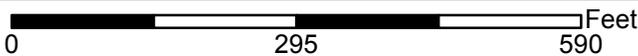
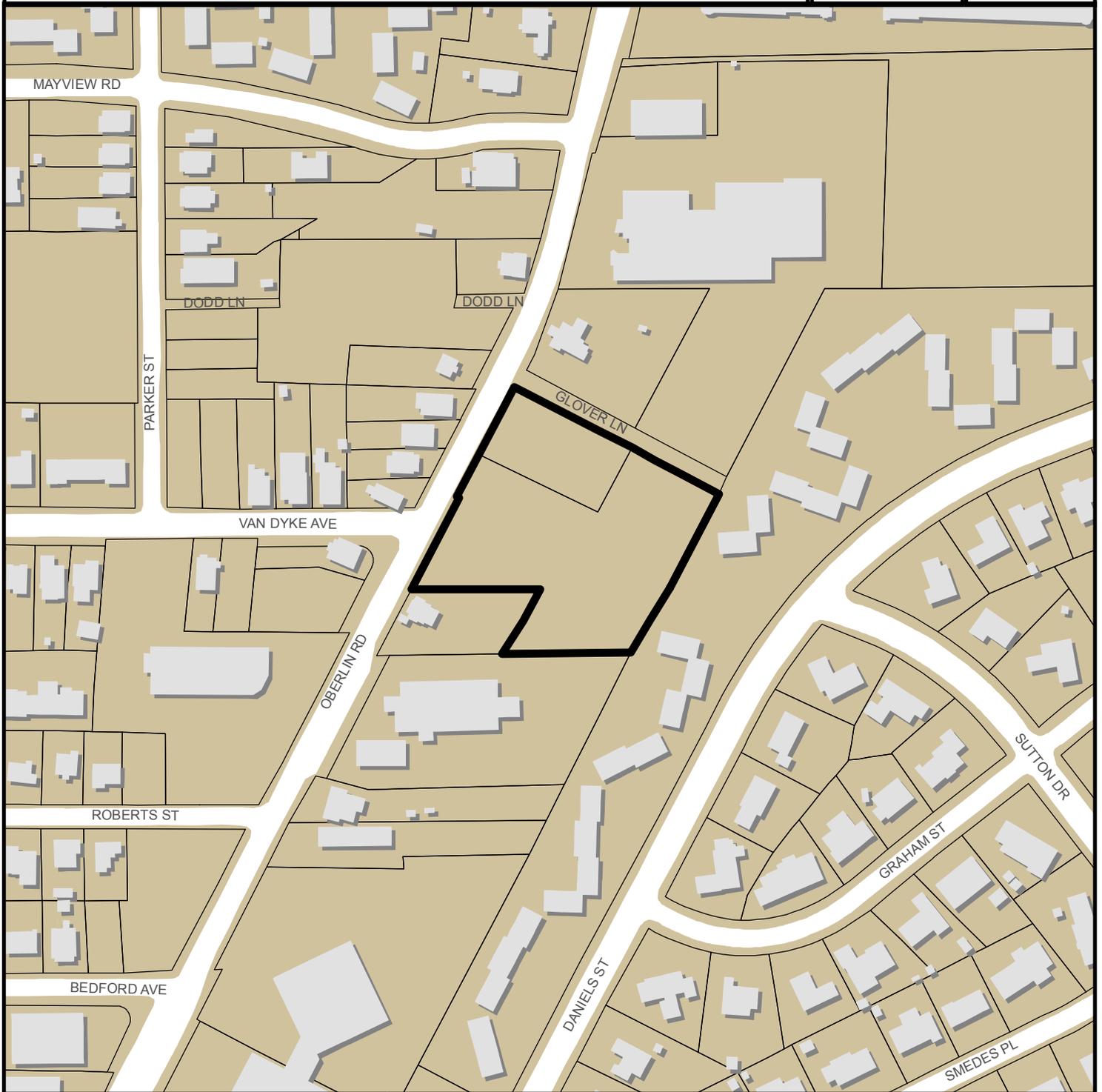


OBERLIN CONDOMINIUM SR-38-2017



Zoning: **RX-3-CU**
CAC: **Hillsborough**
Drainage Basin: **Pigeon House**
Acreage: **2.17**
Sq. Ft.: **71,400**

Planner: **Michael Walters**
Phone: **(919) 996-2636**

Applicant: **Chad Stelmok**
Phone: **(919) 271-6884**





Administrative Action Administrative Site Review

City of Raleigh
Development Plans Review Center
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
www.raleighnc.gov

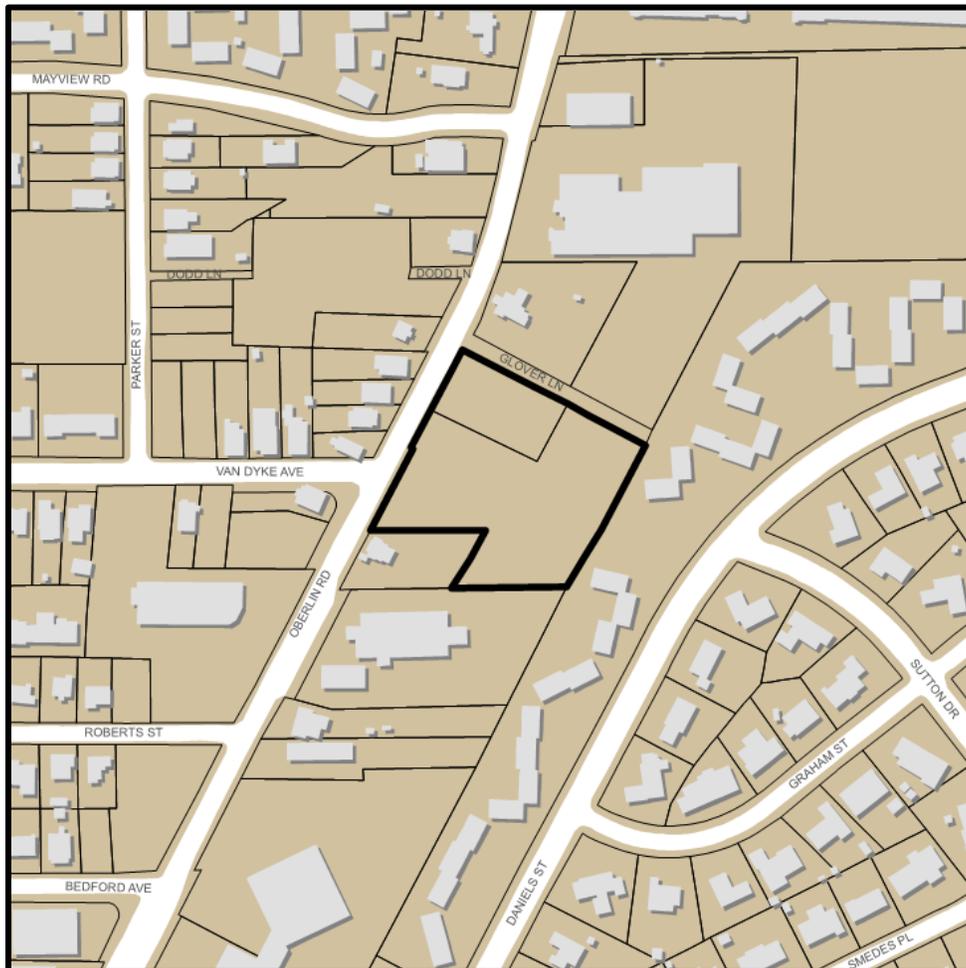
Case File / Name: SR-38-17 / 904 Oberlin

General Location: This site is located on the east side of Oberlin Road at the intersection of Oberlin Road and Van Dyke Avenue.

CAC: Hillsborough

Request: Development of two lots, totaling 2.17 acres, zoned RX-3-CU (Residential Mixed Use – 3 – Conditional Use). Proposed are four apartment type buildings and two townhome type buildings containing a total of 24 dwelling units. The buildings will be of two and three story height measuring a cumulative 71,400 square feet in size. Note a previously approved development plan on this site (case SR-7-16) is to be withdrawn by the developer.

Cross-Reference: Z-36-14, TR# 510101, AAD-013-17



SR-38-17 Location Map

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	904 Oberlin	Date completed Application received	5/5/17
	Case Number	SR-38-2017	Transaction Number	510101

DEPARTMENT RESPONSE/RECOMMENDATION	Staff SUPPORTS the Design Adjustment based upon the findings in these applicable code:			
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input type="checkbox"/> UDO Art. 8.4 New Streets		
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	<input type="checkbox"/> Raleigh Street Design Manual	<input type="checkbox"/> Other	
	DEPARTMENT	REPRESENTATIVE SIGNATURE	DEPARTMENT	REPRESENTATIVE SIGNATURE
	<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering	Cadell Hall	<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services		<input checked="" type="checkbox"/> PRCR	Zach Manor
	<input type="checkbox"/> Public Utilities			
<p>Findings: Staff is in support of the design adjustment request for the alternate streetscape along Oberlin Rd. The existing sidewalks along Oberlin Rd will remain and the applicant will plant behind the sidewalks within the right-of-way.</p> <p>Staff is also in support of the design adjustment request from the UDO 8.3 block perimeter requirement of 3,000 LF. With this development, half of the pavement section Glover Ln is being constructed with this which will ultimately contribute to the block of the subject parcel.</p> <p>The original design adjustment was submitted with SR-7-16 (461480)</p>				

Development Services Director or Designee Action: Approve Approval with Conditions Deny

Authorized Signature **KENNETH W. RITCHIE, PE** 5/17/2017
ENGINEERING MANAGER Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.

CONDITIONS	
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Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).



Planning and Development Director Action

Administrative Alternate Findings:

UDO Section 1.5.6 Build-to

The Planning and Development Officer may in accordance with Sec. 10.2.17, reduce the build-to requirement, subject to all of the following findings:

1. The approved alternate meets the intent of the build-to regulations;
Staff Response: The approved alternate meets the intent of the build-to regulations. The alternate provides a pedestrian amenity area, and a transit easement, which, in combination with the building's 37 percent coverage of the lot width, creates a build-to coverage of over 70 percent. The approved alternate also respects the established historic character of the adjacent properties to the north and south.
2. The approved alternate conforms with the Comprehensive Plan and adopted City plans; and
Staff Response: The approved alternate conforms with a number of Comprehensive Plan policies, including, but not limited to, the following:
 - LU 5.1: Reinforcing the Urban Pattern
 - UD 1.4: Maintaining Façade Lines
 - UD 4.1: Public Gathering Spaces
 - UD 5.1: Contextual Design
 - HP 2.7: Mitigating Impacts on Historic Sites
3. The approved alternate does not substantially negatively alter the character-defining street wall or establish a build-to pattern that is not harmonious with the existing built context;
Staff Response: There is no character-defining street wall along Oberlin Road. Instead, the road contains a mixture of historic homes and suburban office developments. The ample landscaping and amenity area is harmonious with the existing built context, and the placement of buildings is harmonious with the historic character of the properties to the north and south.
4. The change in percentage of building that occupies the build-to area or increased setback does not negatively impact pedestrian access, comfort or safety; and
Staff Response: The approved alternate improves pedestrian access and comfort along Oberlin Road. A pedestrian path is provided along the property's northern edge, which would allow for potential pedestrian connections to the block east of the property.
5. Site area that would have otherwise been occupied by buildings is converted to an outdoor amenity area under Sec. 1.5.3.B.

Staff Response: The approved alternate consists of outdoor amenity area and pedestrian spaces that are within the build-to range.

Decision The Planning and Development Director finds that the requested alternate generally meets the findings enumerated in the Unified Development Ordinance.

Signature

5/10/17

Date

Code Conformance:		Code Section(s)
Zoning District:	RX-3-CU (Residential Mixed Use-3- Conditional Uses), Z-36-14	3.4
Overlay District:	NA	
Parking:	<p>Vehicular Required = 68 spaces (w/ an allowed 10% reduction for a transit stop), Proposed = 74 spaces;</p> <p>Bicycle Parking Required = 1 short term space/20 units (minimum 4) Proposed (public spaces) = 5</p>	7.1.2
Street Type(s):	<p>Oberlin Road – ½ of 80' R/W is to be dedicated for Oberlin Road, which is classified as Avenue 2-Lane Divided.</p> <p>Glover Lane – ½ of a 55' R/W is to be dedicated (existing is a 25' R/W and a gravel drive) . ½ of a 27' B/B street is proposed.</p>	8.4
Streetscape:	<p>Oberlin Road - Due to the existing infrastructure, an alternative streetscape has been approved via a design adjustment. The placement of required street trees along Oberlin Road is being allowed outside of the normal 6' planting street. Also, due to existing overhead power lines, understory tree plantings are being proposed and have been noted in the design adjustment as well. Additional 1' of sidewalk width required will be met via a fee in lieu along Oberlin Road.</p> <p>Glover Lane (proposed) – Commercial. (8.5.2) along with a proposed 10' sidewalk/passageway (as per condition # 12 of Z-36-14, a portion of which is proposed outside of the Right of Way. An encroachment agreement is required for this portion of the 10' passageway.</p>	8.5 & Design Adjustment
Setbacks/Frontage:	<p>Front – along the Oberlin Road Frontage (min. 11' 6", as per Z-36-14, cond. # 9). corner, side - From Glover Lane- 5' minimum. From adjacent side, 0 or 6' rear – 0' or 6'</p>	3.2,4 , Z-36-14
Neighborhood Transitions:	NA	3.5
Transitional Protective Yards:	NA	7.2.4

Stormwater:	The site is subject to Stormwater Control regulations under Article 9.2 of the UDO. Shared underground detention system will be utilized to address runoff control compliance. A shared underground sand filter and buy down will address Water Quality regulations.	9.2
Tree Conservation:	As each individual lot is less than two acres in size therefore exempt from Article 9.1, Tree Conservation.	9.1
Variances, Design Adjustments, Administrative Alternates:	<p>Design Adjustment approved by the Public Works Director waiving the Block perimeter requirement, and allowing an alternative street section along Oberlin Road.</p> <p>An Administrative Alternate (AAD-13-17) allowing pedestrian amenity area and transit easement to meet the 70% Build To % along Oberlin Road.</p>	
Other:	<p>Existing fire hydrant at intersection of Oberlin Road and Glover Lane is to be removed and a new hydrant relocated.</p> <p>The existing power pole at the intersection of Oberlin Road and Glover Lane is to be relocated.</p>	

Ordinance (2015) 520 ZC 720
Effective: 11/17/15

Z-36-14 – Oberlin Road: east side, south of its intersection with Glover Lane, approximately 2.14 acres rezoned to Residential Mixed Use-3 stories-Conditional Use (RX-3-CU), being Wake County PINs 1704046518, 1704046655, 1704046787, 1704047531, 1704048636, and 1704047407.

Conditions dated: November 5, 2015

1. The maximum residential density on the property shall be fourteen (14) units per acre.

Proposed = 11 units/acre

2. The following principal uses listed in Allowed Principal Use Table (UDO Section 6.1.4) shall be prohibited: medical – all types; office – all types; personal service – all types; eating establishment; retail sales – all types.

Proposed = residential use

3. There shall be a minimum of three buildings on the property, and the front façade of at least two of these buildings shall be located within the area between the Oberlin Road public right-of-way and the maximum build-to line along Oberlin Road.

As per plan

4. There shall be no parking area located between the Oberlin Road public right-of-way and the front facade of those buildings located within that area between the Oberlin Road public right-of-way and the maximum build-to line along Oberlin Road.

As per plan

5. The maximum building footprint for any single building shall be 8,000 square feet, as defined as the gross floor area of the first above-grade story of the building.

As per plan

6. Each building with a front façade located within that area between the Oberlin Road public right-of-way and the maximum build-to along Oberlin Road shall have a primary entrance on the front façade of the building facing Oberlin Road.

As per plan (Sheet P1.0)

7. Prior to the issuance of a building permit for new development or the recordation of any subdivided lot, which event first occurs, a transit easement shall be deeded to the City and recorded in the Wake County Registry. Prior to recordation of easement, the dimensions (not to exceed 15 feet in depth and 20 feet in width) and location of the easement along Oberlin Road shall be approved by the Public Works Department and the easement document approved by the City Attorney's Office.

Condition of Approval

8. This condition shall apply only to those new buildings with a front façade located within that area between the Oberlin Road public right-of-way and the maximum build-to along Oberlin Road. The maximum roof eave height as measured along the front facade of the building shall be twenty-five (25) feet, and the building shall have a pitched roof with a minimum pitch of 8:12 and a maximum pitch of 12:12. This maximum roof eave height of twenty-five (25) feet shall also apply to each side façade of the building, extending for a depth of at least fifteen (15) from the front façade, but in no event to a point less than thirty-five (35) feet from the Oberlin Road public right-of-way line existing as of the date of this rezoning ordinance. So long as the minimum depth of at least fifteen (15) feet along the side façades is met, this condition shall not apply to those portions of a building located beyond that Ordinance (2015) 520 ZC 720 Effective: 11/17/15 area measuring thirty-five (35) feet in depth adjacent to the Oberlin Road public right-of-way line existing as of the date of this rezoning ordinance. However, in no event shall the buildings subject to this condition exceed two stories in height and thirty-four (34) feet in height.

Condition of approval - Reviewed with Building Permit Issuance

9. No principal building shall be constructed any closer to the Oberlin Road public right-of-way line existing as of the date of this rezoning ordinance than eleven feet and six inches (11' 6").

As per Plan

10. The minimum distance between the Plummer T. Hall house structure (located on the property described in that deed recorded in Book 15420, Page 2241, Wake County Registry) and any new building with a front façade located within that area between the Oberlin Road public right-of-way and the maximum build-to area along Oberlin Road shall be sixty (60) feet. The distance between such new building and the Plummer T. Hall house shall be determined at the time of building permit issuance for the new building, and any subsequent movement of the Plummer T. Hall house shall not render the building on the property subject to this zoning condition nonconforming.

Proposed distance = 102.37'

11. Each building with a front façade located within that area between the Oberlin Road public right-of-way and the maximum build-to along Oberlin Road shall incorporate a porch or stoop on the front facade of the building.

As per plan (Sheet P1.0, and A1.0)

12. In the event text change TC-8-15 is adopted, this condition shall apply: (i) The property shall not be subject to the block perimeter requirements of UDO section 8.3.2 or any other provision of UDO Article 8 that would require a public street within the property that would provide a future public street connection between Oberlin Road and Daniels Street; and (ii) A sidewalk a minimum eight (8) feet in width shall be provided on or along the property that connects the sidewalk along Oberlin Road with the property's eastern boundary line adjacent to the Cameron Village Condominiums II property (described in Exhibit A to that Declaration recorded in Book 3426, Page 286, Wake County Registry, with Wake County PIN 1704-04-9530).

As per plan

13. Stucco shall be prohibited as a building siding material.

Condition of approval - Reviewed with Building Permit Issuance

OFFICIAL ACTION: Approval with conditions

CONDITIONS OF APPROVAL:

Prior to issuance of a mass land disturbing permit for the site:

1. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;
2. That the original approved preliminary site plan for this parcel (SR-7-16) is withdrawn;

Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable:

3. That a stormwater control plan with a Stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance, including the designation of buffer areas and open space areas for stormwater purposes prior to grading or the approval of construction drawings whichever event comes first;
4. That a nitrogen offset payment must be made to a qualifying mitigation bank;
5. That construction plans for the shared stormwater devices be submitted and approved by the City;
6. That a Stormwater Design Exception be obtained for the proposed offsite Stormwater Pipe to be located within an existing 10' Utility Easement (DB16434, PG1195);

Prior to issuance of building permits:

7. That the Public Works Department approve a public sidewalk easement for any portion of the 10' public sidewalk along Glover Lane located within private property;
8. That a fee in lieu is to be paid for an additional 1' of sidewalk width along Oberlin Road;
9. That a fee in lieu is to be paid for three street trees;
10. That in accordance with Part 10A Section 8.1.3, a surety equal to 125% of the cost of development related improvements, ½ of a 27' back to back street, including streetscape trees along Glover Lane, and streetscape trees along Oberlin Road, is paid to the Public Works Department;
11. That the rooftop stairway access structures on the site plan elevations are labeled as such, include a description of use, and are shown to comply with Section 1.5.7 D of the Unified Development Ordinance;
12. That the City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document be provided to the City by the end of the next business day following recordation; further recordings and building permit authorization will be withheld if the recorded document is not provided to the City;
13. That the City form document entitled Declaration of City of Raleigh Required City Code Provisions for Developments with Common Elements and Common Expenses shall be recorded with the county register of deeds office where the property is located and a copy of the recorded documents be provided to the City by the end of the next business day following recordation; further recordings and building permit authorization will be withheld if the recorded document is not provided to City;
14. That the developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans;
15. That in accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device is paid to the City;
16. That a recombination map be recorded relocating existing lot lines as shown on the preliminary plan;
17. That all stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements and the plats shall contain the following note: "All private storm drainage easements & stormwater measures will be maintained by the property owners association;"
18. That all conditions of Z-36-14 are complied with;

19. That 1/2 of the required 80' right of way for Oberlin Road, and that 1/2 of the required 55" right of way for Glover Lane is dedicated to the City of Raleigh and a copy of the recorded plat be provided to the City prior to building permit issuance;
20. That Infrastructure Construction Plans or Concurrent Review Plans are approved by the City of Raleigh;
21. That a right-of-way obstruction permit is obtained from Right-of-way Services for any construction activity within the right-of-way;
22. That a 15' x 20' transit easement located along Oberlin Road be approved by the Transit Planner, be shown on all maps for recording, and that a transit easement deed approved by the City is recorded with the local County Register of Deeds. That the recorded copy of this transit easement be provided to the City prior to building permit approval;
23. That all proposed outdoor lighting will meet the standards of Section 7.4 of the Unified Development Ordinance;
24. That all mechanical equipment must be located and shown on the plan and will meet the screening standards of section 7.2.5 of the Unified Development Ordinance;
25. That a cross access easement and a shared parking agreement between the two lots to comprise this development be recorded in the Wake County Registry, and that a copy of the recorded legal documents be returned to the City prior to building permit issuance;
26. That a Tree Impact Permit approved by the City Forestry Specialist is obtained by the developer;

Prior to issuance of building occupancy permit:

27. That in accordance with Part 10A Section 9.2.2, an as-built plan and certification any stormwater control device shall be reviewed and accepted by the City prior to final stormwater inspection approval or certificate.

I hereby certify this administrative decision.

Signed: (Planning Dir.) Kenneth Bowers Date: 7/6/17
(BT)

Staff Coordinator: Michael Walters

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.

FINDINGS: City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 4/6/2017 with revisions dated 5/23/17, submitted by B. Taylor Blakely, Blakely Design Group.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 7-6-2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

WHAT NEXT?:

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.

**Administrative Site Review Application
(for UDO Districts only)**



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | Fax 919-996-1813
Litchford Satellite Office | 1120 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Transaction Number
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Assigned Project Coordinator
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot	Assigned Team Leader
<input type="checkbox"/> Townhouse		

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # _____

GENERAL INFORMATION

Development Name: **904 Oberlin**

Zoning District: **RX-3-CU** Overlay District (if applicable): _____ Inside City Limits? Yes No

Proposed Use: **Residential Condos**

Property Address: **904 Oberlin Road** Major Street Locator: **south of wade ave**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. **1704-04-6793** P.I.N. **1704-0407529** P.I.N. _____ P.I.N. _____

What is your project type? Apartment Elderly Facilities Hospitals Assisted Living Office

Mixed Residential Non-Residential Condo School Shopping Center Banks Industrial Building

Duplex Accommodation/Tour Religious Institutions Retail Rental Cottage Court

Other: If other, please describe _____

WORK SCOPE

Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.

24 Residential Condos

DESIGN ADJUSTMENT OR ADMIN ALTERNATE

Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10- Alternate Administrative Act

Design Adjustment for Glover Lane and Oberlin Road

CLIENT/DEVELOPER/OWNER

Company: **904 The Oberlin, LLC** Name ID: **Chad Stelmok**

Address: **7100 Six Forks Rd, Ste 100, Raleigh, NC 27615**

Phone: **919-271-6884** Email: **chad@kdgroupinc.com** Fax: **N/A**

CONSULTANT (Contact Person for Plans)

Company: **Blakely Design Group** Name ID: **Taylor Blakely**

Address: **700 Exposition Place, Ste 105, Raleigh, NC 27615**

Phone: **919-870-1868** Email: **taylor@blakelydesign.net** Fax: **N/A**

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SITE PLANS

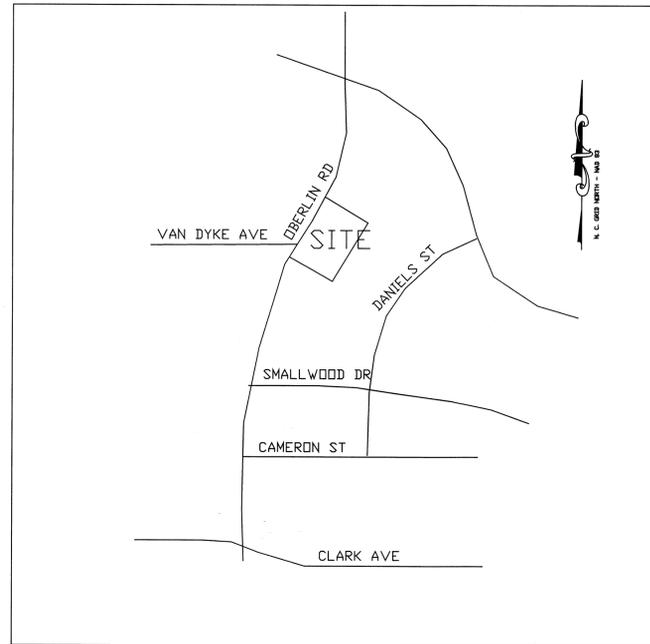
904 OBERLIN CONDOS

904 OBERLIN ROAD

SR-38-17 TRANS. # 510101

INDEX OF SHEETS

EXISTING CONDITIONS	EX.0
SITE PLAN	C1.0
GRADING & DRAINAGE PLAN	C2.0
SAND/DETENTION TANK DETAILS	C2.1
LANDSCAPE PLAN	C3.0
OUTDOOR AMENITY PLAN	C3.1
UTILITY PLAN	C4.0
WATER DETAILS	C4.2
SEWER DETAILS	C4.3
CONSTRUCTION DETAILS	C6.0
CONSTRUCTION DETAILS	C6.1
PRE-DEV STORMWATER	C7.0
POST-DEV STORMWATER	C7.1
NITROGEN STORMWATER	C7.2
PARKING LAYOUT SHEET	P1.0
PRELIM BUILDING ELEVATIONS	A1.0 - A2.3
RECORDED PLAT	C8.0



VICINITY MAP
NOT TO SCALE

PLANS PREPARED BY

BLAKELY DESIGN GROUP
700 EXPOSITION PLACE, SUITE 105
RALEIGH, N. C. 27615
(919) 870-1868 FAX 870-0752
taylor@blakelydesign.net

WILLIAM C. PIVER, PE, LEED AP
Development Engineering
2709 Scottsdale Lane, Raleigh, N.C. 27613
bill_piver@yahoo.com (919) 880-4217

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information		Building Information	
Zoning District(s): RX-3-CU		Proposed building use(s): Residential Condos	
If more than one district, provide the acreage of each:		Existing building(s) sq. ft. gross:	
Overlay District:		Proposed building(s) sq. ft. gross:	71,400
Total Site Acres: Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No: 2.17 Acres		Total sq. ft. gross (existing & proposed):	71,400
Off street parking: Required: 68 Provided: 74		Proposed height of building(s):	34' & 50'
COA (Certificate of Appropriateness) case #:		# of stories: 2 & 3 story	
BOA (Board of Adjustment) case #:		CEILING height of 1 st Floor: 10'	
CUD (Conditional Use District) case #:	36-14		

Stormwater Information

Existing Impervious Surface: acres/square feet Flood Hazard Area: Yes No

Proposed Impervious Surface: acres/square feet If Yes, please provide: _____

Nearby river/buffer: Yes No Wetlands: Yes No Flood Study: _____ FEMA Map Panel # _____

FOR RESIDENTIAL DEVELOPMENTS

1. Total # of Apartment, Condominium or Residential Units: 24	5. Bedroom Units: 1br <input type="checkbox"/> 2br <input type="checkbox"/> 3br <input type="checkbox"/> 4br or more: 1
2. Total # of Congregate Care or Life Care Dwelling Units: _____	6. Infill Development: 2.7
3. Total Number of Hotel Units: _____	7. Open Space (only) or Amenity: 10%
4. Overall Total # of Dwelling Units (1-6 Above): 24	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and affirm that this project is conforming to all application requirements applicable with the proposed development use and signs (both and severally) to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate _____ to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: *[Signature]* Date: **5/1/17**

Printed Name: **CHAD STELMOK**

Signed: _____ Date: _____

Printed Name: _____

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

Conditional Use District Zoning Conditions

Zoning Case Number: **Z-38-14** OFFICE USE ONLY

Date Submitted: **November 11, 2015** Transaction Number: _____

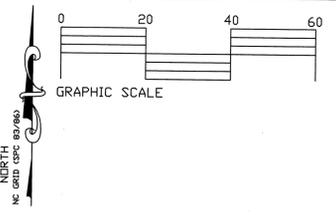
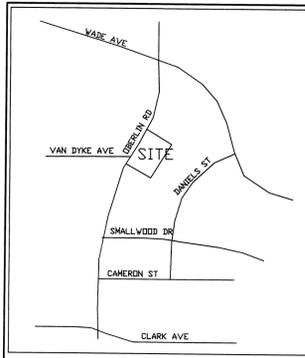
Existing Zoning: **Residential-4 with NCCD** Proposed Zoning: **RX-3-CU**

- NARRATIVE OF ZONING CONDITIONS OFFERED**
- The maximum residential density on the property shall be fourteen (14) units per acre.
 - The following principal uses listed in Allowed Principal Use Table (UDO Section 6.1.4) shall be prohibited: medical - all types; office - all types; personal service - all types; eating establishment; retail sales - all types.
 - There shall be a minimum of three buildings on the property, and the front facade of at least two of those buildings shall be located within the area between the Oberlin Road public right-of-way and the maximum build-to line along Oberlin Road.
 - There shall be no parking area located between the Oberlin Road public right-of-way and the maximum build-to line along Oberlin Road.
 - The maximum building footprint for any single building shall be 8,000 square feet, as defined as the gross floor area of the first above-grade story of the building.
 - Each building with a front facade located within that area between the Oberlin Road public right-of-way and the maximum build-to line along Oberlin Road shall have a primary entrance on the front facade of the building facing Oberlin Road.
 - Prior to the issuance of a building permit for new development or the recordation of any subdivided lot, whichever event first occurs, the dimensions (not to exceed 15 feet in depth and 20 feet in width) and location of the easement along Oberlin Road shall be approved by the Public Works Department and the easement document approved by the City Attorney's Office.
 - This condition shall apply only to those new buildings with a front facade located within that area between the Oberlin Road public right-of-way and the maximum build-to line along Oberlin Road. The maximum roof eave height as measured along the front facade of the building shall be twenty-five (25) feet, and the building shall have a pitched roof with a minimum pitch of 8:12 and a maximum pitch of 12:12. This maximum roof eave height (25 feet) shall also apply to each side facade of the building, extending for a depth of at least fifteen (15) feet from the front facade, but in no event to a point less than thirty-five (35) feet from the Oberlin Road public right-of-way line existing as of the date of this rezoning ordinance. So long as the minimum depth of at least fifteen (15) feet along the side facades is met, this condition shall not apply to those portions of a building located beyond that area measuring thirty-five (35) feet in depth adjacent to the Oberlin Road public right-of-way line existing as of the date of this rezoning ordinance. However, in no event shall the building be subject to this condition exceed two stories in height and thirty-four (34) feet in height.
 - No principal building shall be constructed any closer to the Oberlin Road public right-of-way line existing as of the date of this rezoning ordinance than eleven feet and six inches (11' 6").
 - The minimum distance between the Plummer T. Hall house structure (located on the property described in that deed recorded in Book 15420, Page 2241, Wake County Registry) and any new building with a front facade located within that area between the Oberlin Road public right-of-way and the maximum build-to line along Oberlin Road shall be sixty (60) feet. The distance between such new building and the Plummer T. Hall house shall be determined at the time of building permit issuance for the new building, and any subsequent movement of the Plummer T. Hall house shall not render the building on the property subject to this zoning condition nonconforming.
 - Each building with a front facade located within that area between the Oberlin Road public right-of-way and the maximum build-to line along Oberlin Road shall incorporate a porch or stoop on the front facade of the building.
 - In the event a land charge (such as TC-815) is adopted that authorizes City Council to approve zoning conditions prohibiting cross-access or public street connections or extensions: (i) The property shall not be required to provide a public street within the property that would provide a future public street connection between Oberlin Road and Daniels Street; and (ii) A pedestrian passage shall be provided on or along the property that connects the sidewalk along Oberlin Road with the property's eastern boundary line adjacent to the Cameron Village Condominiums II property (described in Exhibit A to that Declaration recorded in Book 3426, Page 286, Wake County Registry, with Wake County PIR 1704-04-6230).
 - Synthetic stucco (EPS) shall be prohibited as a building siding material.

SOLID WASTE SERVICES STATEMENT

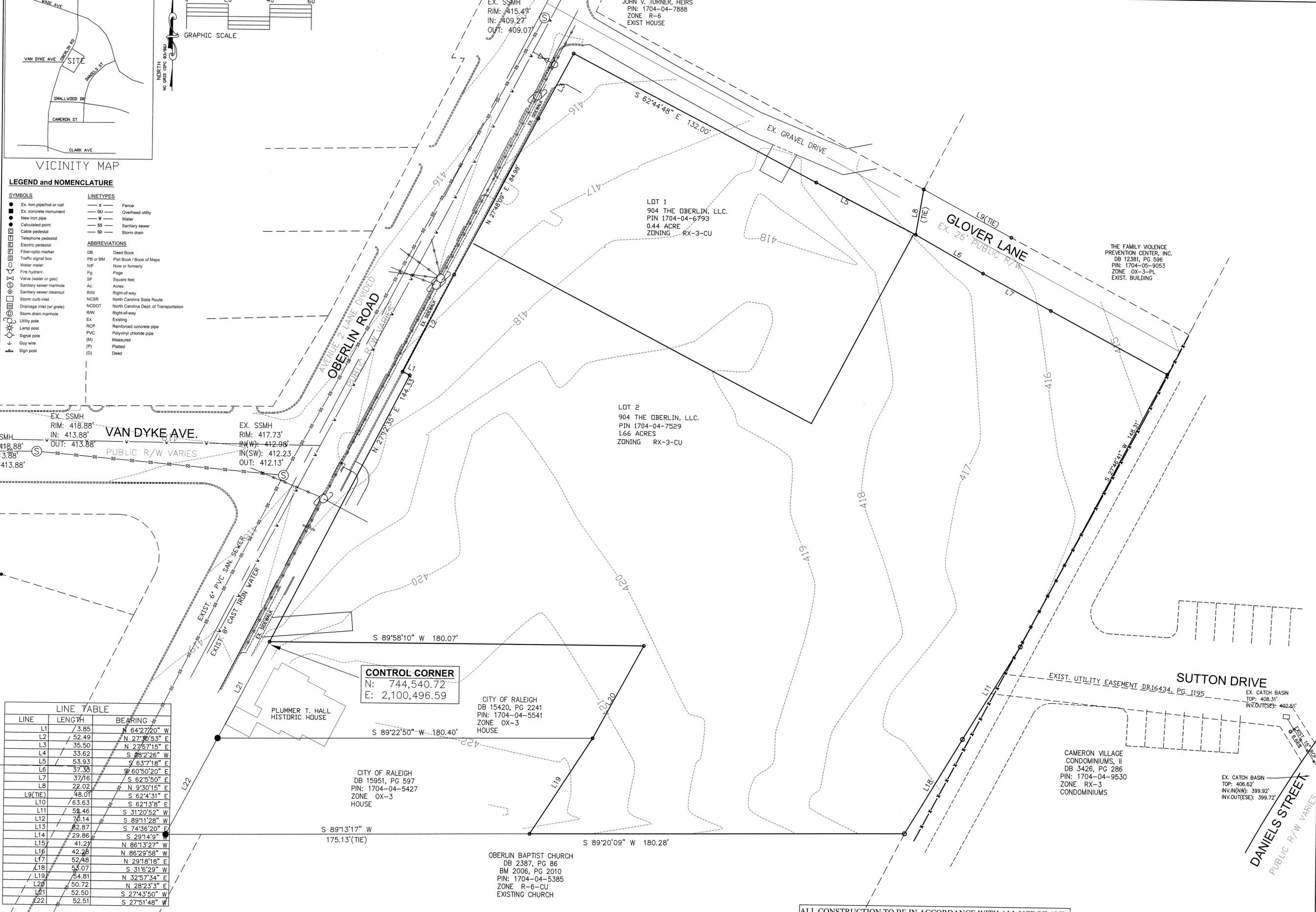
THIS SITE IS NOT PROPOSING A DUMPSITE.
THE OWNER AND DESIGNER HAVE REVIEWED THE CITY OF RALEIGH
*SOLID WASTE DESIGN MANUAL AND WE ARE PROVIDING ROLL OUT
CARTS FOR PRIVATE WASTE PICK UP. THE ROLL OUT CARTS WILL BE
STORED IN THE GARAGES.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL NCDOT AND
CITY OF RALEIGH STANDARDS, SPECIFICATIONS, AND DETAILS.



LEGEND and NOMENCLATURE

- SYMBOLS**
- Ex. iron pipe/rod or nail
 - Ex. concrete monument
 - New iron pipe
 - Calculated point
 - Cable pedestal
 - Telephone pedestal
 - Electric pedestal
 - Fiber-optic marker
 - Traffic signal box
 - Water meter
 - Fire hydrant
 - Valve (water or gas)
 - Sanitary sewer manhole
 - Sanitary sewer cleanout
 - Storm curb inlet
 - Drainage inlet (w/ grate)
 - Storm drain manhole
 - Utility pole
 - Lamp post
 - Signal pole
 - Guy wire
 - Sign post
- LINETYPES**
- X Fence
 - OU Overhead utility
 - W Water
 - SS Sanitary sewer
 - SD Storm drain
- ABBREVIATIONS**
- DB Deed Book
 - PB or BM Plat Book / Book of Maps
 - N/F Now or formerly
 - Pg. Page
 - SF Square feet
 - Ac. Acres
 - R/W Right-of-way
 - NCSR North Carolina State Route
 - NCDOT North Carolina Dept. of Transportation
 - R/W Right-of-way
 - Ex. Existing
 - RCP Reinforced concrete pipe
 - PVC Polyvinyl chloride pipe
 - (M) Measured
 - (P) Planned
 - (D) Deed



LINE	LENGTH	BEARING
L1	3.85	N 64°27'20" W
L2	52.49	N 27°30'53" E
L3	35.50	N 27°57'15" E
L4	33.62	S 28°2'26" W
L5	53.93	S 63°7'18" E
L6	37.36	S 60°50'20" E
L7	37.16	S 62°5'50" E
L8	22.02	S 9°30'15" E
L9(TIE)	48.01	S 62°4'31" E
L10	63.63	S 62°13'8" E
L11	58.46	S 31°20'52" W
L12	76.14	S 89°11'28" W
L13	82.87	S 74°36'20" E
L14	29.86	S 29°14'9" W
L15	41.21	N 86°13'27" W
L16	42.26	N 86°29'58" W
L17	52.48	N 29°18'18" E
L18	53.07	S 31°6'29" W
L19	54.81	N 32°57'34" E
L20	50.72	N 28°23'3" E
L21	52.50	S 27°43'50" W
L22	52.51	S 27°51'48" W

CONTROL CORNER
 N: 744,540.72
 E: 2,100,496.59

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL NCDOT AND CITY OF RALEIGH STANDARDS, SPECIFICATIONS, AND DETAILS.

BLAKELY DESIGN GROUP
 Landscape Architecture Site Planning

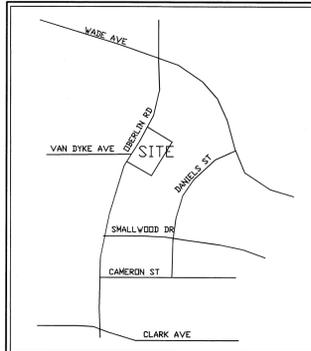
EXISTING CONDITIONS PLAN

904 OBERLIN
 904 OBERLIN ROAD, RALEIGH, N.C.

DATE APRIL 6, 17
 SCALE 1"=20'
 DRAWN BTB
 JOB NO.
 REVISIONS 9-8-17 REVISED PER STAFF COMMENTS

SHEET
 EX.0

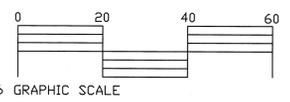
700 Expedition Plaza, Suite 105, Raleigh, North Carolina 27615
 Telephone (919) 870-1868 Fax (919) 870-0752
 E-Mail taylor@blakelydesign.net



VICINITY MAP

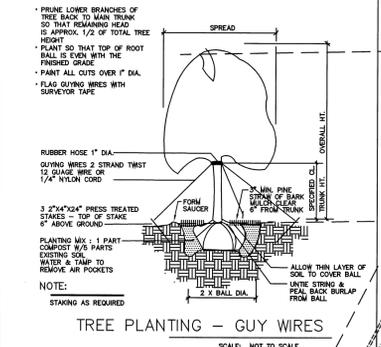
LEGEND and NOMENCLATURE

SYMBOLS	LINETYPES
● Ex. iron pipe/rod or nail	- X - Fence
■ Ex. concrete monument	- OU - Overhead utility
○ New iron pipe	- W - Water
○ Calculated point	- SS - Sanitary sewer
○ Cable pedestal	- SD - Storm drain
○ Telephone pedestal	
○ Electric pedestal	
○ Fiber optic marker	
○ Traffic signal box	
○ Water meter	
○ Fire hydrant	
○ Valve (water or gas)	
○ Sanitary sewer manhole	
○ Sanitary sewer cleanout	
○ Storm curb/tie	
○ Drainage inlet (w/ grate)	
○ Storm drain manhole	
○ Utility pole	
○ Lamp post	
○ Signal pole	
○ Guy wire	
○ Sign post	



GRAPHIC SCALE

The construction inspection of private streets within cluster units, condominiums, group housing, townhouse developments and mobile home parks submitted for city approval is the responsibility of the owner/developer. Copies of certified inspection reports involving subgrade, aggregate base, proof rolls, aggregate base and asphalt densities and thickness, and other pertinent information must be submitted to the Engineering Inspections Manager at Post Office Box 590, Raleigh, NC 27602.



TREE PLANTING - GUY WIRES

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	REMARKS
CE	ULMUS PARVIFOLIA	CHINESE ELM	3" CAL	4	12' MIN. HT. B. & B.
RM	ACER RUBRUM "OCTOBER GLORY"	OCTOBER GLORY RED MAPLE	3" CAL	7	10' MIN. HT. B. & B.
RB	BETULA NIGRA	RIVER BIRCH	3" CAL	7	10' MIN. HT. B. & B.
JA	PRUNUS MUME "PEGGY CLARKE"	JAPANESE APRICOT	3" CAL	3	10' MIN. HT. B. & B.
JC	CRYPTOMERIA JAPONICA	JAPANESE CEDAR	3" CAL	11	10' MIN. HT. B. & B.
JM	ACER PALMATUM "BLOODGOOD"	JAPANESE MAPLE	6" HT.	1	6' MIN. HT. B. & B.
CM	LAGERSTROMIA INDICA "TUSCARORA"	(single stem)	8" HT.	17	8' MIN. HT. B. & B.
CC	CERIS CANADENSIS (single stem)	EASTERN REDBUD	8" HT.	5	8' MIN. HT. B. & B.
BB	BERRBERIS THUNBERGII "CRIMSON PYGMY"	JAPANESE BARBEERRY	18" HT.	14	18" MIN. HT. CONT.
NSH	ALEX X NELLIE R. STEVENS	NELLIE R. STEVENS HOLLY	4" HT.	15	4" MIN. HT. CONT.
NPH	ALEX CORNUTA "NEEDLEPOINT"	NEEDLEPOINT HOLLY	18" HT.	67	18" MIN. HT. CONT.
C	CAMELLIA SASANQUA "VIOLETTE"	VIOLETTE SASANQUA CAMELLIA	3" HT.	67	34" MIN. HT. CONT.
DYH	LOROPETALUM CHINENSE "RUBY"	DWARF YAUPOH HOLLY	18" HT.	25	18" MIN. HT. CONT.
DL	PRUNUS LAUROCEARUS "OTTO LUYKEN"	RUBY CHINESE FRINGE FLOWER	18" HT.	75	18" MIN. HT. CONT.
IH	RAPIHOLEPS LUMBELLATA "ELEANOR TABOR"	OTTO LUYKEN LAUREL	18" HT.	75	18" MIN. HT. CONT.
AR	THUJA OCCIDENTALIS "EMERALD"	INDIAN HAWTHORN	18" HT.	12	48" MIN. HT. CONT.
		EASTERN ARBORVITAE	4" HT.		

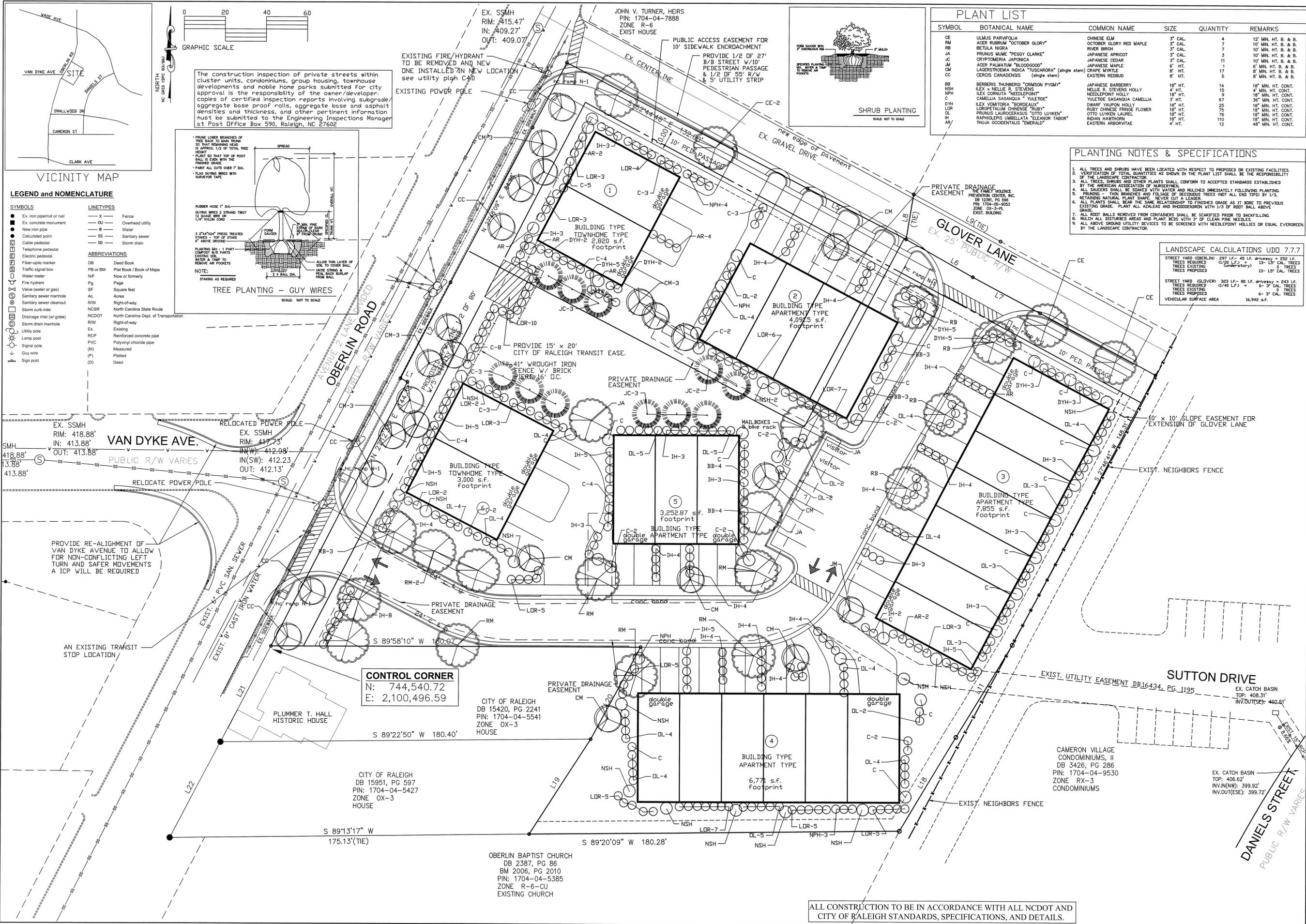
SHRUB PLANTING

PLANTING NOTES & SPECIFICATIONS

- ALL TREES AND SHRUBS HAVE BEEN LOCATED WITH RESPECT TO PROPOSED OR EXISTING FACILITIES.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- ALL TREES, SHRUBS AND OTHER PLANTS SHALL CONFORM TO ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
- ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
- PRUNING - THIN BRANCHES AND FELDMAGE OF DECIDUOUS TREES (NOT ALL END TIPS) BY 1/3, RETAINING NATURAL PLANT SHAPE. NEVER CUT A LEADER.
- PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS IT BERE TO PREVIOUS EXISTING GRADE. PLANT ALL AZALEAS AND RHODODENDRUM WITH 1/3 OF ROOT BALL ABOVE GRADE.
- ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCRIFIED PRIOR TO BACKFILLING.
- MULCH ALL DISTURBED AREAS AND PLANT BEDS WITH 3" OF CLEAN PINE NEEDLES.
- ALL ABOVE GROUND UTILITY DEVICES TO BE SCREENED WITH NEEDLEPOINT HOLLIES OR EQUAL EVERGREEN BY THE LANDSCAPE CONTRACTOR.

LANDSCAPE CALCULATIONS UDD 7.7.7

STREET YARD (OBERLIN)	297 LF - 45 LF driveway = 252 LF
TREES REQUIRED (1/20 LF) =	13-15" CAL TREES
TREES EXISTING	0 TREES
TREES PROPOSED	13-15" CAL TREES
STREET YARD (GLOVER)	223 LF - 80 LF driveway = 143 LF
TREES REQUIRED (1/40 LF) =	6-3" CAL TREES
TREES EXISTING	0 TREES
TREES PROPOSED	6-3" CAL TREES
VEHICULAR SURFACE AREA	16,942 s.f.

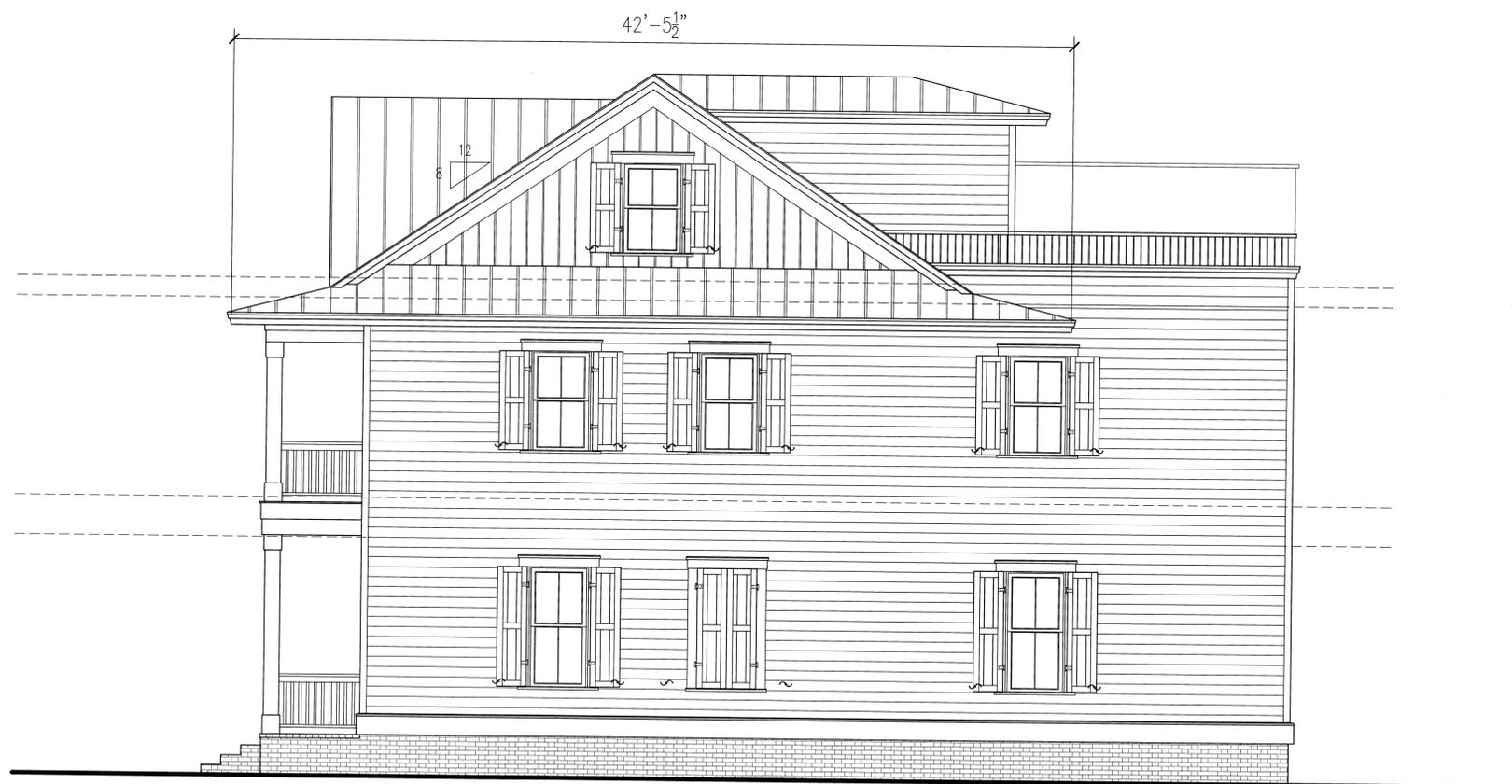


BLAKELY DESIGN GROUP
 Landscape Architecture Site Planning
 700 Exposition Place, Suite 105, Raleigh, North Carolina 27615
 Telephone (919) 870-1868 Fax (919) 870-0752
 E-Mail toyle@blakelydesign.net

LANDSCAPE PLAN
904 OBERLIN
 904 OBERLIN ROAD, RALEIGH, N.C.

DATE	APRIL 6, 17
SCALE	1"=20'
DRAWN	BTB
JOB NO.	
REVISIONS	
5-23-17 BTB REVISED PER CDR. STAFF COMMENTS	
9-23-17 BTB REVISED PER CDR. STAFF COMMENTS	
SHEET	C3.0

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL NCDOT AND CITY OF RALEIGH STANDARDS, SPECIFICATIONS, AND DETAILS.



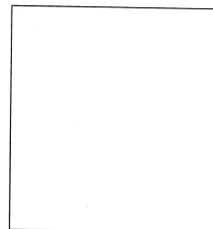
BUILDING 1 & BUILDING 6 ELEVATIONS

TYPICAL TWO STORY UNIT

SCALE: 1/4" = 1'-0"

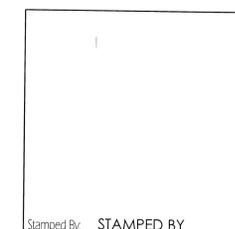
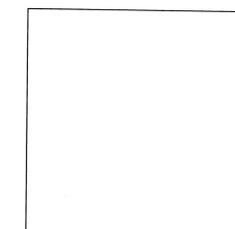
904 Oberlin
Brownstones

904 Oberlin Road
Raleigh, North Carolina



KRA architecture + design

KRA architecture + design
2 Verdier Plantation Road
Bluffton, SC 29910
t 843.815.2021
f 843.706.9480
www.krasc.com



Stamped By: STAMPED BY

Drawn By: mwk

Checked By: mwk

Date: 04.10.17

Revisions

No.	Description

Project No. 17115

File Name:

Drawing Title:

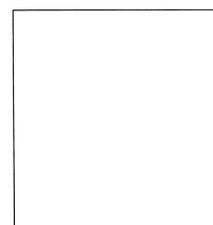
BUILDING 1 AND 6
ELEVATION

Sheet No. **A1.0**

Scale:

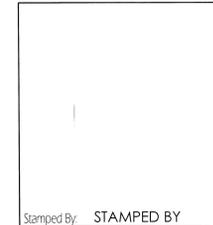
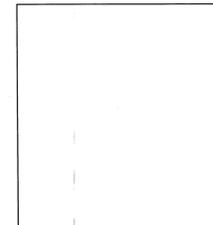
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Raleigh, North Carolina



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Date: 04.10.17

Revisions

No.	Description	Date

Project No. 17115

File Name:

Drawing Title:

BUILDING #2
ELEVATION

Sheet No. **A2.0**

Scale:



BUILDING #2 - ELEVATION
SCALE: 1/4" = 1'-0"

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BUILDING #3 - ELEVATION
SCALE: 3/16" = 1'-0"

Stamped By: STAMPED BY

Drawn By: MWK

Checked By: MWK

Date: 04.10.17

Revisions

No.	Description

Project No. 17115

File Name:

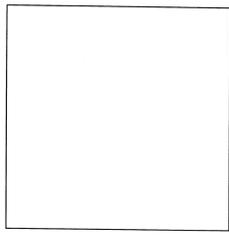
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**BUILDING #3
ELEVATION**

Sheet No. **A2.1**

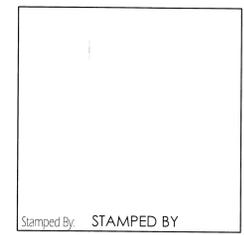
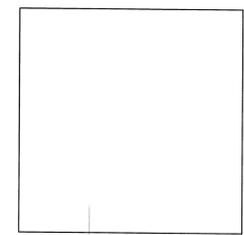
Scale:

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Raleigh, North Carolina



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Drawn By: MWK

Checked By: MWK

Date: 04.10.17

Revisions

Project No. 17115

File Name:

Drawing Title:

BUILDING #4
ELEVATION

Sheet No. **A2.2**

Scale:

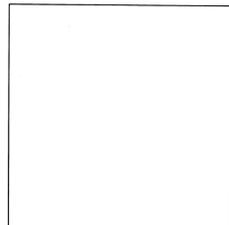


BUILDING #4 - ELEVATION
SCALE: 3/16" = 1'-0"

904 Oberlin
Brownstones
904 Oberlin Road
Raleigh, North Carolina

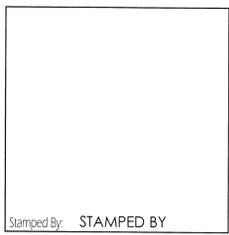
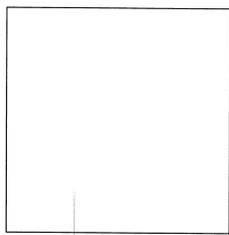


BUILDING 5 - ELEVATION
A2.3 / SCALE: 1/4" = 1'-0"



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KRA architecture + design
2 Verdier Plantation Road
Bluffton, SC 29910



Stamped By: **STAMPED BY**
Drawn By: mwk
Checked By: mwk
Date: 04.10.17

Revisions

No.	Description

Project No. 17115
File Name:
Drawing Title:

**BUILDING #5
ELEVATION**

Sheet No. **A2.3**
Scale: