAL SPACES 8 SPACES OVER MAXIMUM ALLOWED; HOWEVER PROJECT IS COMPLIANT WITH UDO SEC 7.1.2.D.1
BICYCLE PARKING:	SHORT TERM REQUIRED: 17,600 SF (MINIMUM 4 SPACES) SHORT TERM PROVIDED: 4 SPACES
TOTAL SITE AREA:	43,561 SF OR 1.00 ACRES
DISTURBED AREA:	22,276 SF OR 0.51 ACRES
EXISTING IMPERVIOUS TO REMAIN:	19,208 SF OR 0.43 ACRES
EXISTING IMPERVIOUS TO BE REMOVED:	570 SF OR 0.01 ACRES
NEW IMPERVIOUS:	8,214 SF OR 0.18 ACRES
TOTAL EXISTING AND PROPOSED IMPERVIOUS:	28,242 SF OR 0.65 ACRES (8,314 SF INCREASE)
BUILDING AREA:	4,801 SF
WATER:	CITY OF RALEIGH PUBLIC UTILITIES
SEWER:	CITY OF RALEIGH PUBLIC UTILITIES
AMENITY AREA:	10% OF LOT AREA = 4,356 SF X 0.10 = 436 SF REQUIRED 4,684 SF PROVIDED

**LINE TABLE**

LINE	LENGTH	BEARING
L10	62.53'	N60°12'34"W
L11	180.75'	N 60°12'34" W
L12	135.08'	N 86°12'19" W

**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	300.69'	1181.97'	151.16'	299.88'	N 06°12'00" W	14°34'33"
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C3	190.56'	420.00'	96.95'	188.93'	S 73°12'27" E	25°59'45"
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**REVISIONS**

NO.	DATE	DESCRIPTION
1	05-15-18	CITY COMMENTS
2	06-21-18	CITY COMMENTS #2
3	07-12-18	AMENITY AREA REVISION

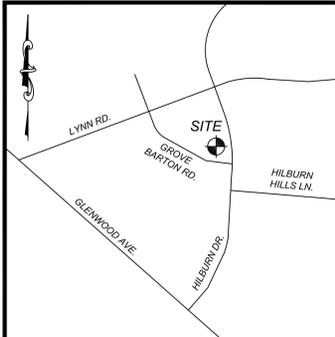
**COMMERCIAL SITE DESIGN**  
WWW.CSITDESIGN.COM  
(919) 848-6121, FAX: (919) 848-3741  
8912 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27615

OWNER:  
FNC GROVE BARTON, LLC  
5323 SPRING VALLEY ROAD  
SUITE 250  
DALLAS, TX 75254

**GROVE BARTON RETAIL ADDITION**  
4800 GROVE BARTON ROAD  
RALEIGH, WAKE COUNTY, NORTH CAROLINA

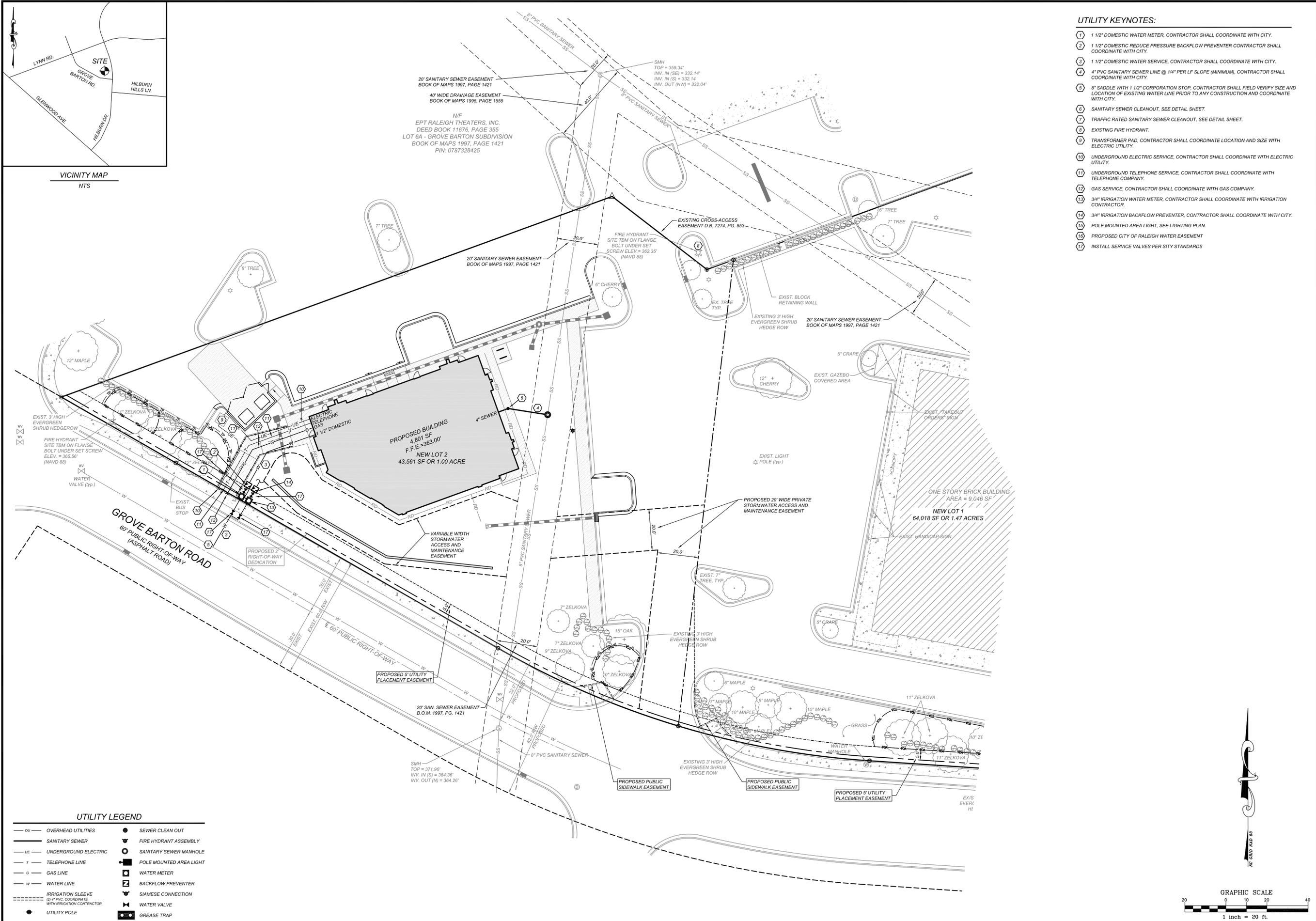
PROJECT NO: ORA-1601  
FILENAME: ORA1601-SP  
DRAWN BY: RCN  
SCALE: 1" = 20'  
DATE: 12-10-12  
SHEET NO: C-2

X:\ORA - C-2\ORA Architecture\1801 - Raleigh, NC @ 4800 Grove Barton Rd\CAD\Plan Sets\ASR PLAN SET\ORA1601-SP.dwg, 7/13/2018 10:44:25 AM, chisen



VICINITY MAP  
NTS

N/F  
EPT RALEIGH THEATERS, INC.  
DEED BOOK 11676, PAGE 355  
LOT 6A - GROVE BARTON SUBDIVISION  
BOOK OF MAPS 1997, PAGE 1421  
PIN: 0787328425



- UTILITY KEYNOTES:**
- 1 1/2" DOMESTIC WATER METER, CONTRACTOR SHALL COORDINATE WITH CITY.
  - 2 1/2" DOMESTIC REDUCE PRESSURE BACKFLOW PREVENTER CONTRACTOR SHALL COORDINATE WITH CITY.
  - 3 1/2" DOMESTIC WATER SERVICE, CONTRACTOR SHALL COORDINATE WITH CITY.
  - 4 4" PVC SANITARY SEWER LINE @ 1/4" PER LF SLOPE (MINIMUM), CONTRACTOR SHALL COORDINATE WITH CITY.
  - 5 8" SADDLE WITH 1 1/2" CORPORATION STOP, CONTRACTOR SHALL FIELD VERIFY SIZE AND LOCATION OF EXISTING WATER LINE PRIOR TO ANY CONSTRUCTION AND COORDINATE WITH CITY.
  - 6 SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
  - 7 TRAFFIC RATED SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
  - 8 EXISTING FIRE HYDRANT.
  - 9 TRANSFORMER PAD, CONTRACTOR SHALL COORDINATE LOCATION AND SIZE WITH ELECTRIC UTILITY.
  - 10 UNDERGROUND ELECTRIC SERVICE, CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY.
  - 11 UNDERGROUND TELEPHONE SERVICE, CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY.
  - 12 GAS SERVICE, CONTRACTOR SHALL COORDINATE WITH GAS COMPANY.
  - 13 3/4" IRRIGATION WATER METER, CONTRACTOR SHALL COORDINATE WITH IRRIGATION CONTRACTOR.
  - 14 3/4" IRRIGATION BACKFLOW PREVENTER, CONTRACTOR SHALL COORDINATE WITH CITY.
  - 15 POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN.
  - 16 PROPOSED CITY OF RALEIGH WATER EASEMENT
  - 17 INSTALL SERVICE VALVES PER CITY STANDARDS

NO.	DATE	DESCRIPTION
1	05-15-18	
2	06-21-18	
3	07-12-18	

**COMMERCIAL SITE DESIGN**

(919) 848-6121, FAX: (919) 848-3741  
WWW.CSITDESIGN.COM

8972 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27615

OWNER:  
FNC GROVE BARTON LLC  
5323 SPRING VALLEY ROAD  
SUITE 250  
DALLAS, TX 75254

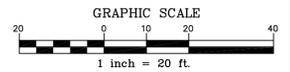
**GROVE BARTON RETAIL ADDITION**  
4800 GROVE BARTON ROAD  
RALEIGH, WAKE COUNTY, NORTH CAROLINA

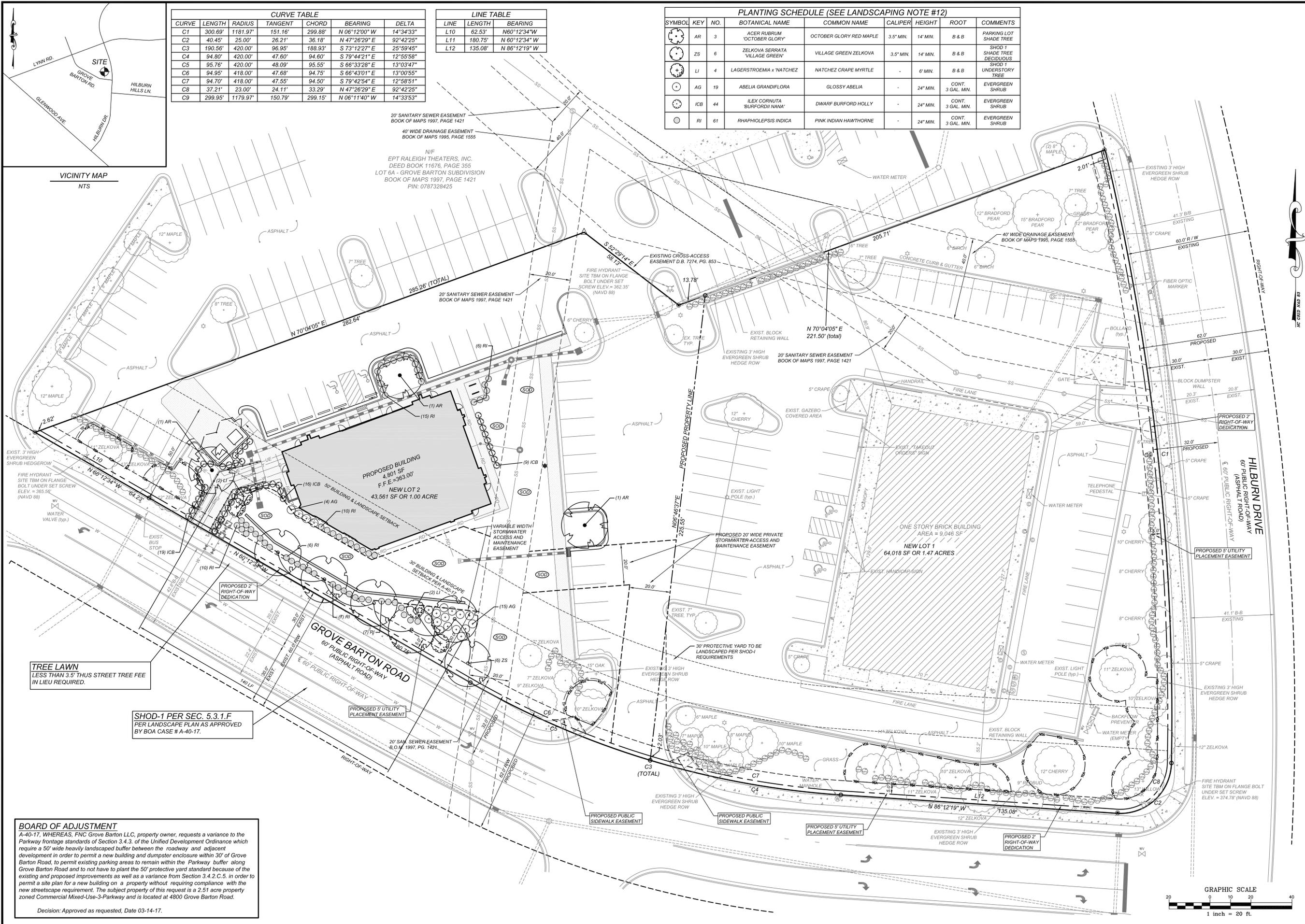
**UTILITY PLAN**

PROJECT NO.	ORA-1601
FILENAME:	ORA1601-UP
DRAWN BY:	RCN
SCALE:	1" = 20'
DATE:	12-10-12
SHEET NO.	C-4

**UTILITY LEGEND**

—ou—	OVERHEAD UTILITIES	●	SEWER CLEAN OUT
—	SANITARY SEWER	○	FIRE HYDRANT ASSEMBLY
—ue—	UNDERGROUND ELECTRIC	○	SANITARY SEWER MANHOLE
—t—	TELEPHONE LINE	□	POLE MOUNTED AREA LIGHT
—g—	GAS LINE	□	WATER METER
—w—	WATER LINE	□	BACKFLOW PREVENTER
-----	IRRIGATION SLEEVE	○	SIAMESE CONNECTION
(2" 4" PVC COORDINATE WITH IRRIGATION CONTRACTOR)		⊗	WATER VALVE
●	UTILITY POLE	⊗	GREASE TRAP

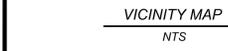




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PLANTING SCHEDULE (SEE LANDSCAPING NOTE #12)								
SYMBOL	KEY	NO.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	COMMENTS
AR	3	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	3.5" MIN.	14' MIN.	B & B	PARKING LOT SHADE TREE	
ZS	6	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	3.5" MIN.	14' MIN.	B & B	SHOD 1 SHADE TREE DECIDUOUS	
LI	4	LAGERSTROEMIA x 'NATCHEZ'	NATCHEZ CRAPE MYRTLE	-	6' MIN.	B & B	UNDERSTORY TREE	
AG	19	ABELIA GRANDIFLORA	GLOSSY ABELIA	-	24" MIN.	CONT. 3 GAL. MIN.	EVERGREEN SHRUB	
ICB	44	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	-	24" MIN.	CONT. 3 GAL. MIN.	EVERGREEN SHRUB	
RI	61	RHAPHIOLEPSIS INDICA	PINK INDIAN HAWTHORNE	-	24" MIN.	CONT. 3 GAL. MIN.	EVERGREEN SHRUB	



REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	05-15-18	CITY COMMENTS	JWR
2	06-21-18	CITY COMMENTS #2	JWR
3	07-12-18	AMENITY AREA REVISION	RCN

**COMMERCIAL SITE DESIGN**

(919) 848-4121, FAX: (919) 848-3741  
WWW.CSITDESIGN.COM

8912 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27615

OWNER:  
FNC GROVE BARTON LLC  
5323 SPRING VALLEY ROAD  
SUITE 250  
DALLAS, TX 75254

**GROVE BARTON RETAIL ADDITION**  
4800 GROVE BARTON ROAD  
RALEIGH, WAKE COUNTY, NORTH CAROLINA

**LANDSCAPE PLAN**

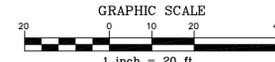
PROJECT NO.	ORA-1601
FILENAME	ORA1601-LS
DRAWN BY	RCN
SCALE	1" = 20'
DATE	12-10-12
SHEET NO.	C-5

**BOARD OF ADJUSTMENT**  
A-40-17, WHEREAS, FNC Grove Barton LLC, property owner, requests a variance to the Parkway frontage standards of Section 3.4.3. of the Unified Development Ordinance which require a 50' wide heavily landscaped buffer between the roadway and adjacent development in order to permit a new building and dumpster enclosure within 30' of Grove Barton Road, to permit existing parking areas to remain within the Parkway buffer along Grove Barton Road and to not have to plant the 50' protective yard standard because of the existing and proposed improvements as well as a variance from Section 3.4.2.C.5. in order to permit a site plan for a new building on a property without requiring compliance with the new streetscape requirement. The subject property of this request is a 2.51 acre property zoned Commercial Mixed-Use-3-Parkway and is located at 4800 Grove Barton Road.

Decision: Approved as requested, Date 03-14-17.

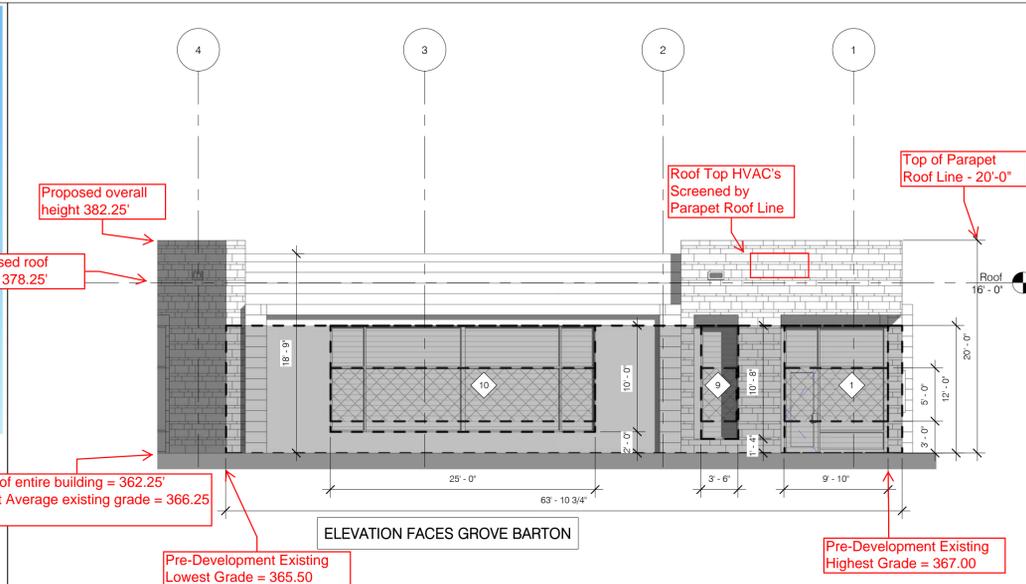
SHOD-1 PER SEC. 5.3.1.F  
PER LANDSCAPE PLAN AS APPROVED  
BY BOA CASE # A-40-17.

TREE LAWN  
LESS THAN 3.5' THUS STREET TREE FEE  
IN LIEU REQUIRED.

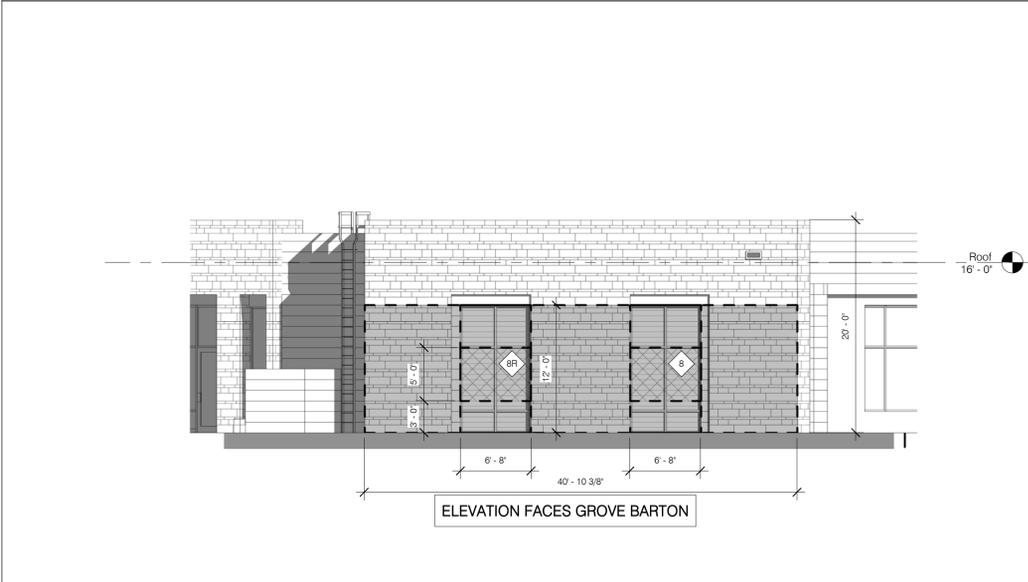




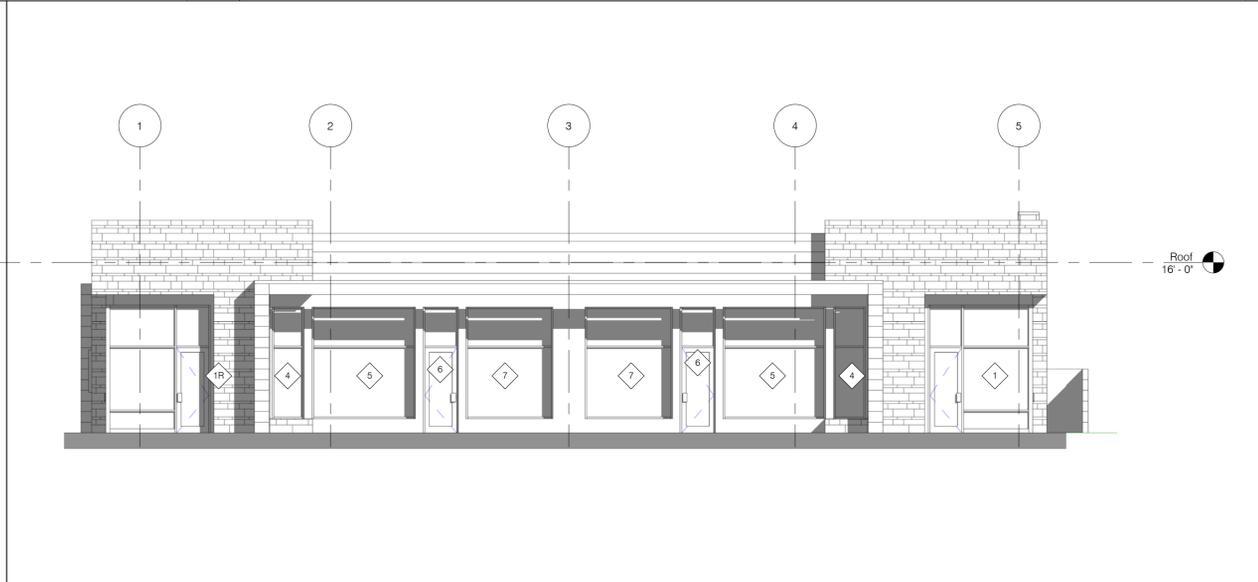
PERSPECTIVE VIEW FROM GROVE BARTON 6



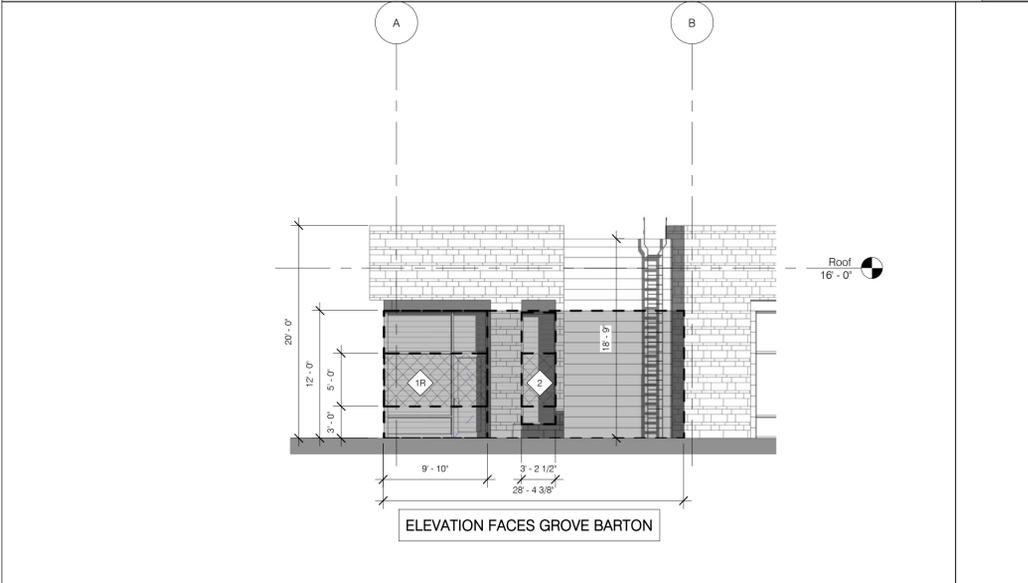
SOUTH ELEVATION 4  
1/8" = 1'-0"



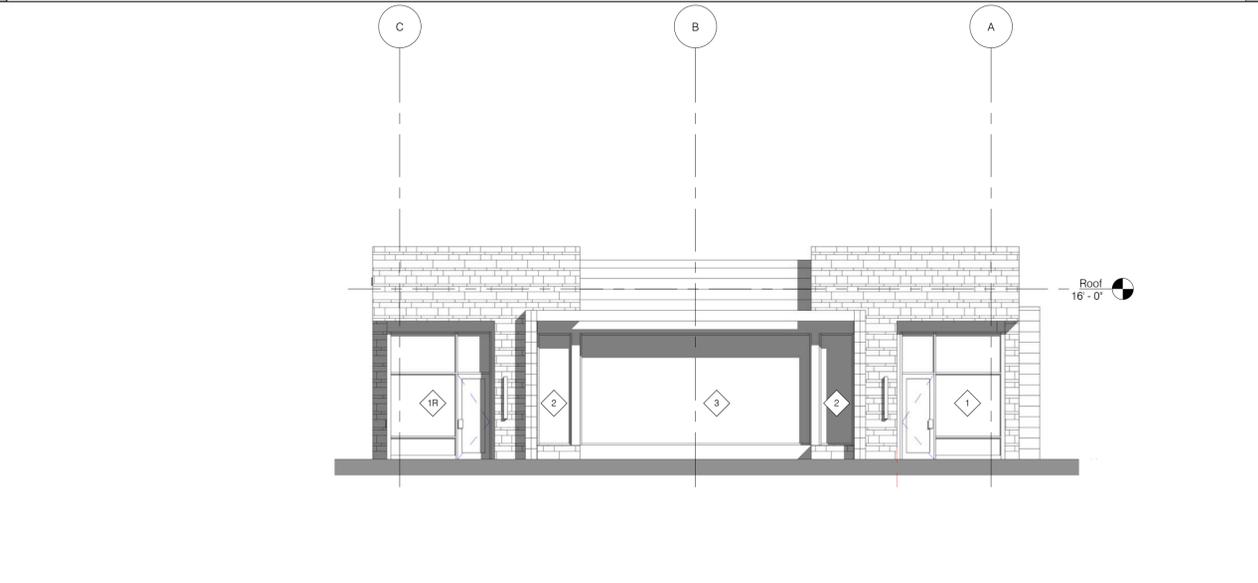
SOUTHWEST ELEVATION 5  
1/8" = 1'-0"



NORTH ELEVATION 2  
1/8" = 1'-0"



WEST ELEVATION 3  
1/8" = 1'-0"



EAST ELEVATION 1  
1/8" = 1'-0"

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
<b>CALCULATIONS</b>	
TOTAL WALL AREA	1,597 SF
TOTAL TRANSPARENCY REQUIRED 1,597 X .33 = PROVIDED	527 SF / 716 SF
TRANSPARENCY AT 3'-8" REQUIRED 527 X .5 = PROVIDED	264 SF / 322 SF

SYMBOL LEGEND	
	MASONRY EXPANSION JOINT: 3/8" NEOPRENE WITH BACKER ROD AND SEE PLANS AND DETAILS

