

DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #: <u>599508</u>		Planning Coordinator: <u>Stegall</u>	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision transaction #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Sketch transaction #: _____	
<input checked="" type="checkbox"/> Apartment	<input checked="" type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: <u>Z-52-02</u>	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: <u>Tryon Flats Apartments</u>			
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Property address(es): <u>3116 Tyron Road</u>			
Site P.I.N.(s): <u>0792350812</u>			
Please describe the scope of work. Include any additions, expansions, and change of use. <u>Develop a new 16 unit apartment complex with on site parking</u>			
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submitting this form.			
Company:		Title: <u>Rex Frazier and Stephen Mangum</u>	
Address: <u>6636 Whitted Road Fuquay Varina, NC 27526</u>			
Phone #: <u>919-669-6212</u>		Email: <u>sdm@mcr-it.com</u>	
Applicant Name: <u>Dane Sambrick</u>			
Company: <u>Sambrock Mangement, LLC</u>		Address: <u>4944 Windy Hill Drive., Raleigh NC 27609</u>	
Phone #: <u>919-602-0678</u>		Email: <u>dsambrick@sambrick.us</u>	

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): OC-3-CU	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: 1.5	New gross floor area: 22,062
# of parking spaces required: 60	Total sf gross (to remain and new): 22,062
# of parking spaces proposed: 60	Proposed # of buildings: 1
Overlay District (if applicable):	Proposed # of stories for each: 2
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Apartments	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0 Square Feet: 0	Proposed Impervious Surface: Acres: 0.95 Square Feet: 41,565
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Alluvial soils: _____	
Flood stu _____	
FEMA Map Panel #: 3720079200J Effective May 2, 2006	
Neuse River Buffer <input type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 16	Total # of hotel units:
# of bedroom units: 1br: 2 2br: 3br: 4br or more: 14	
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate <u>Sambrick Mangement, LLC</u> to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>[Signature]</u>	Date: <u>6/5/2019</u>
Printed Name: <u>Stephen Mangum</u>	

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Development name: Tryon Flats Apartments			
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Property address(es): <u>3116 Tryon Road</u>			
Site P.I.N.(s): 0792350812			
Please describe the scope of work. Include any additions, expansions, and change of use. Develop a new 16 unit apartment complex with on site parking			
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submitting this form.			
Company: _____		Title: Rex Frazier and Stephen Mangum	
Address: 129 Maitland Drive Cary, NC 27518			
Phone #: 919-669-6212		Email: sdm@mcr-it.com	
Applicant Name: Dane Sambrick			
Company: Sambrick Management, LLC		Address: 4944 Windy Hill Dr., Raleigh NC 27609	
Phone #: 919-602-0678		Email: dsambrick@sambrick.us	

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

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I hereby designate Sambrick Mangement, LLC to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: <u>Rey Frazier</u>	Date: <u>6-5-19</u>
Printed Name: <u>REY FRAZIER</u>	

Administrative Site Review Checklist

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Use this checklist as a guide for Administrative Site Review submittals requirements.
This checklist must be submitted with your application.

MAILED NOTIFICATION REQUIREMENTS

Mailed notice is required for projects that:

1. Include new buildings greater than 25,000 square feet, or additions that represent a 10% increase in building area or 25,000 square feet (whichever is greater), AND;
2. The subject property is located within 100 feet of a property that is zoned: R-1, R-2, R-4, R-6, R-10

If your project requires mailed notice, [click here to download the letter template](#) and other helpful information.

Please check one of the following:

- Yes, my project meets the mailed notification requirement and my letters are provided with this application.
The mailed notification is not applicable for my project.

GENERAL REQUIREMENTS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
1. Cover sheet and/or second sheet: include project name and location; site data table (<i>include Property Identification Numbers (PINs), Zoning, Overlay District(s), Frontage Type, Current Use(s), Proposed Use(s), Building Square Footage(s), residential density and unit data, existing and proposed parking calculations</i>); general notes; sheet index and legend defining symbols with north arrow; contact information for owner, applicant, and all consultants; vicinity map no smaller than 1"=500' and no larger than 1"=1000'; and adopted zoning conditions (if any)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. Existing conditions sheet: including, but not limited to - graphic scale; site size with meets and bounds; setbacks/ build-to lines; existing structures; utilities and easements; topography, infrastructure (<i>adjacent streets with names and r/w width, sidewalks, water, and sewer</i>); built improvements (<i>parking, driveways, alleys</i>); and vegetation	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. Demolition plan: Clearly indicate items to be removed	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
4. Proposed site plan: including but not limited to – north arrow and graphic scale; show and distinguish between existing and proposed conditions (<i>structures, streets, driveways, parking, storage areas, service areas, etc.</i>); setback/build-to lines; proposed property lines; streetscape; mechanical equipment (<i>HVAC, generators, etc.</i>); sidewalks, walkways, trails; solid waste facilities; parking and parking calculations (<i>UDO Section 7.1.2</i>); amenity area (<i>UDO Section 1.5.3</i>); open space and/or greenways; transition protective yard (<i>UDO Section 7.2.4</i>); Site Data (<i>Square footages for proposed and existing uses; Parking calculations; amenity area calculations; Setback/Build-to; transitional protective yard type (UDO Section 7.2.4.A); street protective yard type (UDO Section 7.2.4.B.)</i>)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Please continue to page two >

GENERAL REQUIREMENTS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
5. Proposed grading plan: including but not limited to - Limits of land disturbance; grading; structural improvements with finished floor elevations; stream buffers with labels; labeled impervious surfaces (and calculations); tree protection fencing information; retaining walls with top and bottom of wall; stormwater ponds, bioretention facilities, etc.	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. Proposed stormwater plan: include preliminary stormwater quantity and quality summary and calculations package. If not required, provide notes indicating such and reference UDO section on front cover	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Proposed Utility Plan: All utilities (shown underground); above ground utilities and equipment with required screening (<i>UDO Section 7.2.5.D.</i>); include Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Lighting Plan: Pole mounted fixture locations and details (with height labeled to top of fixture; building mounted fixture locations; graphics and notes conveying compliance with UDO Section 7.4	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Proposed tree conservation plan: for secondary tree conservation areas, include two copies of the tree cover report completed by a certified arborist, NC licensed landscape architect, or NC registered forester. If not required, provide notes indicating such and reference UDO section on front cover	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Proposed landscape plan: (<i>UDO Section 7.2</i>) including but not limited to – existing vegetation to remain; proposed landscaping meeting minimum size and species mixing requirements; plant list; label yard types; show and label parking lot landscaping (<i>UDO Section 7.1.7.</i>) include existing and/or proposed parking lot light fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Architectural Elevations showing existing and/or proposed building height per UDO Section 1.5.7., 2.3, 3.2., and 3.3., transparency per UDO Section 1.5.9., 2.3 and 3.2, and blank wall area per UDO Section 1.5.10.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

NOTE: Revisions to previously approved site plans must contain the following minimum information:

REQUIREMENTS FOR REVISIONS TO EXISTING SITE PLANS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
1. Provide documentation showing Development Services Staff have approved the proposed site plan changes as a revision	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Provide narrative of the proposed revisions on the cover page and modify the project name to include revision	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. List date of previously approved site plan.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Cloud areas of proposed change on all applicable sheets, and provide a legend specifying the proposed changes on all applicable sheets	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Provide updated site data table including building square footages, parking calculations, etc.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Provide documented history of impervious surfaces with dates	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

INDEX OF DRAWINGS

CO.0	COVER SHEET
CO.1	ZONING CONDITIONS SHEET
D1.0	DEMOLITION PLAN
C1.0	SITE PLAN
C1.1	GRADING & DRAINAGE PLAN
C1.2	UTILITY PLAN
C1.8	STORMWATER MANAGEMENT DETAILS
C1.9	SOLID WASTE MANAGEMENT DETAILS
C1.10	LANDSCAPE PLAN
1 OF 1	BOUNDARY & TOPOGRAPHIC SURVEY
A-1	BUILDING ELEVATIONS
A-2	BUILDING FLOOR PLAN

SITE REVIEW

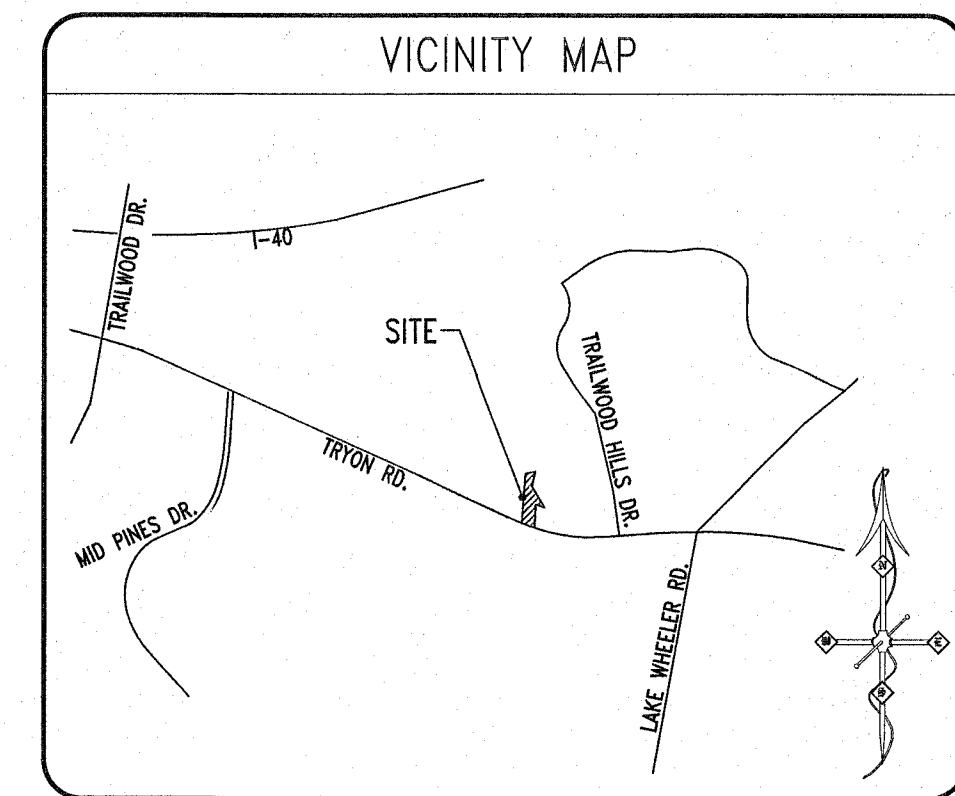
ASR-SR-36-2019

Proposed

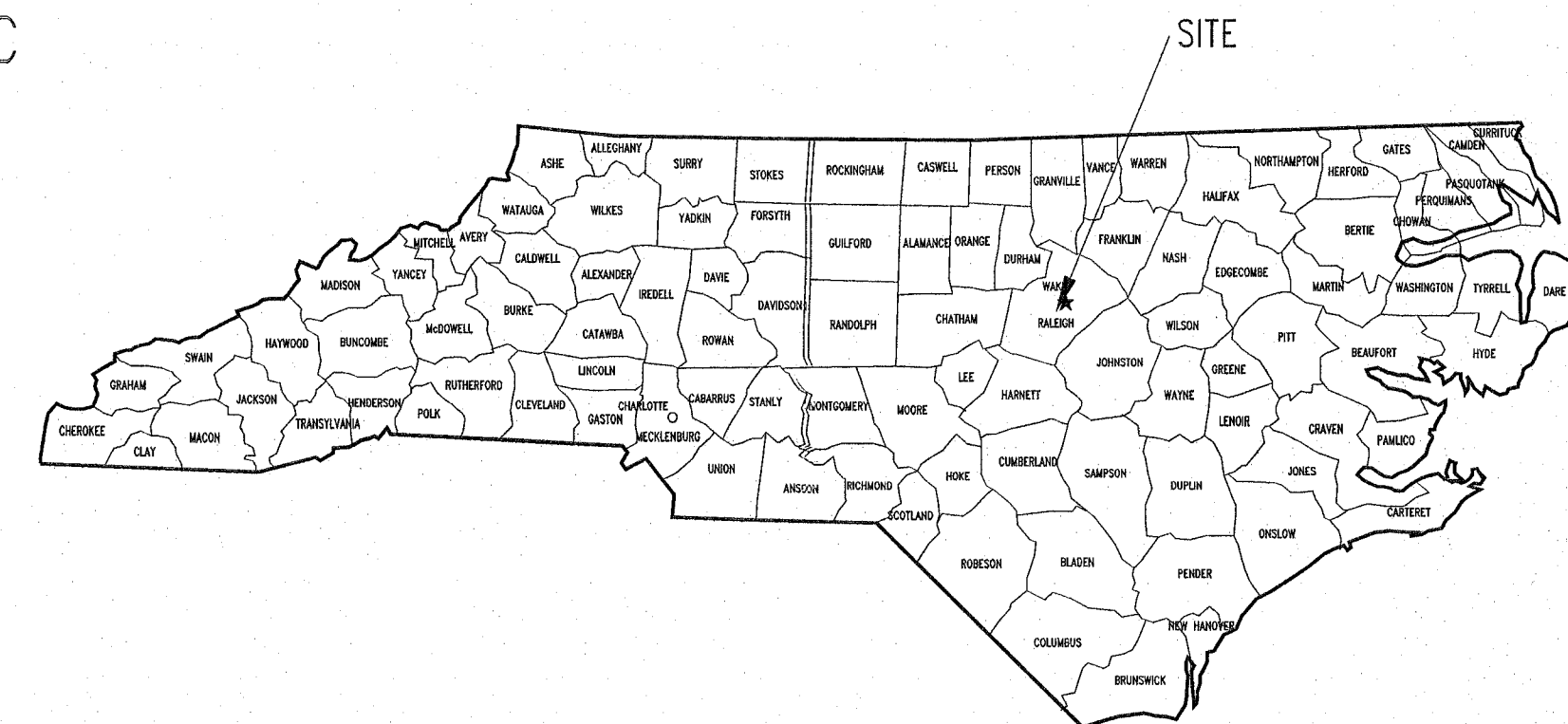
Tryon Flats Apartments

3116 Tryon Road

Raleigh, Wake County, North Carolina



Know what's below
Call before you dig



BOA-001302019

Board of Adjustments approved a 30% variance from the 70% minimum building width in the primary build-to requirement set forth in Section 3.2.4.0 of the Unified Development Ordinance to construct an apartment building that results in a 40% building width in the primary build-to on a 1.5-acre property zoned Office Mixed-Use-3 Conditional Use and Special Residential Parking Overlay District located at 3116 Tryon Road.

Board of Adjustments approved the complete relief from the cross-access requirement set forth in 8.3.5.0 of the unified development ordinance and a 8,125' design adjustment from the 3,000' maximum block perimeter requirements set forth in Section 8.3.2.A that results in a lock perimeter of 11,125' to construct an apartment building on a 1.5-acre property zoned Office Mixed-Use-3 Conditional Use and Special Residential Parking Overlay District located at 3116 Tryon Road.

ZONING CONDITIONS Z-52-02

Z-52-02 Tryon Road, north side, being Wake County PINs 0792.10-35-1611, 0792.10-35-0812 and 0792.10-35-2528. Approximately 3.37 acres rezoned to Office and Institutional-1 Conditional Use District.
Conditions Dated: December 4, 2002
Effective Date: December 18, 2002

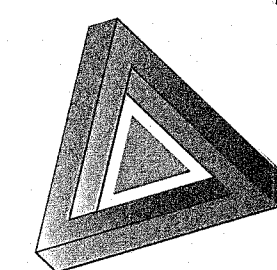
- Reimbursement for future right-of-way dedication affecting the Property shall be based on current zoning Residential-10 District.
- With the exception of an access to Tryon Road, a street yard an average of twenty-five (25) feet in width shall be provided along the right-of-way of Tryon Road (as widened to a 90 foot right-of-way) which shall be landscaped in accordance with SHOD2 quantity and size standards of the Raleigh City Code. The minimum yard width shall be ten (10) feet and maximum yard width shall be forty (40) feet. There shall also be an average of twenty (20) feet natural protective yard located within this street yard to provide tree preservation.
- This site shall be developed with residential character. With the exception of doors and window trim, building facades facing Tryon Road shall be at least seventy-five percent (75%) brick. Also no more than 60% or less than 15% of any one building side shall be devoted to window openings and a pitched roof (minimum 4:12) shall be used to ensure this site is developed with residential character.
- Any building constructed upon the Property shall be limited in height to two (2) stories or thirty-five (35) feet.
- Upon development of each parcel, cross access easements will be made to the owner of the adjacent parcels (PIN #s 0792.10-35-4539 and 0792.10-35-4539) at a location designated by the developer and subject to approval by Raleigh Department of Transportation.
- The site shall make available one 20 x 15' transit easement (adjoining the future sidewalk), along Tryon Road to support a bus stop and shelter for future transit services in the area. During site plan approval or subdivision approval of the property, whichever comes first, the Transit Division will review and approve the easement location. This easement shall be allowed to encroach into the street yard area.
- If the property is developed as multifamily residential, density will be limited to the number of units permitted under the current R-10 zoning district.
- In the event the properties are not recombined into 1 lot, access to Tryon Road for the subject properties shall be limited, upon development of the parcels, to no more than two shared access points, the location of which shall be approved by the City of Raleigh Department of Transportation and NCOT via site plan approval and driveway permits, respectively. Joint access agreements will be in place between each parcel prior to issuance of the first building permit for the site.
- There will be a 10' natural protective yard provided along the Northeastern property line directly adjacent to the Camden Crossing Owners Association Property.
- Parking lots and building structures shall be prohibited in the northern part of parcel 0792-35-0812 from its northern property line to a distance of 150' along the eastern property line and 130' along the western property line of the parcel if developed as an office use.

OWNER/DEVELOPER

Sambrick Management, LLC
4944 Windy Hill Drive
Raleigh, NC 27609
(919)602-0678
(919)872-9584 fx
dsambrick@sambrick.us

CIVIL ENGINEER

Triangle Site Design, PLLC
Attn. Matt Lowder, PE
4004 Barrett Drive
Suite 101
Raleigh, NC 27609
(919)553-6570
mlowder@trianglesitedesign.com
NC LICENSE #P-0619



TRIANGLE
SITE DESIGN

Administrative Site Review Application (for UDO Districts only)



DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax: 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	Transaction Number
<input type="checkbox"/> Attached	Mixed Use
<input checked="" type="checkbox"/> Apartment	Assigned Project Coordinator
<input type="checkbox"/> Townhouse	Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION	
Development Name	Tryon Flats Apartments
Zoning District	OX-3-CU
Overlay District	Special Residential Parking Overlay (SRPOD)
Proposed Use	Residential
Property Address(es)	3116 Tryon Rd.
Major Street Locator	Tryon Rd./1152
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:	
P.J.N. 0792-35-0812	P.J.N.
P.J.N.	P.J.N.

What is your project type?	<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Elderly Facilities	<input type="checkbox"/> Hospitals	<input type="checkbox"/> Hotels/Motels	<input type="checkbox"/> Office
<input type="checkbox"/> Mixed Residential	<input type="checkbox"/> Non-Residential Condo	<input type="checkbox"/> School	<input type="checkbox"/> Shopping Center	<input type="checkbox"/> Banks	<input type="checkbox"/> Industrial Building
<input type="checkbox"/> Duplex	<input type="checkbox"/> Telecommunication Tower	<input type="checkbox"/> Religious Institutions	<input type="checkbox"/> Residential Condo	<input type="checkbox"/> Retail	<input type="checkbox"/> Cottage Court
Other: If other, please describe:					

Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
Construction of one apartment building with 2/1-bedroom units and 14/4-bedroom units with associated parking, utilities, landscaping, and other infrastructure

Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

DESIGN ADJUSTMENT OR ADMIN ALTERNATE	N/A
CLIENT/DEVELOPER/OWNER	Company Sambrick Management, LLC Address 4944 Windy Hill Dr., Raleigh, NC 27609 Phone 919-602-0678 Email dsambrick@sambrick.us Fax
CONSULTANT (Contact Person for Plans)	Company Triangle Site Design, PLLC Address 4004 Barrett Dr., Suite 101, Raleigh, NC 27609 Phone 919-553-6570 Email mlowder@trianglesitedesign.com Fax

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REVISION 05.13.16

PAGE 2 OF 3

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REVISION 05.13.16

FLOOD ZONE NOTE:

SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA FLOOD INSURANCE RATE MAP (FIRM) #320079200, EFFECTIVE DATE MAY 2, 2006. FEMA FIRM MAPS SUBJECT TO CHANGE

IMPERVIOUS AREA SUMMARY

ITEM	AREA (SF)	AREA (AC)	% OF TOTAL AREA
BUILDINGS	11,410	0.26	16.97 %
PAVEMENT	28,026	0.64	41.67 %
SIDEWALK	2,455	0.06	3.65 %
TOTAL IMPERVIOUS AREA	41,891	0.96	62.29 %
GREEN/OPEN SPACE	25,364	0.58	37.71 %
EXISTING IMPERVIOUS AREA TO BE DEMOLISHED:	0	0	0
NET INCREASE IN IMPERVIOUS:	41,891	0.96	0.96 ACRE(S)

PUBLIC IMPROVEMENT QUANTITIES

Phase Number(s)	1
Number of Lot (s)	1
Lot Number (s) by Phase	N/A
Number of Units	16
Liveable Building	N/A
Open Space?	N/A
Number of Open Space Lots	N/A
Public Water (LF)	0 LF
Public Sewer (LF)	0 LF
Public Street (LF) - FULL	0 LF
Public Street (LF) - PARTIAL	0 LF
Public Sidewalk (LF)	25 LF
Street Signs (LF)	0 LF
Waller Service Stubs	0 EA
Sewer Service Stubs	0 EA

AMENITY AREA CALCULATION

TOTAL AREA:	1,805 AC (67,255 SF)
AMENITY AREA REQUIREMENT:	1.54 AC (67,255 SF AFTER R/W DEDICATION) (69,916SF-2,661SF)
PROPOSED AMENITY AREA:	6,778 SF+ (10.07%)

BULK AREA REQUIREMENTS

LOCATION: 3116 TRYON ROAD RALEIGH, NORTH CAROLINA		
ZONE: OX-3-CU		
USE: MULTI-FAMILY APARTMENTS: 2-1 BEDROOM APARTMENTS, 14-4 BEDROOM APARTMENTS 16 TOTAL UNITS		
PIN ID: 0792-35-0812		
ITEM	REQUIREMENTS	PROVIDED
MINIMUM LOT AREA	10,000 SF	1.54 AC (67,255 SF AFTER R/W DEDICATION) (69,916SF-2,661SF)
MAXIMUM RETAIL USE SIZE	N/A	N/A
MAXIMUM BUILDING LOT COVERAGE	N/A	N/A
MINIMUM FRONT BUILD TO LINE	10 FT MIN/55 FT MAX BUILDING WIDTH IN BUILD-TO=70%	10 FT MIN/55 FT MAX BUILDING WIDTH IN BUILD-TO=70%
MINIMUM SIDE SETBACK	0 FT - 6 FT	> 6 FT
MINIMUM REAR SETBACK	0 FT - 6 FT	> 6 FT
MAXIMUM BUILDING HEIGHT	35 FT (ZONING CONDITION)	33 FT
PARKING SETBACK	0 FT - 3 FT	>10FT
WATERSHED	NONE - NEUSE RIVER NUTRIENT STRATEGY	
REFERENCE IS MADE TO THE CITY OF RALEIGH ZONING ORDINANCE		

PARKING CALCULATION

ITEM	REQUIREMENTS	PROVIDED
BUILDING SIZE	N/A	2 1-BR UNITS 14 4-BR UNITS 16 TOTAL UNITS
PARKING REQUIRED	1 SPACE PER 1-BR UNIT (2) = 2 4 SPACE PER 4-BR UNIT (14) = 56 TOTAL SPACES REQUIRED = 58	61 SPACES
MIN. PARKING DIM.	8.5 FT x 18 FT	8.5 FT x 18 FT
MIN. DRIVEWAY WIDTH	22 FT	22 FT
HANDICAP SPACES	3	3
LOADING SPACE	N/A	N/A
BICYCLE SPACE	1 PER 20 UNITS = 1, MIN OF 4	5

CITY OF RALEIGH NOTES

- RIGHT-OF-WAY OBSTRUCTION NOTES:
 - LANE AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY LANE OR SIDEWALK OBSTRUCTION, THE CONTRACTOR OR ENGINEER SHALL SUBMIT A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN ALONG WITH A RIGHT-OF-WAY SERVICES APPLICATION TO REQUEST THE OBSTRUCTION PRIOR TO THE START OF WORK. RIGHT-OF-WAY SERVICES@RALEIGHNC.GOV FOR APPROVAL.
 - THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCOT ROAD WITHIN RALEIGH'S JURISDICTION.
 - ALL TRAFFIC CONTROL, SIGNALING AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL AND THE LATEST EDITION OF THE NCOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCOT "SUPPLEMENT TO THE MUTCD.
 - ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
 - ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

CONSTRUCTION DRAWING NOTE

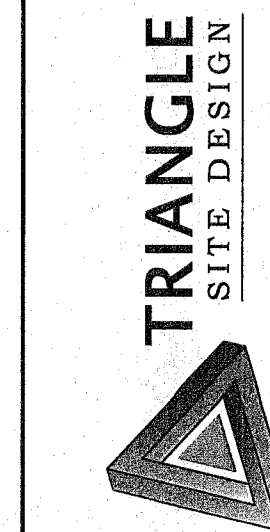
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCOT STANDARDS AND SPECIFICATIONS.

SOLID WASTE NOTES

- SOLID WASTE SERVICES WILL BE PROVIDED BY PRIVATE COMPANY.
- SEE SHEET C1.9 FOR SOLID WASTE DETAILS.

CONDITION OF APPROVAL

A SECURITY FOR ALL PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO ANY MAP RECORDATION OR BUILDING PERMIT, WHICHEVER COMES FIRST.
CITY SURETY REQUIRES 125% OF CONSTRUCTION COSTS ALONG CITY MAINTAINED FRONTAGE AND 100% OF CONSTRUCTION COSTS ALONG THE NCOT MAINTAINED FRONTAGE.



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RALEIGH, NC 27609
(919) 553-6570
mlowder@trianglesitedesign.com
LICENSE #P-0619

OWNER/DEVELOPER:
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Attn. Dane Sambrick
4944 Windy Hill Drive
Raleigh, NC 27609
(919)602-0678
(919)872-9584 fx
dsambrick@sambrick.us

Tryon Flats Apartments
3116 Tryon Road
Raleigh, NC Wake County
ASR-SR-36-2019

This document, together with the concepts and designs presented herein, as an instrument of services, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Triangle Site Design, PLLC shall be without liability to Triangle Site Design, PLLC.

REVISIONS	Date	Revised By	Revised For
1	9/5/16	REVISED PER CITY OF RALEIGH REVIEW	
2	11/6/16	REVISED PER CITY OF RALEIGH REVIEW	

Drawn: [Signature]
Checked: [Signature]
Approved: [Signature]
Project No: 019008
Date: May 31, 2019
Title:

COVER
SHEET

Sheet No.
C0.0

FLOOD ZONE NOTE:
SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE PER
FEMA FLOOD INSURANCE RATE MAP (FIRM) #3720079200, EFFECTIVE DATE MAY
2, 2006. FEMA FIRM MAPS SUBJECT TO CHANGE.



Know what's below
Call before you dig



LINE TABLE		
LINE	LENGTH	BEARING
L1	16.91	N 87°58'10" W
L2	29.72	N 84°55'10" W
L3	29.72	S 85°42'18" E
L4	24.04	S 79°29'10" E
L5	26.51	S 51°42'24" E
L6	15.93	S 72°55'03" E

CURVE TABLE			
CURVE	LENGTH	RADIUS	CHORD
C1	132.60	1387.39	132.55
C2	10.11	1387.39	10.11

DEMOLITION KEYNOTES

- 1 Remove trees and root system
- 2 Remove existing building and foundation
- 3 Remove fence, post, and foundation
- 4 Remove all existing shrubs, and debris
- 5 Remove existing sidewalks
- 6 Remove existing concrete curb
- 7 Remove existing driveway approaches
- 8 Remove existing pavement
- 9 Remove existing utilities - coordinate with appropriate service provider to remove existing service lines

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

CAUTIONARY NOTE

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE BASED ON ABOVE GROUND EVIDENCE OR INFORMATION GATHERED DURING THE FIELD SURVEY PORTION OF THIS PROJECT. AS SUCH, THIS INFORMATION IS SPECULATIVE IN NATURE. ONLY AND SHOULD NOT BE CONSIDERED AS FACT. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF THE UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF ANY AND ALL CONSTRUCTION.

SURVEY NOTES

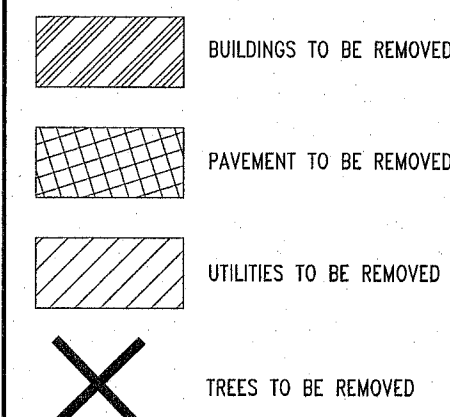
- 1) All distances are horizontal ground distances in u.s. survey feet unless otherwise noted.
- 2) This survey does not include nor depict any environmental evaluations.
- 3) Field survey performed January 8 - January 30, 2019.
- 4) Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence or any other facts that an accurate and current title search may disclose.
- 5) The locations of underground utilities as shown hereon are based on aboveground structures and aboveground visual evidence. Locations of underground utilities/structures may vary from location shown hereon. Additional buried utilities/structures may be encountered. No excavations were made during the progress of this survey to locate buried utilities/structures.
- 6) Subject property is not located within a special flood hazard zone per FEMA Flood Insurance Rate Map (FIRM) # 3720079200, effective date May 2, 2006.
- 7) The State Plane Coordinates for this project were produced with RTK GPS observations and processed using the North Carolina VRS network. The network positional accuracy of the derived positional information is $\pm 0.007'$.

Horizontal Datum = NAD 83/2011
Vertical Datum = NAVD 88

DEMOLITION NOTES

1. ALL WORK TO BE ACCOMPLISHED IN STRICT ACCORDANCE WITH ALL LOCAL ORDINANCES, CITY OR STATE.
2. WITHIN THE SUBJECT PROPERTY, THE INTENT IS TO HAVE A CLEAN, CLEAR SITE, FREE OF ALL EXISTING ITEMS NOTED TO BE REMOVED IN ORDER TO PERMIT THE CONSTRUCTION OF THE NEW PROJECT.
3. ALL ITEMS NOTED TO BE REMOVED BY THE SELLER SHALL BE ACCOMPLISHED PRIOR TO THE CLOSING OF THE REAL ESTATE TRANSACTION. ALL OTHER ITEMS NOTED TO BE REMOVED SHALL BE DONE SO AS PART OF THE CONTRACT FOR GENERAL CONSTRUCTION.
4. REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL.
5. THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF BUILDING DEMOLITION DEBRIS.
6. THE DETAILED PLANS MAY NOT REFLECT ALL UTILITIES ON THE SITE OR SURROUNDING STREETS AND PROPERTIES. THE CONTRACTOR SHALL VERIFY LOCATIONS AND EXISTENCE OF UTILITY SERVICES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL "DIG SAFE" AT 1-800-344-7233, 72 HOURS PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR TO REMOVE ALL UTILITIES TO EXISTING STRUCTURES WHETHER SHOWN OR NOT OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND CAP SERVICE PIPING AT THE PROPERTY LINE OR MAIN (AS REQUIRED). ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN.
8. FOR ALL ITEMS NOTED TO BE REMOVED - REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALL UNDERGROUND ELEMENTS AS WELL INCLUDING BUT NOT NECESSARILY LIMITED TO: FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, OLD PIPES, ETC.
9. BACK FILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK TO MEET THE REQUIREMENTS FOR FILL OUTLINED IN THE GEOTECHNICAL REPORT.
10. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING CONSTRUCTION. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
11. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPES, PAVEMENT, CURBS, SIDEWALKS OR LANDSCAPE AREAS DISTURBED DURING DEMOLITION TO THEIR ORIGINAL CONDITION TO THE SATISFACTION.
12. ALL BUILDINGS, FOUNDATION WALLS AND FOOTINGS INDICATED ON THIS PLAN TO BE REMOVED FROM SITE. CONTRACTOR SHALL SECURE ANY PERMITS AND PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
13. ASBESTOS AND ANY OTHER HAZARDOUS MATERIAL SHALL BE REMOVED BY THE GENERAL CONTRACTOR USING A LICENSED HAZARDOUS MATERIAL CONTRACTOR.

DEMOLITION LEGEND



CITY NOTE:

ANY EXISTING WELLS OR SEPTIC SYSTEMS ENCOUNTERED ON THE PROJECT PARCEL ARE TO BE REMOVED PER WAKE COUNTY STANDARD PROCEDURES AND GUIDELINES.

UTILITY NOTE:

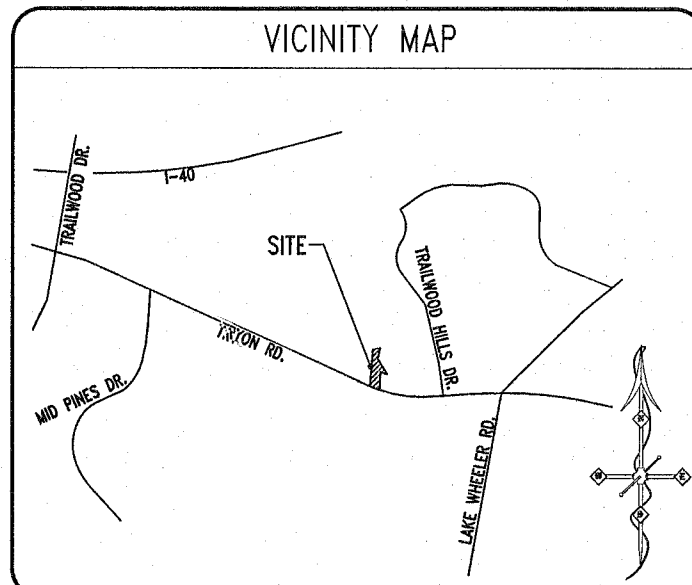
EXISTING UTILITY SERVICES (UNUSED) SHALL BE ABANDONED AT THE TAP (MAIN) AND REMOVED FROM THE RIGHT-OF-WAY OR EASEMENT.

CONSTRUCTION DRAWING NOTE

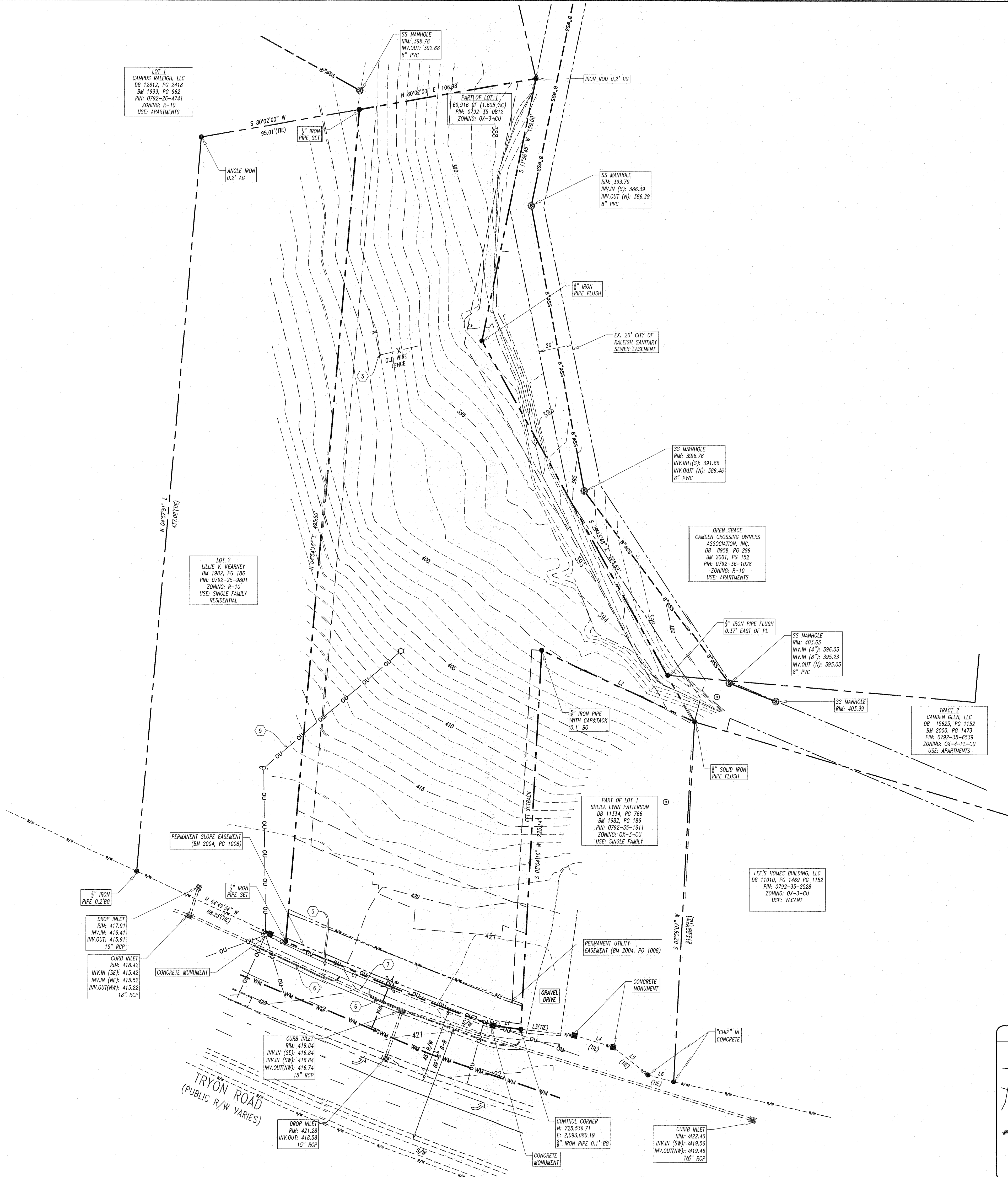
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDDT STANDARDS AND SPECIFICATIONS.

GRAPHIC SCALE: 1 INCH = 30 FEET

VICINITY MAP



TRYON ROAD
(PUBLIC R/W VARIES)



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Tryon Flats Apartments
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REVISIONS		Date	Revised By	City of Raleigh Review
No.	1	8/2/19	Revised By	City of Raleigh Review
No.	2	11/6/19	Revised By	City of Raleigh Review

Drawn: [Signature]
Checked: [Signature]
Approved: [Signature]
Project No: 019008
Date: May 31, 2019
Title: DEMOLITION PLAN

Sheet No. D1.0

REVISIONS	Date	By	Desc.
1	9/5/19	REDESIGNED PER CITY OF RALEIGH REVIEW	
2	11/6/19	REDESIGNED PER CITY OF RALEIGH REVIEW	

Drawn
Checked
Approved
Project No: 019008
Date: May 31, 2019
Title

SITE PLAN

Sheet No.

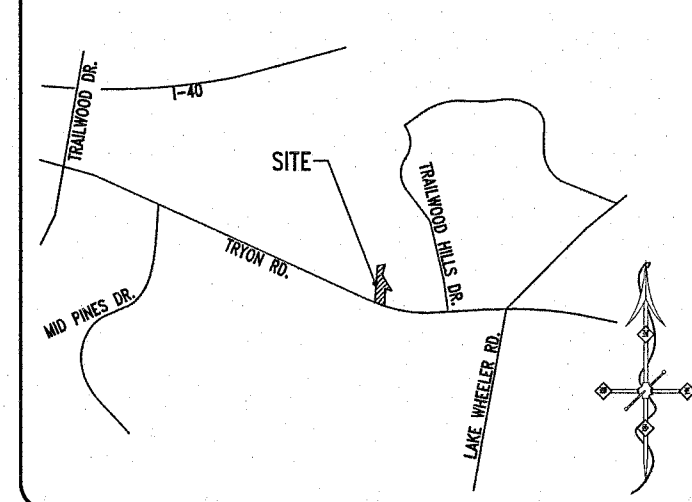
C1.0

- ### SITE KEYNOTES
- DUMPSTER ENCLOSURE - REFER TO DETAIL SHEET C1.9
 - INSTALL NEW CONCRETE PAD OF 4000 PSI BROOM FINISHED CONCRETE WITH 6"x6"x1/8" WWF STEEL REINFORCEMENT. REFER TO DETAIL SHEET
 - ASPHALT PAVEMENT PARKING LINES 4" WIDE PAINTED WHITE
 - CONSTRUCT 6" HIGH CONC. CURB & GUTTER CONTINUOUS AROUND SITE. BACKFILL TO TOP OF CURB. REFER TO DETAIL
 - PROVIDE HANDICAP RAMP PER FEDERAL & LOCAL ACCESSIBILITY REQUIREMENTS. REFER TO DETAIL
 - HANDICAP PARKING SIGN. REFER TO DETAIL SHEET
 - NEW BROOM FINISHED CONCRETE SIDEWALK SLOPED AT 1/8" FT. MAX. FOR POSITIVE DRAINAGE.
 - ASPHALT PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT SPECIFICATIONS.
STANDARD DUTY ASPHALT PAVEMENT
HEAVY DUTY ASPHALT PAVEMENT
CONCRETE PAVEMENT
 - LANDSCAPING - AREA OF NEW SOD.
 - BOLLARDS
 - SEEDING AREA
 - SITE LIGHT
 - PROPOSED PARKING COUNT

IMPERVIOUS AREA SUMMARY

SITE AREA = 67,255 SF (1.54 AC) (AFTER R/W DEDICATION)			
BUILDINGS	11,410 SF	0.26 AC(S)	16.97 % OF TOTAL AREA
PAVEMENT	28,026 SF	0.64 AC(S)	41.67 % OF TOTAL AREA
SIDEWALK	2,455 SF	0.06 AC(S)	3.65 % OF TOTAL AREA
TOTAL IMPERVIOUS AREA	41,891 SF	0.96 AC(S)	62.29 % OF TOTAL AREA
GREEN/OPEN SPACE	25,364 SF	0.58 AC(S)	37.71 % OF TOTAL AREA
EXISTING IMPERVIOUS AREA TO BE DEMOLISHED: 0 SF 0 AC(S)			
NET INCREASE IN IMPERVIOUS: 41,891 SF 0.96 AC(S)			

VICINITY MAP



SIGN LEGEND

LEGEND	QTY.
RESERVED PARKING	3
WV ACCESSIBLE	
STOP	1

PARKING CALCULATION

ITEM	REQUIREMENTS	PROVIDED
BUILDING SIZE	N/A	2 1-BR UNITS 14 4-BR UNITS 16 TOTAL UNITS
PARKING REQUIRED	1 SPACE PER 1-BR UNIT (2) = 2 4 SPACE PER 4-BR UNIT (14) = 56 1 VISITOR SPACE PER 10 UNITS (16) = 2 TOTAL SPACES REQUIRED = 60	61 SPACES
MIN. PARKING DIM.	8.5 FT x 18 FT	8.5 FT x 18 FT
MIN. DRIVEWAY WIDTH	22 FT	22 FT
HANDICAP SPACES	3	3
LOADING SPACE	N/A	N/A
BICYCLE SPACE	1 PER 20 UNITS = 1, MIN OF 4	5

LINE TABLE

LINE	LENGTH	BEARING
1	18.91	N 82°36'10" W
2	99.72	N 64°55'02" W
3	22.04	S 82°36'10" E
4	22.04	S 82°36'10" E
5	26.51	S 51°42'54" E
6	15.35	S 74°39'03" E

CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	132.60	1387.39	N 67°59'54" W	132.55
C2	10.11	1387.39	N 65°03'05" W	10.11

CONSTRUCTION DRAWING NOTE

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

CONDITION OF APPROVAL

A SECURITY FOR ALL PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO ANY MAP RECORDED OR BUILDING PERMIT, WHICHEVER COMES FIRST.
CITY SURETY REQUIRES 125% OF CONSTRUCTION COSTS ALONG CITY MAINTAINED FRONTAGE AND 100% OF CONSTRUCTION COSTS ALONG THE NCDOT MAINTAINED FRONTAGE.

GENERAL NOTES

- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, FLAGMEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY CITY OF RALEIGH AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, FOR DETAILS OF TRAFFIC CONTROL STANDARDS AND DEVICES.
- THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
- APPROVAL OF THESE PLANS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH INSPECTOR.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION "STANDARD DETAILS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND APPLICABLE CITY OF RALEIGH CODES AND ORDINANCES. THE CONTRACTOR SHALL MAINTAIN A CURRENT EDITION OF THE STATE AND LOCAL CODES, ORDINANCES, STANDARD SPECIFICATION AND STANDARD DETAILS ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY. CONTRACTOR SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
- THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT.
- THE CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
- ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TRUCK DOCKS, EXIT DOORWAYS, SIDEWALKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL PAINT STOPPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER LOCAL MUNICIPALITY AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENTS FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
- WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH ENGINEERING STANDARD DRAWING STD #20.11.
- ALL PLANTING ISLANDS WITH A SHADE TREE SHALL BE A MINIMUM OF 350 SQUARE FEET.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

AMENITY AREA CALCULATION

TOTAL AREA:	1.605 AC (67,255 SF)
AMENITY AREA REQUIREMENT:	10% OF PROPERTY 67,255 SF * 10% = 6,726 SF
PROPOSED AMENITY AREA:	6,778 SF+ (10.07%)

ACCESS DRIVE NOTES

No sight obstructing or partially obstructing wall, fence, foliage, berming, parked vehicles or sign between the heights of twenty-four (24) inches and eight (8) feet above the curb line elevation, or the nearest traveled way if no curbing exists, shall be placed within a sight triangle of a public street, private street or driveway contained either on the property or on an adjoining property.
Size of Required Sight Triangles
A sight triangle is that triangle as set forth by the City of Raleigh & North Carolina Department of Transportation's Policy on Street and Driveway Access to North Carolina Highways manual, and all subsequent amendments thereto.
Minimum corner clearance from curb line of intersection streets shall be at least twenty (20) feet from the point of tangency.

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR MINIMUM TO THE START OF THE WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- ANY CONTRACTOR OR PROJECT MANAGER THAT IS WORKING ON A CITY PROJECT SHALL SUBMIT A NOTIFICATION TO THE RIGHT-OF-WAY OBSTRUCTION APPLICATION FOR EMERGENCY/MAINTENANCE WORK PRIOR TO THE START OF THE WORK.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

GENERAL NOTES

- Property line and right-of-way monuments shall not be disturbed by construction. If disturbed, they shall be reset to their original locations at the Contractor's expense by a Registered Land Surveyor.
- Proof of Building and all parking areas. Notify Owner of any unacceptable areas.
- Building dimensions shown on the Civil Engineering Plans are for reference purposes only. Contractor shall use the Architectural and Structural Plans for exact building dimensions.
- All site dimensions are referenced to the back of curb or edge of paving unless otherwise noted.
- All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all municipal and/or State specifications and requirements.
- All disturbance incurred to any adjoining property due to construction or demolition shall be restored to the previous condition or better, and to the satisfaction of the City or State Authority.

BUILD-TO CALCULATION

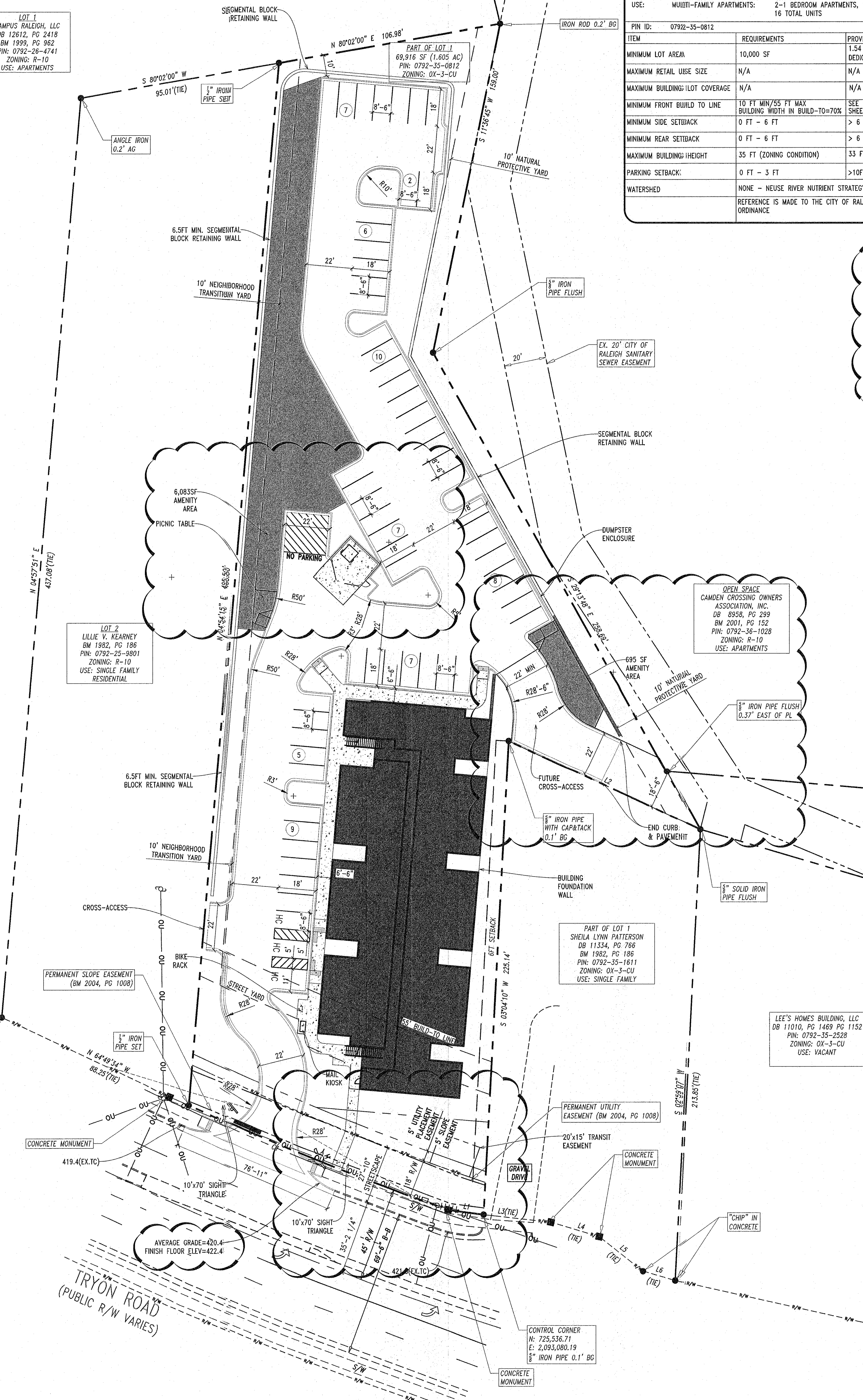
PROPERTY FRONTAGE	149.51'
PROPOSED BUILDING WIDTH	70'
REQUIRED BUILD-TO PERCENTAGE PER UDO	70%
PROVIDED BUILD-TO PERCENTAGE	46.8%

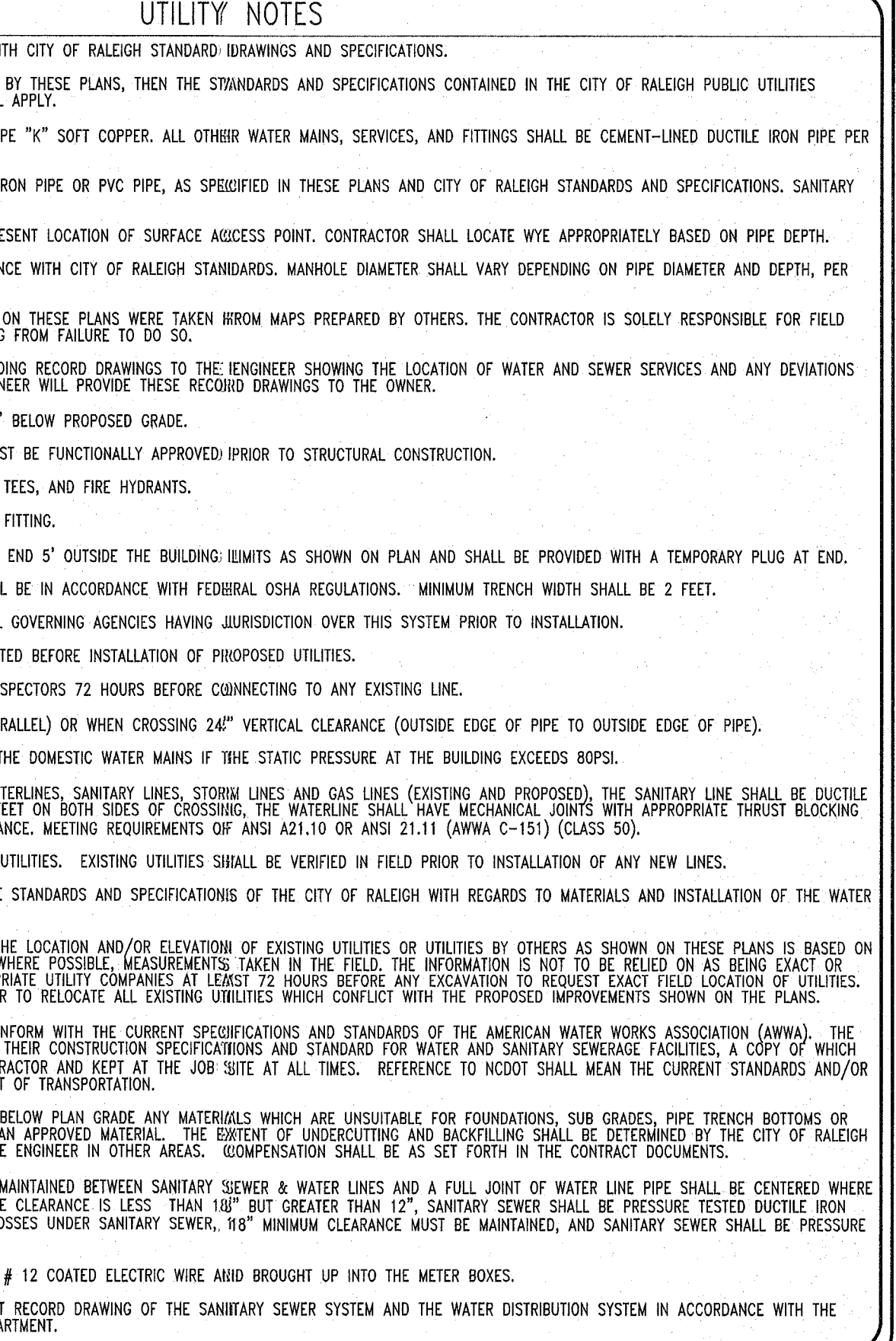
BULK AREA REQUIREMENTS


LOCATION:	3116 TRYON ROAD RALEIGH, NORTH CAROLINA		
ZONE:	OX-3-CU		
USE:	MULTI-FAMILY APARTMENTS: 2-1 BEDROOM APARTMENTS, 14-4 BEDROOM APARTMENTS 16 TOTAL UNITS		
PIN ID:	0792-35-0812		
ITEM	REQUIREMENTS	PROVIDED	
MINIMUM LOT AREA	10,000 SF	1.54 AC (67,255 SF AFTER R/W DEDICATION) (69,916SF-2,661SF)	
MAXIMUM RETAIL USE SIZE	N/A	N/A	
MAXIMUM BUILDING/LOT COVERAGE	N/A	N/A	
MINIMUM FRONT BUILD TO LINE	10 FT MIN/55 FT MAX BUILDING WIDTH IN BUILD-TO=70%	SEE BOA-001302019 NOTE THIS SHEET	
MINIMUM SIDE SETBACK	0 FT - 6 FT	> 6 FT	
MINIMUM REAR SETBACK	0 FT - 6 FT	> 6 FT	
MAXIMUM BUILDING HEIGHT	35 FT (ZONING CONDITION)	33 FT	
PARKING SETBACK:	0 FT - 3 FT	>10FT	
WATERSHED	NONE - NEUSE RIVER NUTRIENT STRATEGY		
	REFERENCE IS MADE TO THE CITY OF RALEIGH ZONING ORDINANCE		

BOA-001302019

Board of Adjustments approved a 30% variance from the 70% minimum building width in the primary built-to requirement set forth in Section 5.2.4.0 of the Unified Development Ordinance to construct an apartment building that results in a 40% building width in the primary built-to on a 1.5-acre property zoned Office Mixed-Use-3 Conditional Use and Special Residential Parking Overlay District located at 3116 Tryon Road.
Board of Adjustments approved the complete relief from the cross-access requirement set forth in 8.3.5.0 of the unified development ordinance and a 6,125 design adjustment from the 3,000' maximum block perimeter requirements set forth in Section 8.3.5.2, that results in a block perimeter of 11,125' to construct an apartment building on a 1.5-acre property zoned Office Mixed-Use-3 Conditional Use and Special Residential Parking Overlay District located at 3116 Tryon Road.








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SITE DESIGN

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Tryon Flats Apartments

3116 Tryon Road

Raleigh, NC Wake County

ASR-SR-36-2019

This document, together with the concepts and designs presented herein, as an instrument of services, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Triangle Site Design, PLLC shall be without liability to Triangle Site Design, PLLC.

REVISIONS		Desc.
No.	Date	
1	9/3/19	REVISED PER CITY OF RALEIGH REVIEW
2	11/6/19	REVISED PER CITY OF RALEIGH REVIEW

Drawn _____

Checked _____

Approved _____

Project No: 019008

Date: May 31, 2019

Title _____

UTILITY

PLAN

Sheet No.

C1.2

Revisions	No.	Date	Desc.
	1	9/26/19	REVISED PER CITY OF RALEIGH REVIEW
	2	11/6/19	REVISED PER CITY OF RALEIGH REVIEW

Drawn
Checked
Approved

Project No: 019008
Date: May 31, 2019

LANDSCAPE PLAN

Sheet No.

C1.10

LANDSCAPE LEGEND		Large deciduous Tree		Evergreen shrub		Type 'E'	
Sod		-Type 'A'		-Type 'B'		-Type 'C'	
See specifications		-Type 'D'		-Type 'F'		-Type 'G'	
		Medium ornamental Tree		Quantity		Type	
		Large Evergreen		-Type 'D'			

GENERAL LANDSCAPE NOTES:					
1. All landscape areas to be grassed to match existing conditions to the extent possible. All landscape areas to be planted in match beds with minimum edge depth to support full grass cover.					
2. All trees and shrubs to be planted in match beds with minimum edge depth to support full grass cover.					
3. Any landscape areas disturbed by construction shall be restored to a depth of 2" graded smooth to allow for positive drainage. For any landscape areas so designated to remain, remove all debris, roots, and stumps. All R.O.M. cuts and patches are to be done by hand.					
4. Fertilized grass in landscape islands shall be installed so that they are 1" lower than the top of the surrounding curbs.					
5. The Contractor shall provide a WATER PERMEABLE WEED MAT for all planting beds.					
6. All plant materials to remain permanent underground automatic irrigation system designed by an irrigation contractor licensed by the State. The Contractor shall provide drainage for approved by the City prior to installation.					
7. Grass and irrigation to extend from property lines to back of city sidewalks and/or curbs.					
8. Install pipe shown when irrigation lines cross or are under pavement. All drains shall be done to the depth of the pipe to be shown.					
9. Test Notes: Select low maintenance hybrid turf from local grower. Test soil for proper pH for select soil. Amend soil with organic material, fertilizer, and field grade. Slope all soil areas. Fill any gaps with sand, water, and soil. Contractor to replace any dead soil within one growing season.					
10. Slope stabilization - Hydrated with compatible turf and sod and sod laid turf: made on all slopes greater than 3:1 on site. If not done, the Contractor shall properly use Hydrated, by Synthetic Industries, or equal. Contractor to report all areas of erosion to satisfaction to maintain proper turf within one year.					

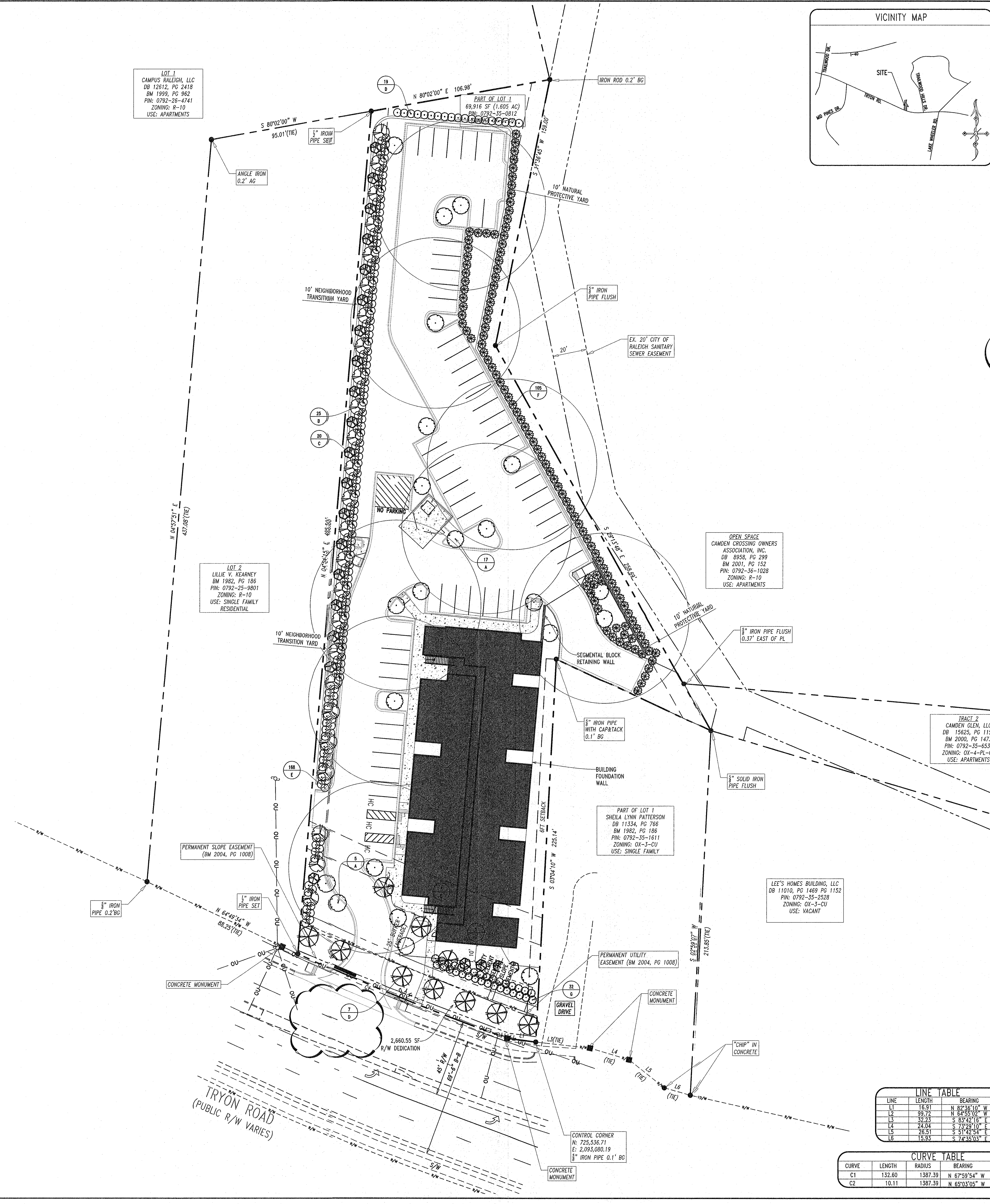
PLANT LIST					
QTY	KEY	BOTANICAL/COMMON NAME	SIZE	ROOT TYPE	REMARKS
17	A	Quercus lyrata 'Highbeam'	3" Cal.	B & B	10' HT
		Overcup Oak			
25	B	Zelkova serrata 'Green View'	3" Cal.	B & B	10' HT
		Japanese Zelkova			
25	C	Magnolia grandiflora	2 1/2" Cal.	B & B	8' - 10' HT
		Southern Magnolia			
10	D	Magnolia grandiflora	3" Cal.	B & B	10' HT
		Southern Magnolia			
168	E	Thuja occidentalis 'Smaragd'	18"	Cont.	3 Gallon
		Indian Hawthorn			
100	F	Boxwood 'Suecia'	24"	Cont.	3 Gallon
		Suecia Holly			
32	G	Lonicera japonica 'Nelly Moser'	24"	Cont.	5' Spacing
		Fringeflower			

LANDSCAPE RELATED ZONING CONDITIONS Z-52-02	
Z-52-02 Tryon Road, north side, being Wake County PINs 0792.10-35-1811, 0792.10-35-1812 and 0792.10-35-2528. Approximately 3.37 acres rezoned to Office and Institution-1 Conditional Use District.	
Conditions Dated: December 4, 2002	
Effective Date: December 18, 2002	
1. With the exception of an access to Tryon Road, a streetyard an average of twentyfive (25) feet in width shall be provided along the right-of-way of Tryon Road (as widened to a 30 foot right-of-way) which shall be landscaped in accordance with SHOD2 quantity and size standards of the Raleigh City Code. The minimum yard width shall be ten (10) feet and maximum yard width shall be forty (40) feet. There shall also be an average of twenty (20) feet natural protective yard located within this street yard to provide tree preservation.	
2. The site shall make available one 20' x 15' transit easement (adjoining the future sidewalk), along Tryon Road to support a bus stop and shelter for future transit services in the area. During site plan approval or subdivision approval of the property, whichever comes first, the Transit Division will review and approve the easement location. This easement shall be allowed to encroach into the streetyard area.	
3. There will be a 10' natural protective yard provided along the Northeastern property line directly adjacent to the Camden Crossing Owners Association Property.	

HVAC SCREENING NOTE	
1. ALL HVAC EQUIPMENT WILL NEED TO BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY AND ADJACENT PROPERTIES.	

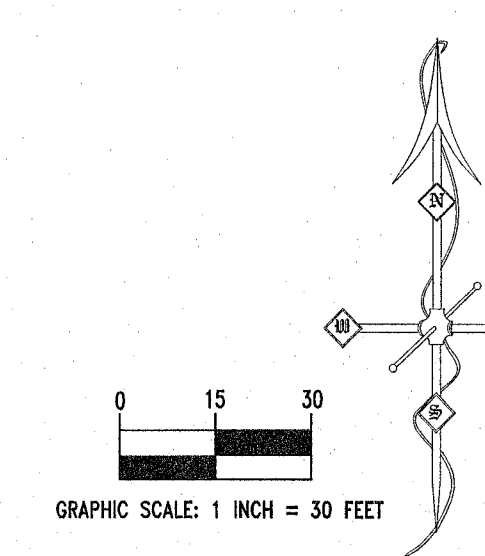
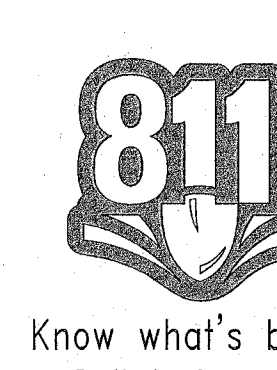
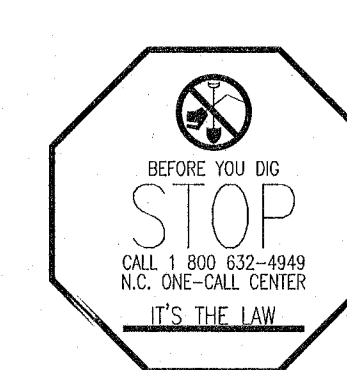
VICINITY MAP	
SITE	

PLANTING REQUIREMENTS	
VEHICLE USE AREA	
PROPOSED VSA=	28,090 SF
REQUIRED TREES:	1 TREE / 2000 SF = 14.05
PROVIDED TREES:	17
REQUIRED PERIMETER SHRUBS:	30 / 100 LF
PROVIDED PERIMETER SHRUBS (NORTH-62.49 LF):	19
PROVIDED PERIMETER SHRUBS (SOUTH):	14 (STREETYARD)
PROVIDED PERIMETER SHRUBS (EAST-350 LF):	105
PROVIDED PERIMETER SHRUBS (WEST):	NEIGHBORHOOD TRANSITION YARD
REQUIRED SURFACE AREA SCREENED FROM THE PUBLIC R/W	
ALL PARKING SPACES ARE LOCATED WITHIN 50' OF A SHADE TREE	
STREET PROTECTIVE YARD:	
25' AVERAGE BUFFER YARD PLANTED PER SHOD-2 STANDARDS (ZONING CONDITION)	
SHOD-2 STANDARDS (149.54 LF ROAD FRONTAGE)	
REQUIRED SHADE TREES:	5 SHADE TREES PER 100 LF
REQUIRED EVERGREEN TREES:	2 EVERGREEN TREES PER 100 LF
REQUIRED UNDERSTORY TREES:	3 UNDERSTORY TREES PER 100 LF
REQUIRED SHRUBS:	16 SHRUBS PER 100 LF (40% MAX DECIDUOUS)
PROVIDED SHADE TREE:	5
PROVIDED EVERGREEN TREE:	3
PROVIDED UNDERSTORY TREES:	5
PROVIDED SHRUBS:	27 (EVERGREEN)
NEIGHBORHOOD TRANSITION YARD (ZONE A):	
PROVIDED 20' TYPE 2 BUFFER	
WEST PROPERTY LINE (455.50'):	
PROPOSED USE:	APARTMENTS
ADJACENT USE:	SINGLE FAMILY RESIDENTIAL
REQUIRED:	6.5' - 8' FENCE OR WALL
REQUIRED SHADE TREES:	5 SHADE TREES PER 100 LF
REQUIRED UNDERSTORY TREES:	4 UNDERSTORY TREES PER 100 LF
REQUIRED SHRUBS:	30 SHRUBS PER 100 LF
PROVIDED SHADE TREES:	20
PROVIDED UNDERSTORY TREES:	20
PROVIDED SHRUBS:	168
STREET TREES:	
TREES PLANTED IN NCOT RIGHT-OF-WAY	
REQUIRED TREES:	1 TREE PER 20LF
PROVIDED TREES:	7 EVERGREEN UNDERSTORY TREES



LINE TABLE	
LINE	LENGTH
L1	16.91
L2	39.72
L3	32.25
L4	24.04
L5	26.51
L6	15.93

CURVE TABLE	
CURVE	LENGTH
C1	132.60
C2	10.11





SAMBRICK



11031 TRYON ROAD RALEIGH NC



SAMBRICK

RIGHT SIDE ELEVATION

11031 TRYON ROAD RALEIGH NC



Tryon Flats Apartments
3116 Tryon Road
Raleigh, NC Wake County
SR-__-18, Transaction# _____

[illegible]

BUILDING ELEVATIONS

Sheet No. _____

A-1