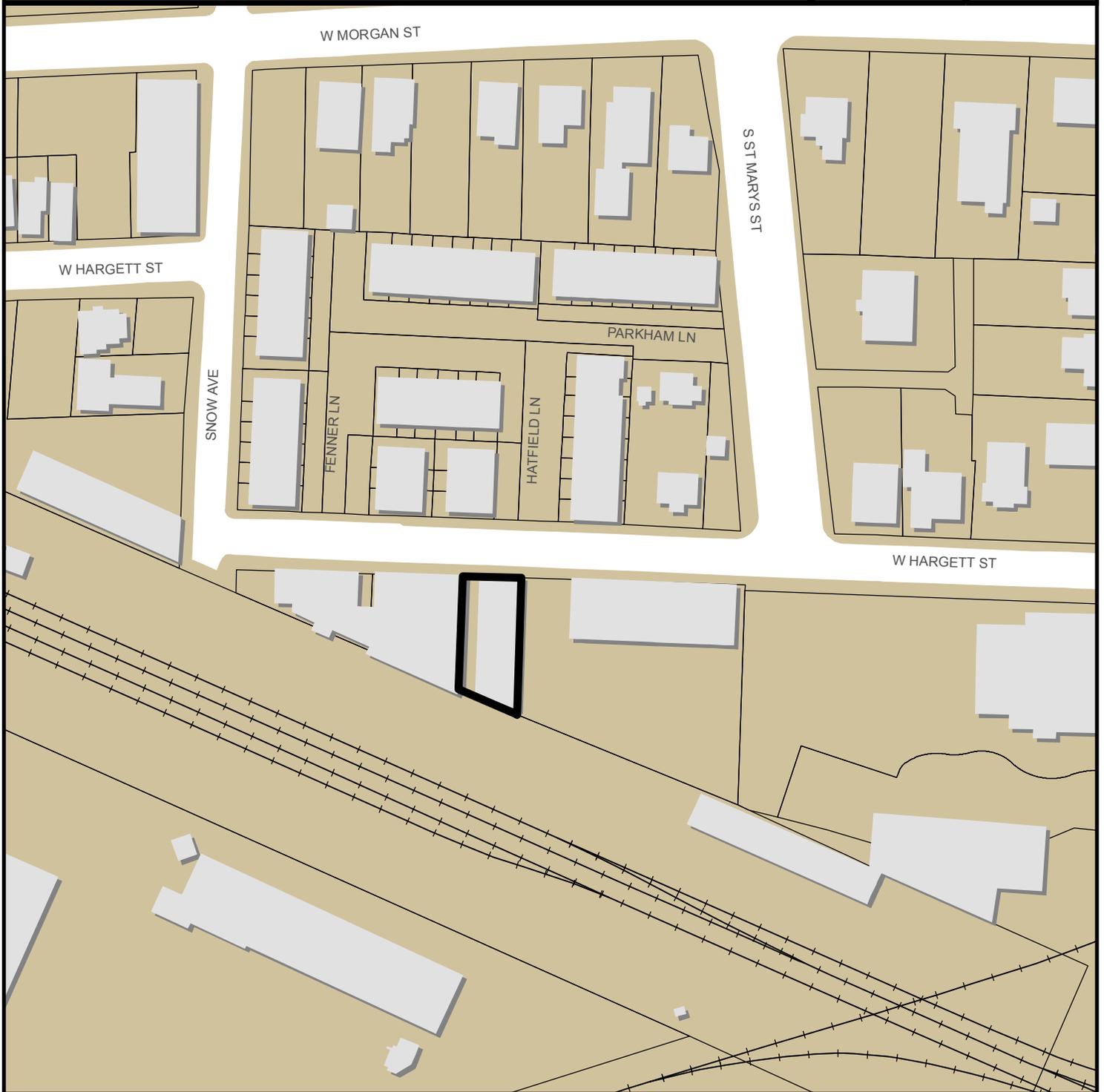


KRAV MAGA SR-39-2017



Zoning: **DX-5-UL w/SRPOD**
CAC: **Hillsborough**

Drainage Basin: **Rocky Branch**
Acreage: **0.13**
Sq. Ft.: **4,600**

Planner: **Daniel Stegall**
Phone: **(919) 996-2712**

Applicant: **Snowland LLC.**
Phone: **(919) 834-9891**





Administrative Action Administrative Site Review

City of Raleigh
Development Plans Review Center
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
www.raleighnc.gov

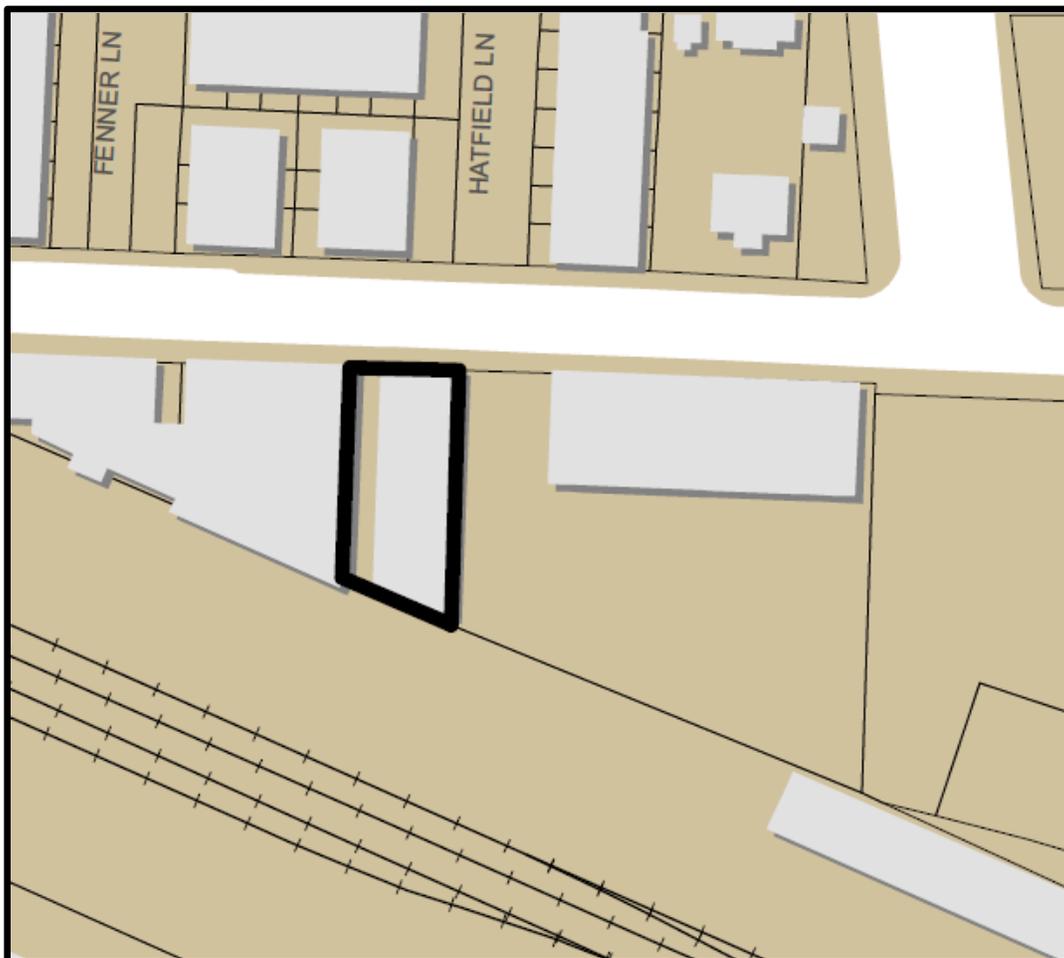
Case File / Name: SR-39-17 / Krav Maga

General Location: This site is located on the south side of West Hargett Street and southwest of the intersection of West Hargett Street and South St. Marys Street.

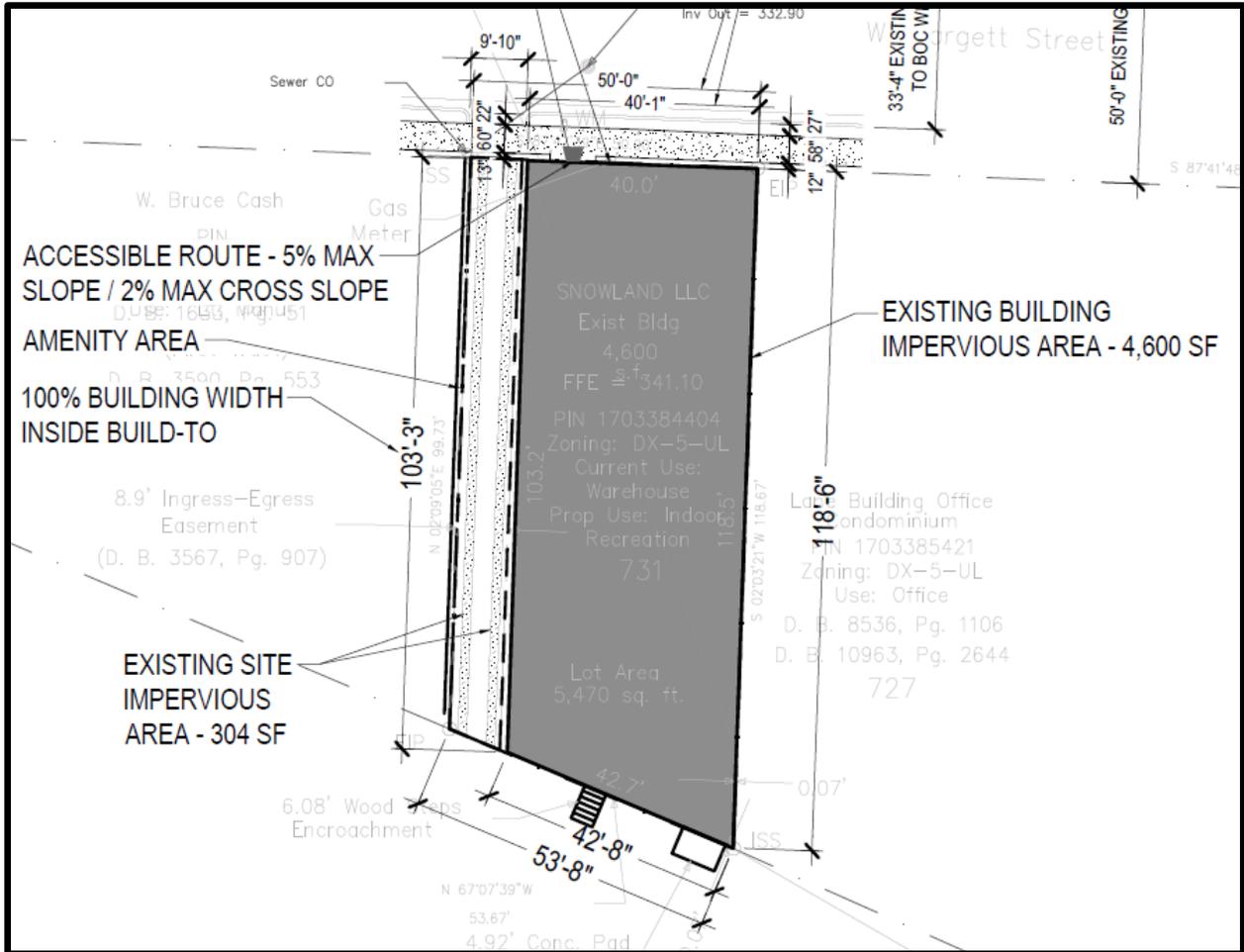
CAC: Hillsborough

Request: Development of a 0.13 acre tract zoned DX-5-UL. This is an existing single story warehouse being converted into indoor recreation space. The building is 4,600 square feet and 16' in height. This change in use requires an administrative site review because the change in required parking notwithstanding any exceptions exceeds 10%.

Cross-Reference: Transaction# 510237



SR-39-17 Location Map



SR-39-17 Preliminary Site Plan

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495
Litchford Satellite Office | 8320 – 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name Krav Maga	Date completed Application received 5/26/2017
	Case Number SR-39-2017	Transaction Number 510237

DEPARTMENT RESPONSE/RECOMMENDATION	Staff SUPPORTS the Design Adjustment based upon the findings in these applicable code:																						
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access		<input type="checkbox"/> UDO Art. 8.4 New Streets																				
	<input type="checkbox"/> UDO Art. 8.5 Existing Streets		<input type="checkbox"/> Raleigh Street Design Manual																				
			<input type="checkbox"/> Other																				
	<table border="1"> <thead> <tr> <th>DEPARTMENT</th> <th>REPRESENTATIVE SIGNATURE</th> <th>DEPARTMENT</th> <th>REPRESENTATIVE SIGNATURE</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Dev. Services Planner</td> <td></td> <td><input type="checkbox"/> City Planning</td> <td></td> </tr> <tr> <td><input checked="" type="checkbox"/> Development Engineering</td> <td><i>Rethyn Beard</i></td> <td><input type="checkbox"/> Transportation</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Engineering Services</td> <td></td> <td><input type="checkbox"/> PRCR</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Public Utilities</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>				DEPARTMENT	REPRESENTATIVE SIGNATURE	DEPARTMENT	REPRESENTATIVE SIGNATURE	<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning		<input checked="" type="checkbox"/> Development Engineering	<i>Rethyn Beard</i>	<input type="checkbox"/> Transportation		<input type="checkbox"/> Engineering Services		<input type="checkbox"/> PRCR		<input type="checkbox"/> Public Utilities		
DEPARTMENT	REPRESENTATIVE SIGNATURE	DEPARTMENT	REPRESENTATIVE SIGNATURE																				
<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning																					
<input checked="" type="checkbox"/> Development Engineering	<i>Rethyn Beard</i>	<input type="checkbox"/> Transportation																					
<input type="checkbox"/> Engineering Services		<input type="checkbox"/> PRCR																					
<input type="checkbox"/> Public Utilities																							
Findings: Due to the Railroad which is south adjacent to this site and the proximity to the North Carolina Central Prison, this site will not be able to reduce the measured block perimeter. Staff supports this design adjustment request.																							

Development Services Director or Designee Action: Approve Approval with Conditions Deny


 AUTHORIZED SIGNATURE **KENNETH W. RITCHIE, PE**
 ENGINEERING MANAGER

Date **6/15/2017**

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.

CONDITIONS	(Empty box for conditions)
-------------------	----------------------------

Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

SR-39-17 Design Adjustment Approval

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Krav Maga (located at 731 West Hargett Street)	Date completed Application received	6/29/2017
	Case Number	SR-39-2017	Transaction Number	510237

DEPARTMENT RESPONSE/RECOMMENDATION	Staff <u>SUPPORTS</u> the Design Adjustment based upon the findings in these applicable code:																						
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access		<input type="checkbox"/> UDO Art. 8.4 New Streets																				
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets		<input checked="" type="checkbox"/> Raleigh Street Design Manual <input type="checkbox"/> Other																				
	<table border="1"> <thead> <tr> <th>DEPARTMENT</th> <th>REPRESENTATIVE SIGNATURE</th> <th>DEPARTMENT</th> <th>REPRESENTATIVE SIGNATURE</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Dev. Services Planner</td> <td></td> <td><input type="checkbox"/> City Planning</td> <td></td> </tr> <tr> <td><input checked="" type="checkbox"/> Development Engineering</td> <td><i>Kathryn Beard</i></td> <td><input type="checkbox"/> Transportation</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Engineering Services</td> <td></td> <td><input type="checkbox"/> PRCR</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Public Utilities</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>				DEPARTMENT	REPRESENTATIVE SIGNATURE	DEPARTMENT	REPRESENTATIVE SIGNATURE	<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning		<input checked="" type="checkbox"/> Development Engineering	<i>Kathryn Beard</i>	<input type="checkbox"/> Transportation		<input type="checkbox"/> Engineering Services		<input type="checkbox"/> PRCR		<input type="checkbox"/> Public Utilities		
DEPARTMENT	REPRESENTATIVE SIGNATURE	DEPARTMENT	REPRESENTATIVE SIGNATURE																				
<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning																					
<input checked="" type="checkbox"/> Development Engineering	<i>Kathryn Beard</i>	<input type="checkbox"/> Transportation																					
<input type="checkbox"/> Engineering Services		<input type="checkbox"/> PRCR																					
<input type="checkbox"/> Public Utilities																							
<p>Findings: Staff is in support of not requiring the dedication of right-of-way at this time due to the existing setbacks for all properties along this block face of West Hargett Street. The use of this existing building is a change of use only to provide Krav Maga instruction. If any future development is proposed for this area, the street section will become more defined based on the use.</p>																							

Development Services Director or Designee Action: Approve Approval with Conditions Deny


 Authorized Signature KENNETH W. RITCHIE, PE
 ENGINEERING MANAGER

7/6/2017
 Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.

CONDITIONS	
-------------------	--

Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Code Conformance:		Code Section(s)
Zoning District:	DX-5-UL, Downtown Mixed Use-5- Urban Limited	2.1 , 3.1
Overlay District:	No applicable overlays	5.1
Parking:	Per UDO Article 7.1 Section 7.1.3 D No vehicle parking is required for the first 10,000 square feet of gross floor area of any nonresidential use.	7.1.2
Street Type(s):	West Hargett is an Avenue 2-Lane undivided street. Design adjustments were approved to waive the block perimeter requirement and to allow development without dedication of additional street right-of-way.	8.4
Streetscape:	Sidewalk and tree lawn. 5' sidewalk is existing on West Hargett. A fee in lieu for 1' of sidewalk to supplement existing sidewalk shall be required. A fee in lieu for 1 street tree is shall be required.	8.5
Setbacks/Frontage:	Front from primary street-3', side lot line- 0' or 6', rear lot line- 0' or 6'. Please note building is existing.	3.4 , 3.2 , 2.2
Neighborhood Transitions:	No applicable neighborhood transitions	3.5
Transitional Protective Yards:	No applicable transitional yards	7.2.4
Stormwater:	Site is showing compliance with the stormwater regulations of Article 9.2.2.A (4)(a) through no net increase in impervious surfaces.	9.2
Tree Conservation:	This site is less than two acres in size and therefore exempt from Article 9.1, Tree Conservation.	9.1
Variances, Design Adjustments, Administrative Alternates:	A <u>Design Adjustment</u> has been issued for this project to waive the block perimeter requirement in UDO Article 8.3 Section 8.3.2. A <u>Design Adjustment</u> has been issued for this project to waive the dedication of right of way	
Other:	10% outdoor amenity area required and provided.	

OFFICIAL ACTION: Approval with conditions

CONDITIONS OF APPROVAL:

Prior to issuance of any building permits or certificates of occupancy:

1. That a fee-in-lieu for a 1' sidewalk width to supplement the existing 5' sidewalk shall be paid prior to issuance of a building permit;
 2. That a fee-in-lieu for 1 street tree shall be paid prior to issuance of a building permit.
-

I hereby certify this administrative decision.

Signed: (Planning Dir.) Kenneth Bowers Date: 7/6/17
(B)

Staff Coordinator: Daniel L. Stegall

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.

FINDINGS: City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 6, 2017, submitted by Graham Smith of Site Collaborative.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 7-6-2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

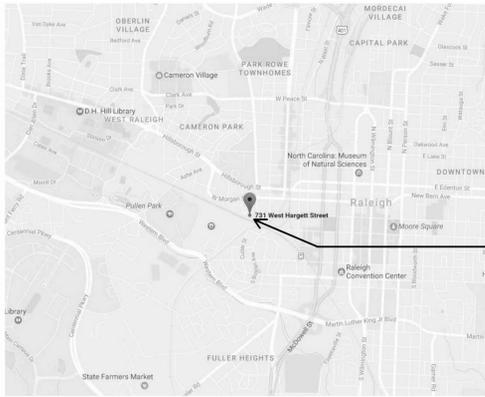
Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

WHAT NEXT?:

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.

KRAV MAGA ADMINISTRATIVE SITE PLAN

SITE COLLABORATIVE #: 17012.00
CITY OF RALEIGH TRANSACTION #: 510237
SR-39-17



PROJECT LOCATION:
731 W HARGETT ST
RALEIGH, NC 27603

PROJECT LOCATION



PROJECT LOCATION:
731 W HARGETT ST
RALEIGH, NC 27603

VICINITY MAP

Administrative Site Review Application (for UDO Districts only)

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | Fax: 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	Transaction Number Assigned Project Coordinator Assigned Title Leader
<input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: **Krav Maga**

Zoning District: **DX-S-UL** Overlay District (if applicable): _____ Inside City Limits? Yes No

Proposed Use: **Indoor Recreation - Martial Arts Studio**

Property Address(es): **731 W. Hargett St., Raleigh, NC 27603** Major Street Location: **West Hargett St.**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. **1703384404** P.I.N. _____ P.I.N. _____ P.I.N. _____

What is your project type? Apartment Elderly Facilities Hospitals Hotels/Motels Office
 Mixed Residential Non-Residential Condo School Shopping Center Banks Industrial Building
 Single Telecommunication Tower Religious Institutions Residential Condo Retail Cottage Court
 Other (if other, please describe: **Indoor Recreation - Martial Arts Studio**)

WORK SCOPE Per City Code Section 10.2.3.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
 Change of use from warehouse to indoor recreation. Parking requirements are unchanged due to DX district and Sec. 7.1.3.D of the Raleigh UDO

DESIGN ADJUSTMENT OR ADMIN ALTERNATE Per City Code Chapter 5, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative Act.
 Streetscape and Street Provisions per Sec 5.1.6.2 and Sec 7.2.2.C - Admin. Also request for Transparency and Blank Wall - See A103

CLIENT/DEVELOPER/OWNER

Company: **Snowland LLC** Name (s): **Bill Mooney**
 Address: **1720 Capital Blvd. Raleigh, NC 27604**
 Phone (919) 834-9891 ext 107 Email: **bill@tannisroot.com** Fax _____

CONSULTANT (Contact Person for Plans)

Company: **Site Collaborative** Name (s): **Graham Smith**
 Address: **727 West Hargett St. Ste. 101**
 Phone: **919.805.3586** Email: **graham@sitecollaborative.com** Fax _____

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s) DX-S-UL	Proposed building use(s) Indoor Recreation
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 4,600
Overlay District	Proposed Building(s) sq. ft. gross 4,600
Total Site Acres Inside City Limits <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 0.13 AC	Total sq. ft. gross (existing & proposed) 4,600
Off street parking: Required 0 Provided 0	Proposed height of building(s) 20'
COA (Certificate of Appropriateness) case #	# of stories 1
BOA (Board of Adjustment) case # A:	Ceiling height of 1 st floor 15'
CUD (Conditional Use District) case # Z:	

Stormwater information

Existing Impervious Surface **4,600 SF** acres/square feet Flood Hazard Area Yes No
 Proposed Impervious Surface **4,600 SF** acres/square feet If Yes, please provide: Alluvial Soils FEMA Map Panel # Flood Study
 New or River Buffer Yes No Wetlands Yes No

FOR RESIDENTIAL DEVELOPMENTS

1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **Graham Smith** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: *William J Mooney* Date: **4.04.17**

Printed Name: **William J Mooney**

Signed: _____ Date: _____

Printed Name: _____

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

SITE DATA SUMMARY	
PROJECT NAME	KRAV MAGA
EXISTING STREET ADDRESS	731 WEST HARGETT ST. RALEIGH, NC 27603
PARCEL NUMBER	1703384404
EXISTING TOTAL LOT AREA	0.13 AC
TOTAL LOT AREA (PROJECT)	0.13 AC
EXISTING IMPERVIOUS AREA	4,600 SF
PROPOSED IMPERVIOUS AREA	4,600 SF
NET GAIN OF IMPERVIOUS AREA	0 SF
AREA OF PUBLIC RIGHT-OF-WAY DEDICATION	N/A
ADJUSTED LOT AREA	N/A
CURRENT ZONING	DX-5
FRONTAGE	URBAN LIMITED (UL)
OVERLAY DISTRICT(S)	N/A
EXISTING GROSS BUILDING AREA	4,600 SF
EXISTING BUILDING USE	WAREHOUSE
PROPOSED GROSS BUILDING AREA	4,600 SF
PROPOSED BUILDING USE	INDOOR RECREATION

CONTACT INFORMATION

PROPERTY OWNER / DEVELOPER
 SNOWLAND LLC
 1720 CAPITAL BOULEVARD
 RALEIGH NC, 27604
 CONTACT: KEN RICHSTAD
 EMAIL: KENNETH.RICHSTAD@GMAIL.COM

LANDSCAPE ARCHITECT
 SITE COLLABORATIVE
 727 W. HARGETT STREET, SUITE 101
 RALEIGH, NC 27603
 CONTACT: GRAHAM H. SMITH
 PHONE: 919.805.3586
 EMAIL: GRAHAM@SITECOLLABORATIVE.COM

ARCHITECT/INTERIOR DESIGNERS
 BHDP PLLC
 150 FAYETTEVILLE STREET., SUITE 820
 RALEIGH, NC 27601
 CONTACT: BOB NAEGELE
 PHONE: 919.747.5438
 EMAIL: BNAEGELE@BHDP.COM

SHEET INDEX	
COV	COVER
L100	SITE PLAN
A100	BUILDING ELEVATIONS

SOLID WASTE SERVICES:

- SOLID WASTE ON SITE TO UTILIZE PRIVATE SERVICE WITH ROLL-OUT BINS TO FRONT CURB ON COLLECTION DAYS.
- IF NEEDED, ALL ON-SITE AMENITIES RELATED TO GARBAGE DISPOSAL INCLUDING - BUT NOT LIMITED TO - DUMPSTER ENCLOSURE, PAVEMENT, AND CURB RADII SHALL COMPLY WITH THE CITY'S SOLID WASTE DESIGN MANUAL.

TO BE COMPLETED BY APPLICANT	TO BE COMPLETED BY CITY STAFF		
General Requirements	YES	N/A	NO
1. Filing Fee for Plan Review - Payments may be made by cash, Visa, MasterCard or check made payable to the City of Raleigh	<input type="checkbox"/>		
2. Administrative Site Review Application completed and signed by the property owner(s)	<input type="checkbox"/>		
3. Client must complete and adhere page 1 and 2 of the Administrative Site Review Application to the plan cover sheet	<input type="checkbox"/>		
4. I have referenced the Administrative Site Review Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input type="checkbox"/>		
5. Provide the following plan sheets:	<input type="checkbox"/>		
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input type="checkbox"/>		
b) Existing Conditions Sheet, including, but not limited to, structures, buildings, utilities, infrastructure, and vegetation	<input type="checkbox"/>		
c) Proposed Site Plan	<input type="checkbox"/>		
d) Proposed Grading Plan	<input type="checkbox"/>		
e) Proposed Stormwater Plan, including preliminary stormwater quantity and quality summary and calculations package. If not required, provide City Code section on front cover.	<input type="checkbox"/>	<input type="checkbox"/>	
f) Proposed Utility Plan, including Fire	<input type="checkbox"/>	<input type="checkbox"/>	
g) Proposed Tree Conservation Plan - For secondary Tree Conservation Areas, include two copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester. If not required, provide City Code section on front cover.	<input type="checkbox"/>	<input type="checkbox"/>	
h) Proposed Landscape Plan	<input type="checkbox"/>	<input type="checkbox"/>	
i) Building elevations that show existing and/or proposed building height. If demolished, do not include buildings to be demolished.	<input type="checkbox"/>	<input type="checkbox"/>	
j) Transportation Plan	<input type="checkbox"/>	<input type="checkbox"/>	
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. For residential plans include all revision dates	<input type="checkbox"/>		
7. Minimum plan size 18"x24" not to exceed 36"x42"	<input type="checkbox"/>		
8. A vicinity map no smaller/less than 1"x500" and no larger than 1"x1000" to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input type="checkbox"/>		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input type="checkbox"/>		
10. Digital copy of only the plan and elevations. Label the CD or flash drive with the plan name, case file number, and indicate the review cycle #.	<input type="checkbox"/>		
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input type="checkbox"/>	
12. If applicable, zoning conditions adhered to the plan cover sheet	<input type="checkbox"/>	<input type="checkbox"/>	



REUSE OF DOCUMENT
 This document is the property of Site Collaborative, Inc. The ideas and design incorporated on this document is an instrument of professional service and shall not be used for any other project without written authorization of Site Collaborative, Inc.

KRAV MAGA RALEIGH
 Snowland LLC
 731 West Hargett Street, Raleigh, NC 27603

PROJECT NUMBER:
17012

PROJECT PHASE:
ADMINISTRATIVE
SITE PLAN

DATE:
4.10.2017

REV: 5.17.2017

SHEET TITLE:
COVER

SHEET NUMBER:
COV

DEMOLITION NOTES

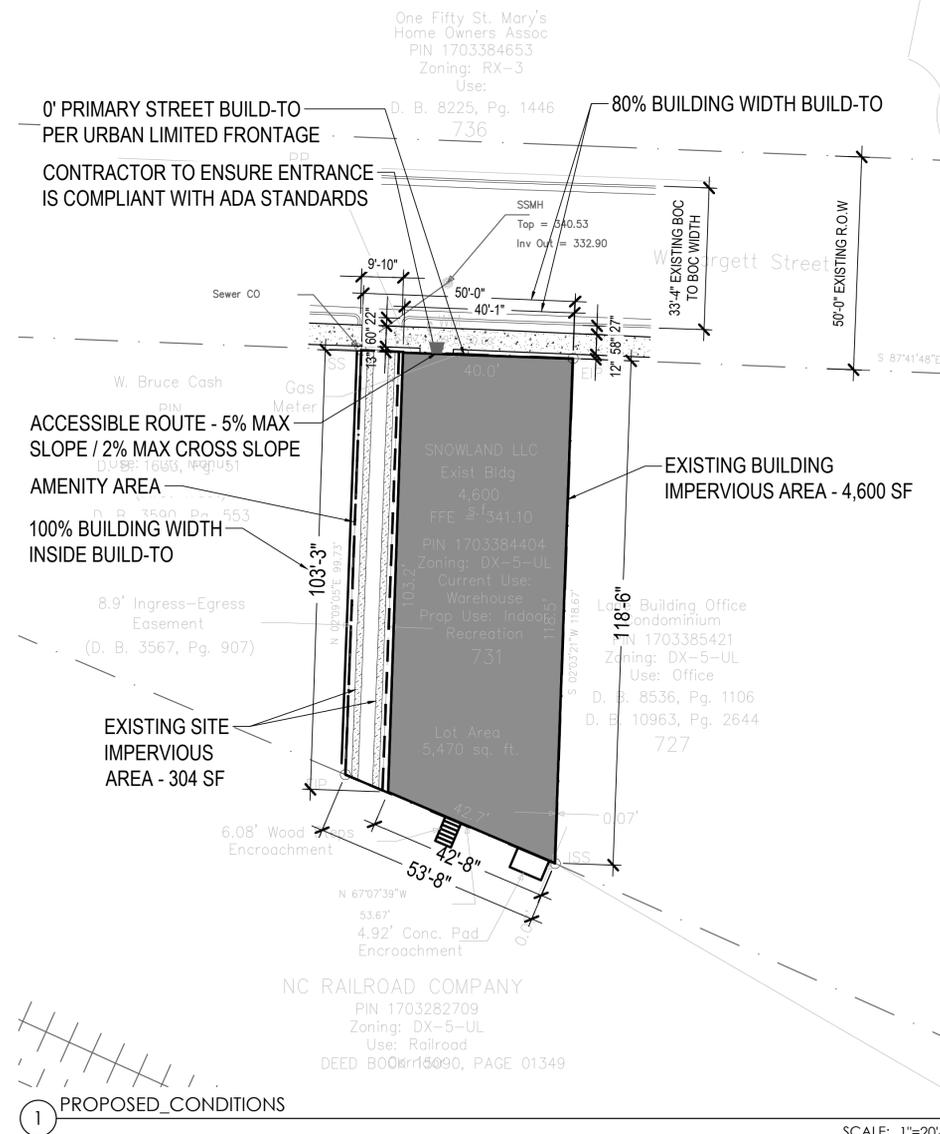
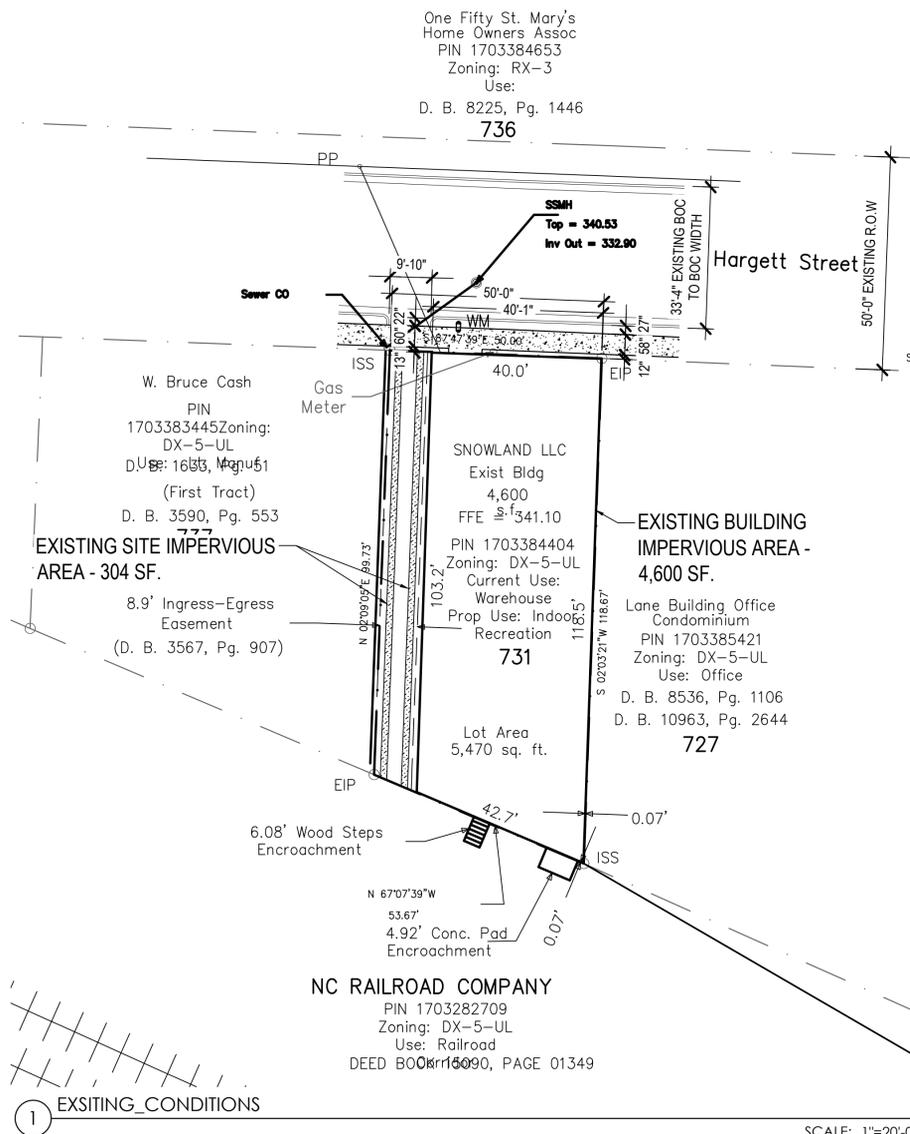
1. THE CONTRACTOR SHALL NOTIFY THE N.C. ONE CALL CENTER AT 1-800-632-4949 PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO STARTING WORK.
3. ALL DEMOLITION, AND ANY SUBSEQUENT CONSTRUCTION, SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS SET FORTH AND APPROVED BY THE CITY OF RALEIGH. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL TREE PROTECTION FENCING SHALL REMAIN IN PLACE DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL NOT MAKE ANY LANE CLOSURES OR CHANGES TO THE EXISTING TRAVEL PATTERNS ON ANY PUBLIC STREET WITHOUT PRIOR APPROVAL FROM THE CITY OF RALEIGH TRANSPORTATION DEPARTMENT AND/OR NCDOT.
5. LANE CLOSURE, TRAFFIC CONTROL PLAN, OR PEDESTRIAN CONTROL PLAN TO BE COORDINATED WITH APPROPRIATE CITY AND/OR NCDOT STAFF PRIOR TO ANY CONSTRUCTION IN PUBLIC RIGHT-OF-WAY
6. THE CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL REQUIREMENTS REGARDING REMOVAL AND DISPOSAL OF MATERIALS AND DEBRIS.
7. CONTRACTOR SHALL REFER TO CIVIL SHEETS FOR SANITARY SEWER AND WATER REMOVALS AND RELOCATIONS.
8. RELOCATION OF EXISTING UTILITIES TO BE COORDINATED WITH THE LOCAL UTILITY PROVIDER(S).
9. WHERE UTILITIES (TO BE REMOVED) IMPACT THE FOOTPRINT OF THE NEW BUILDING, CONTRACTOR SHALL EXCAVATE AND REMOVE AN ADDITIONAL 2 FEET OF SOILS TO EITHER SIDE OF PIPE, AND 1 FOOT BELOW TO REMOVE UNSUITABLE SOILS, IF UNSUITABLE SOILS EXIST.
10. CLEANOUTS LOCATED IN AREAS OF DEMOLITION OR SUBSEQUENT CONSTRUCTION THAT ARE TO REMAIN, SHALL BE PROTECTED FROM DAMAGE AND RAISED TO FLUSH WITH NEW GRADE.
11. ELECTRICAL OR GAS UTILITY SERVICES TO BE REMOVED SHALL BE REMOVED AND RELOCATED (AS INDICATED) BY THE UTILITY PROVIDER. CONTRACTOR SHALL SCHEDULE AND COORDINATE THIS WORK WITH THE APPROPRIATE SERVICE PROVIDER. ALL SERVICES SHOULD BE RE-INSTALLED PRIOR TO THE INSTALLATION OF PAVEMENT, SIDEWALKS, CURB AND GUTTER, OR OTHER PERMANENT FEATURES.
12. REMOVE EXISTING CONCRETE (WHERE REQUESTED) TO FIRST COLD JOINT OR SAWCUT JOINT TO OBTAIN A CLEAN EDGE FOR NEW CONSTRUCTION. SAWCUT EXISTING ASPHALT DRIVE AT LIMITS OF NEW CURBING TO OBTAIN A CLEAN EDGE.
13. CONTRACTOR SHALL RETAIN AND STOCKPILE CONCRETE WHEELSTOPS WHICH ARE IN USEABLE CONDITION FOR RE-INSTALLATION AT THE END OF THE PROJECT.
14. CONTRACTOR SHALL RESTORE THE LAYDOWN AND STAGING AREA TO ORIGINAL CONDITIONS AND TO THE SATISFACTION OF THE OWNER, PRIOR TO DEMOBILIZATION AT THE CONCLUSION OF THE PROJECT.
15. CLEAN SOILS SHALL BE UTILIZED FOR BACKFILL. COMPACTION OF THESE SOILS PERFORMED IN ACCORDANCE WITH SPECIFICATIONS, GEOTECHNICAL REPORT, AND SITE PLAN.
16. ALL FENCING TO BE REMOVED SHALL BE REMOVED AT NEXT NEAREST POLE.
17. ALL GRAVEL TO BE REMOVED (SURFACE OR SUBSURFACE) TO BE STOCKPILED AND REUSED ON SITE WHERE POSSIBLE.
18. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ALL SUBGRADE MATERIALS DIRECTLY ASSOCIATED WITH ITEMS TO BE REMOVED.
19. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF LEGALLY OFFSITE UNLESS OTHERWISE NOTED ON THIS PLAN.
20. ALL TREES TO BE REMOVED SHALL BE GROUND DOWN TO A MINIMUM DEPTH OF 12" BELOW PROPOSED FINISH GRADE.
21. SEE SEDIMENT AND EROSION CONTROL PLANS FOR CONSTRUCTION ENTRANCES, INLET PROTECTION, AND OTHER ASSOCIATED MEASURES.
22. SEE ARCHITECTURE SHEETS FOR DEMOLITION SEQUENCING.

GRADING NOTES

1. ORIGINAL TOPOGRAPHIC INFORMATION SHOWN AS 'EXISTING' ON THIS PLAN HAS BEEN COMPILED FROM SURVEY DATA PROVIDED BY JOHN A. EDWARDS AND COMPANY. CONTRACTOR TO FIELD VERIFY ALL INFORMATION AND REPORT ANY DISCREPANCIES.
2. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
3. INSPECTOR REFERS TO AUTHORIZED REGULATORY AGENCY SEDIMENTATION AND EROSION CONTROL INSPECTOR OR HIS/HER REPRESENTATIVE. FIELD INSPECTIONS MAY REQUIRE ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS DEEMED NECESSARY BY THE INSPECTOR, CLIENT, AND/OR CLIENT'S REPRESENTATIVES.
4. CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CITY OF RALEIGH EROSION AND SEDIMENT CONTROL MANUAL.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF EROSION CONTROL METHODS DURING CONSTRUCTION, AND THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL PERMANENT EROSION CONTROL METHODS AFTER CONSTRUCTION IS COMPLETE, IF ANY PERMANENT METHODS ARE REQUIRED.
6. WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING.
7. DURING UNSUITABLE GROWING SEASONS, MULCH WILL BE USED AS A TEMPORARY COVER ON SLOPES THAT ARE 4:1 OR STEEPER, MULCH WILL BE ANCHORED.
8. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. PLEASE CALL THE REGULATORY AUTHORITY FOR AN INSPECTION.
9. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES EVERY 7 DAYS AND AFTER EACH SIGNIFICANT RAINFALL (0.5 INCHES OR GREATER) AND DOCUMENT WITH INSPECTION REPORTS.
10. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE.
11. LOCATE STOCKPILES UPSLOPE FROM EROSION CONTROL MEASURES. ALL SOIL STOCK PILES SHALL HAVE APPROPRIATE EROSION CONTROL PER THE LATEST VERSION OF THE CITY OF RALEIGH EROSION AND SEDIMENT CONTROL MANUAL INCLUDING SEEDING AND SILT FENCE AROUND THE BASE OF THE STOCK PILE.

GENERAL SITE NOTES

1. ALL ON SITE PERIMETER CURB & GUTTER SHALL BE 24" (6" CURB & 18" GUTTER) UNLESS OTHERWISE NOTED.
2. ALL CONSTRUCTION IN RIGHT-OF-WAY PER CITY OF RALEIGH STANDARD.
3. CURB & GUTTER TO SLOPE (NEGATIVE OR POSITIVE) SAME AS PAVEMENT EDGE. PONDING OF WATER IS PROHIBITED.
4. PROVIDE CONSTRUCTION JOINTS IN CONCRETE WALKWAYS AS SHOWN IN PLANS.
5. ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB, UNLESS OTHERWISE NOTED ON THE PLANS.
6. BUILDING AND ROADWAY STAKE OUT TO BE PERFORMED BY A REGISTERED LAND SURVEYOR. ALL DIMENSIONS TO BE FIELD VERIFIED. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY.
7. GUARDRAILS MUST BE INSTALLED ON THE OPEN SIDES OF ELEVATED WALKING SURFACES THAT EXCEED 30 INCHES IN HEIGHT.
8. ALL GUARDRAILS MUST BE A MINIMUM HEIGHT OF 42 INCHES ABOVE THE LEADING EDGE OF THE TREAD OR WALKING SURFACE.
9. GUARDRAILS SHALL HAVE BALUSTERS SUCH THAT A 4 INCH DIAMETER SPHERE CANNOT PASS THROUGH ANY OPENING UP TO A HEIGHT OF 34 INCHES. FROM 34 INCHES TO 42 INCHES ABOVE THE WALKING SURFACE, A 8 INCH DIAMETER SPHERE SHALL NOT PASS.
10. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING, TO CENTERLINE, CENTER TO CENTER ON STRIPES, AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED.
11. ALL CROSSWALK MARKINGS WITHIN RIGHT-OF-WAY SHALL BE CONSTRUCTED OF THERMOPLASTIC MATERIALS AND CONSTRUCTED IN ACCORDANCE WITH NCDOT SPECIFICATIONS. CONTRACTOR TO INSTALL CROSSWALKS IN SUCH A MANNER THAT CROSSWALKS ARE ALIGNED BETWEEN HANDICAP/WALKWAY ACCESS POINTS OR PERPENDICULAR TO THE ROADWAY / DRIVE LANE.
12. ALL SIGNS AND PAVEMENT MARKINGS ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) AND NCDOT STANDARDS.
13. ALL SIGNS SHALL USE PRISMATIC SHEETING THAT MEETS MINIMUM RETROREFLECTIVITY STANDARDS FOUND IN THE LATEST EDITION OF THE MUTCD.
14. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE, ARE BASED ON A FIELD SURVEY PERFORMED BY JOHNNY EDWARDS AND ASSOCIATES. THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES, UNDERGROUND LINES, AND STRUCTURES AS NECESSARY TO AVOID DAMAGING OR DESTROYING EXISTING SERVICES.
15. ALL DEMOLITION, AND ANY SUBSEQUENT CONSTRUCTION, SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS SET FORTH AND APPROVED BY THE CITY OF RALEIGH. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL TREE PROTECTION FENCING SHALL REMAIN IN PLACE DURING CONSTRUCTION.
16. TRAFFIC CONTROLS FOR ANY UTILITY WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED IN COMPLIANCE WITH STANDARDS OF THE NORTH CAROLINA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. (MUTCD).
17. ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
18. CONTRACTOR SHALL MAINTAIN AN "AS BUILT" SET OF DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER AT REGULAR INTERVALS THROUGHOUT THE PROJECT FOR RECORD KEEPING.
19. THE CONTRACTOR, AT ALL TIMES, MUST KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIM, HIS EMPLOYEES OR HIS WORK. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
20. IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITH THE EXPRESS WRITTEN PERMISSION OF THE OWNER.
21. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE ACTUAL AND EXACT LOCATION, SIZE, AND MATERIAL COMPOSITION OF ANY EXISTING WATER OR SEWER SERVICE PROPOSED FOR CONNECTION OR USE ON THIS PROJECT. THE RELOCATION OF ANY UTILITY SERVICES REQUIRED TO COMPLETE ANY PORTION OF THESE CONSTRUCTION PLANS.
22. SIDEWALKS ARE PUBLIC AND MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. EXISTING PEDESTRIAN ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION ARE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)



PARKING CALCULATIONS				
USE	AREA (SF)	VEHICLE PARKING		
		Description	Required	Provided
EXISTING	WAREHOUSE	4,600 1 space / 600 SF (office) 1 space / 3,000 SF of indoor area	4	0*
PROPOSED	INDOOR RECREATION	4,600 1 space / 300 SF	15	0*

* PER SEC 7.1.3.D OF THE RALEIGH UDO, NO PARKING IS REQUIRED IN A DOWNTOWN DISTRICT (DX) FOR THE FIRST 10,000 SF OF GROSS FLOOR AREA.

AMENITY AREA REQUIREMENTS				
DISTRICT	GROSS LOT AREA (SF)	PERCENT (%)	REQUIRED (SF)	PROPOSED (SF)
DX	5,470	10	547	900

LANDSCAPE REQUIREMENTS

STREET TREES:
Hargett Street
Total Frontage = 50'
Required: 1 TREE (FEE IN LIEU TO BE PAID TO THE AMOUNT OF \$1,779)

STREET PROTECTIVE YARD (SPY):
Hargett Street
Total Frontage = 50'
Required: None per Raleigh UDO Sec 7.2.2.C

GRADING LEGEND	
KEY	DESCRIPTION
---	ACCESSIBLE ROUTE

IMPERVIOUS CALCULATION	
DESCRIPTION	AREA (SQ.FT.)
DISTURBED AREA (BUILDING + SITE)	4,904
Impervious (Pre-Development)	4,904
Impervious (Post-Development)	4,904

NOTE:
THIS SURVEY DATA WAS COMPILED BY STANCL & ASSOCIATES PROFESSIONAL LAND SURVEYOR ON 5.22.2008

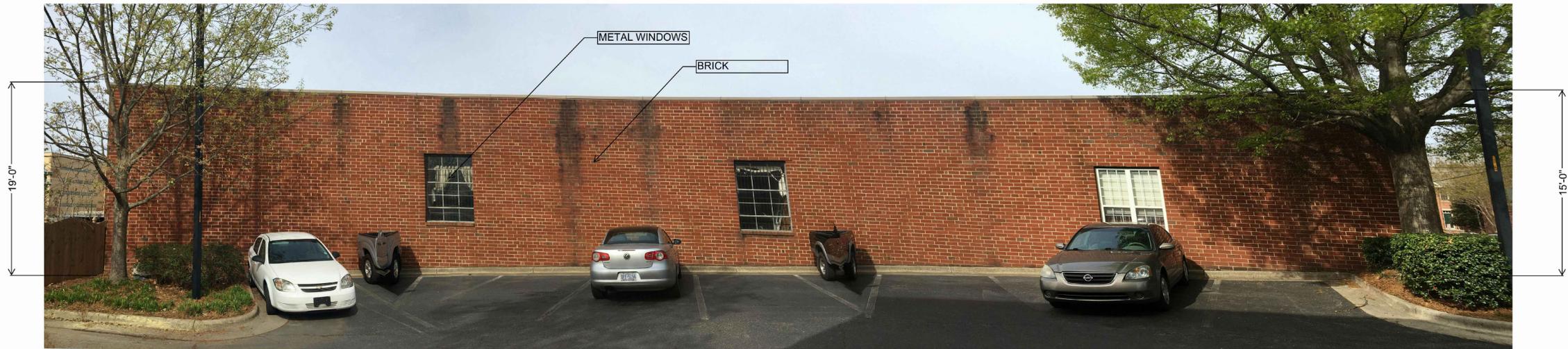


REUSE OF DOCUMENT
This document is the property of Site Collaborative, Inc. The ideas and design incorporated on this document is an instrument of professional service and shall not be used for any other project without written authorization of Site Collaborative, Inc.

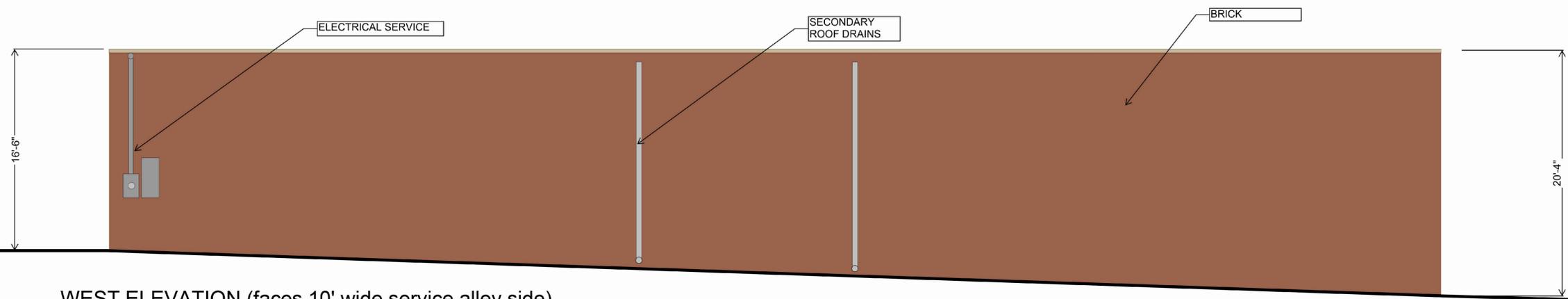
KRAV MAGA RALEIGH
Snowland LLC
731 West Hargett Street, Raleigh, NC 27603

PROJECT NUMBER: 17012
PROJECT PHASE: ADMINISTRATIVE SITE PLAN
DATE: 4.10.2017
REV1: 5.17.2017

SHEET TITLE: SITE PLAN
SHEET NUMBER: L100



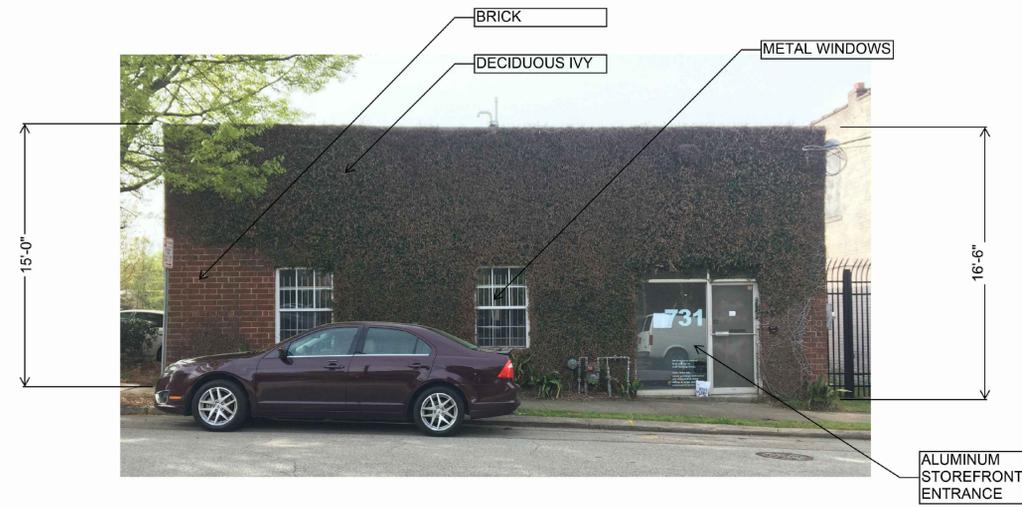
EAST ELEVATION (faces adjacent property parking lot)
not to scale



WEST ELEVATION (faces 10' wide service alley side)
not to scale



SOUTH (REAR) ELEVATION (faces railroad track and central prison)
not to scale



NORTH (FRONT) ELEVATION (faces W. Hargett Street)
not to scale