



Administrative Approval Action

SR-41-18, 13100 Falls of Neuse Rd
Transaction # 553793, AA # 3854

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Falls of Neuse Rd, and east side of Spruce Tree Way. The site is addressed at 13100 Falls of the Neuse Rd, which is located inside City limits.

REQUEST: Development of a 3.08-acre tract currently comprised of two parcels to be recombined, all zoned CX-3 with Urban Watershed Protection Overlay District (UWPOD), into a general building with gross floor area of 14,270 square feet. Proposed uses include Retail Sales (7,520 sq ft) and Restaurant (6,750 sq ft).

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: A design adjustment to the block perimeter requirements of article 8.3 of the UDO has been approved.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by John A. Edwards & Company, dated 7/20/18.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. **Next Step:** A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

2. **Next Step:** A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.

Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

URBAN FORESTRY

3. Obtain required stub and tree impact permits from the City of Raleigh. *(used with new streets and infrastructure)*
4. **Next Step:** Prior to the issuance of a mass grading permit or other site permit, whichever comes first, submit a final tree conservation plan with a permit approved by Urban Forestry staff that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required.
5. **Next Step:** Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.



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PRIOR TO ISSUANCE OF BUILDING PERMITS: GENERAL

6. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Recombinations, Right of Way and/or Easement Dedications, and Tree Conservation Areas.
7. A recombination map shall be recorded recombining the existing lots into a single tract.
8. Provide fire flow analysis.

ENGINEERING

9. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and be recorded with the Wake County Register of Deeds.
10. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department.
11. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 710 linear feet of 1' width of sidewalk shall be paid to the City of Raleigh.
12. In accordance with Part 10A Section 8.1.3, a public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering Program.
13. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

PUBLIC UTILITIES

14. A Final Plat must be recorded at the Wake County Register of Deeds office for all necessary Subdivisions / Recombinations, Right-of-Way, Utility / Stormwater Easement Dedications and/or Tree Conservation Areas.

STORMWATER

15. Next Step: The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.
16. Next Step: All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
17. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.

URBAN FORESTRY

18. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.



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Prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. Next Step: All street lights and street signs required as part of the development approval are installed.
5. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
6. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
7. Next Step: Final inspection of all required Tree Conservation, wooded area plantings, and right of way tree plantings by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 9-6-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Planning Dir./Designee)

Date: 9/6/2018

Staff Coordinator: Ryan Boivin

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	13100 Falls of Neuse Road	
	Development Case Number	SR-41-18	
	Transaction Number	553793	
	Design Adjustment Number	DA - 53 - 2018	
STAFF RESPONSE	Staff recommendation based upon the findings in the applicable code(s):		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	<input type="checkbox"/> Raleigh Street Design Manual	
	Staff <input checked="" type="checkbox"/> SUPPORTS <input type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.		
	DEPARTMENTS		
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering <i>Kenneth W. Ditchie</i> 2-13-18	<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.	
	<input type="checkbox"/> Public Utilities		
	CONDITIONS:		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			


KENNETH W. DITCHIE, PE, MPA
9/6/2018
ENGINEERING AND INFRASTRUCTURE MANAGER
Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.3 Blocks Lots, Access



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*. approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise Safety;
YES NO
- D. The requested design adjustment does not create any lots without direct street Frontage;
YES NO
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- YES NO

STAFF FINDINGS

The allowable block length for the CX-3 zoning is 3000 linear feet. The approximate block perimeter is 4000 linear feet. The proposed development is within an existing shopping center where the existing layout and buildings do not allow for a public street connection shortening the block.

The existing shopping center has an existing access drive with 5' sidewalks along its length promoting pedestrian mobility. The private access drive cannot be considered for code compliance in measuring the block. However, using the access drive the length of travel around the subject lot is less than 3000 linear feet.

Design Adjustment Application



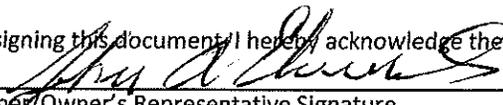
DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name 13100 Falls of Neuse Road	
	Case Number SR-41-18	
	Transaction Number 553793	
OWNER	Name Cameron Corner, LLC	
	Address 700 Exposition Pl., Suite 131	City Raleigh
	State NC	Zip Code 27615 Phone 919-828-4428
CONTACT	Name Johnny Edwards	Firm John A. Edwards & Company
	Address 333 Wade Ave	City Raleigh
	State NC	Zip Code 27605 Phone 919-828-4428
REQUEST	I am seeking a Design Adjustment from the requirements set forth in the following:	
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings
	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings
	Provide details about the request; (please attach a memorandum if additional space is needed):	
As per Section 8.3.B.6 of UDO, a Design Adjustment from the Public Works Director is being requested in regards to the Block Perimeter standards. This being due to the surrounding site constraints, specifically the presence of existing buildings and the site layout of developed properties, which makes a road connection infeasible.		

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.


6/18/18
 Owner/Owner's Representative Signature Date

CHECKLIST	
Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input checked="" type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
 Development Services, Development Engineering
 One Exchange Plaza, Suite 500
 Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA - -
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Article 8.3, Blocks, Lots, Access

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;
Per 8.3.2.B.6, the Public Works Director may waive block perimeter requirement due to existing development which prevents reduction in block perimeter.
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
There are no proposed improvements which effect subject property. Property complies with urban design guidelines.
- C. The requested design adjustment does not increase congestion or compromise Safety;
The requested design adjustment will not increase congestion or compromise safety.
- D. The requested design adjustment does not create any lots without direct street Frontage;
The requested design adjustment does not create any lots without direct street frontage.
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
2. The presence of existing buildings, stream and other natural features;
3. Site layout of developed properties;

Individual Acknowledgement



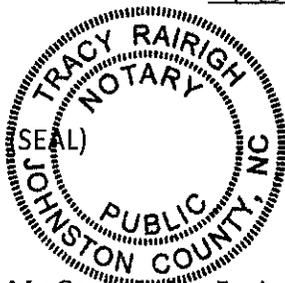
DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA
COUNTY OF Johnston

INDIVIDUAL

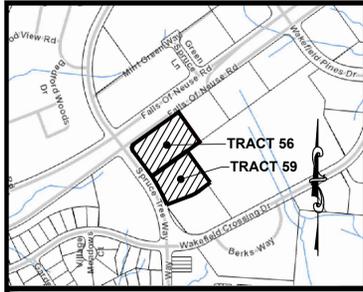
I, Tracy Rairigh, a Notary Public do hereby certify that
John A. Edwards Jr personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This the 18 day of June, 2018.



Notary Public Tracy Rairigh

My Commission Expires: May 23, 2023



VICINITY MAP
1" = 500'

13100 FALLS OF NEUSE ROAD

ADMINISTRATIVE SITE REVIEW

SR-41-18

TRANS. #553793

RALEIGH, NORTH CAROLINA

MAY 3, 2018

REVISED JUNE 27, 2018

REVISED JULY 20, 2018

OWNER:

CAMERON CORNER, LLC
700 EXPOSITION PLACE, SUITE 131
Raleigh, N.C. 27615
Phone: (919) 523-9237
daniel.brownadvisory@gmail.com

CIVIL ENGINEER:

JOHN A. EDWARDS & COMPANY
Consulting Engineers
NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
E-mail: info@jaeco.com

LAND PLANNING & LANDSCAPE ARCHITECT:

SITE COLLABORATIVE
727 W. Hargett St.
Raleigh, N.C. 27603
Phone: (919) 805-3586
E-mail: sitecollaborative.com

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS.

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

SOLID WASTE INSPECTIONS STATEMENT
DEVELOPER IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL. PRIVATE SERVICE TO BE PROVIDED.

DESIGN ADJUSTMENT
A DESIGN ADJUSTMENT HAS BEEN SUBMITTED FOR BLOCK PERIMETER (UDO SEC 8.3.2) AND FOR RALEIGH STREET DESIGN MANUAL SEC 5.1.1

Administrative Site Review Application (for UDO Districts only)



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | cdx 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Transaction Number
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Assigned Project Coordinator
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot	Assigned Team Leader
<input type="checkbox"/> Townhouse		

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: 13100 Falls Of Neuse Road

Zoning District: CX-3 Overlay District (if applicable): UWPOD Inside City Limits? Yes No

Proposed Use: Restaurant - 6,750 S.F. / Retail - 7,520 S.F.

Property Address(es): 13100 Falls Of Neuse Road & 12620 Spruce Tree Way Major Street Locator: Falls Of Neuse Road

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N.: 1729.02-97-6660 P.I.N.: 1729.02-97-7472 P.I.N.:

What is your project type? Apartment Elderly Facilities Hospitals Hotels/Motels Office

Mixed Residential Non-Residential Condo School Shopping Center Banks Industrial Building

Duplex Telecommunication Tower Religious Institutions Residential Condo Retail Cottage Court

Other: if other, please describe: Restaurant

WORK SCOPE Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.

7,520 S.F. Retail Building / 6,750 S.F. Restaurant & Site Improvements

DESIGN ADJUSTMENT OR ADMIN ALTERNATE Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

Design Adjustment For Block Perimeter

CLIENT/DEVELOPER/OWNER Company: Cameron Corner, LLC Name(s): Daniel Brown

Address: 700 Exposition Place, Suite 131, Raleigh, NC 27615

Phone: (919) 523-9237 Email: daniel.brownadvisory@gmail.com Fax:

CONSULTANT (Contact Person for Plans) Company: John A. Edwards & Company Name(s): Johnny Edwards

Address: 333 Wade Avenue, Raleigh, NC 27605

Phone: (919) 828-4428 Email: johnny@jaeco.com Fax:

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DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information Building Information

Zoning District(s): CX-3 Proposed building use(s): Retail / Restaurant

If more than one district, provide the acreage of each: Existing Building(s) sq. ft. gross: 0

Overlay District: UWPOD Proposed Building(s) sq. ft. gross: 14,270

Total Site Acres: Inside City Limits Yes No 3.08 AC. Total sq. ft. gross (existing & proposed): 14,270

Off street parking: Required: 70 Provided: 71 Proposed height of building(s): 20' - 1 1/4"

COA (Certificate of Appropriateness) case #: N/A # of stories: 1

BOA (Board of Adjustment) case #: A- N/A Ceiling height of 1st Floor: 11'

CUD (Conditional Use District) case #: Z- N/A

Stormwater Information

Existing Impervious Surface: 0.50 AC. acres/square feet Flood Hazard Area Yes No

Proposed Impervious Surface: 1.54 AC. acres/square feet If Yes, please provide:

Neuse River Buffer Yes No Wetlands Yes No Alluvial Soils FEMA Map Panel # Flood Study

FOR RESIDENTIAL DEVELOPMENTS

1. Total # Of Apartment, Condominium or Residential Units 5. Bedroom Units: 1br 2br 3br 4br or more

2. Total # Of Congregate Care Or Life Care Dwelling Units 6. Infill Development 2.2.7

3. Total Number of Hotel Units 7. Open Space (only) or Amenity

4. Overall Total # Of Dwelling Units (1-6 Above) 8. Is your project a cottage court? Yes No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate Johnny Edwards to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: Daniel Brown Date:

Printed Name: Daniel Brown - CAMERON CORNER LLC, Manager

Signed: Date:

Printed Name:

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VEHICLE PARKING SUMMARY

PROPOSED BUILDING14,270 S.F.

TOTAL PARKING REQUIRED:
RETAIL (7,520 S.F.) 1 SP PER 300 S.F. = 25 SPACES

*RESTAURANT (6,750 S.F.) 1 SP PER 150 S.F. GROSS FLOOR AREA OR 1 SPACE PER 5 SEATS, WHICHEVER IS GREATER = 45 SPACES

TOTAL REQUIRED = 70 SPACES

*NO SEATING PLAN IS AVAILABLE FOR THE RESTAURANT USE. THEREFORE THE TOTAL NUMBER OF ALLOWABLE SEATS SHALL BE LIMITED TO THE VEHICULAR PARKING SPACES OF THE GROSS FLOOR AREA IN ACCORDANCE WITH UDO 7.2.1.C.

TOTAL PARKING PROVIDED 71 SPACES
(INCLUDES) 5 ADA SPACES (REGULAR)

BIKE PARKING SUMMARY

	REQUIRED	PROVIDED	TOTAL
RESTAURANT			
SHORT TERM: 1 / 50,000 S.F. - (4 MINIMUM)	4	4	4
LONG TERM: 1 / 25,000 S.F. - (4 MINIMUM)	4	4	4
RETAIL			
SHORT TERM: 1 / 5,000 S.F. - (4 MINIMUM)	4	4	4
LONG TERM: N/A	0	0	0
TOTAL	12	12	12

INCLUDES 8 SHORT TERM AND 4 LONG TERM

SITE DATA

OWNER: CAMERON CORNER LLC
700 EXPOSITION PLACE, STE 131
RALEIGH, NC 27615

TRACT 56

ADDRESS: 13100 FALLS OF NEUSE ROAD
RALEIGH, NC 27614

PIN: 1729.02-97-6660

ZONING: CX-3, UWPOD (URBAN WATERSHED PROTECTION OVERLAY DISTRICT)

AREA: 75,404 S.F. (1.7310 AC.)

CURRENT LAND USE: VACANT

REFERENCE: DB 17036, PG 843
BM 2003, PG 725
WAKE COUNTY REGISTRY

TRACT 59

ADDRESS: 12620 SPRUCE TREE WAY
RALEIGH, NC 27614

PIN: 1729.02-97-7472

ZONING: CX-3, UWPOD (URBAN WATERSHED PROTECTION OVERLAY DISTRICT)

AREA: 58,820 S.F. (1.3503 AC.)

CURRENT LAND USE: VACANT

REFERENCE: DB 17036, PG 838
BM 2001, PG 1613
WAKE COUNTY REGISTRY

INDEX

- CE-1 EXISTING CONDITIONS
- CE-2 SITE PLAN
- CE-3 UTILITY PLAN
- CE-4 GRADING & DRAINAGE PLAN
- CE-5 STORMWATER MANAGEMENT DETAILS
- L100 TREE CONSERVATION PLAN
- L101 PLANTING PLAN
- L102 PLANTING NOTES AND DETAILS
- A3.0 ARCHITECTURAL ELEVATIONS
SITE LIGHTING PLAN

LEGEND

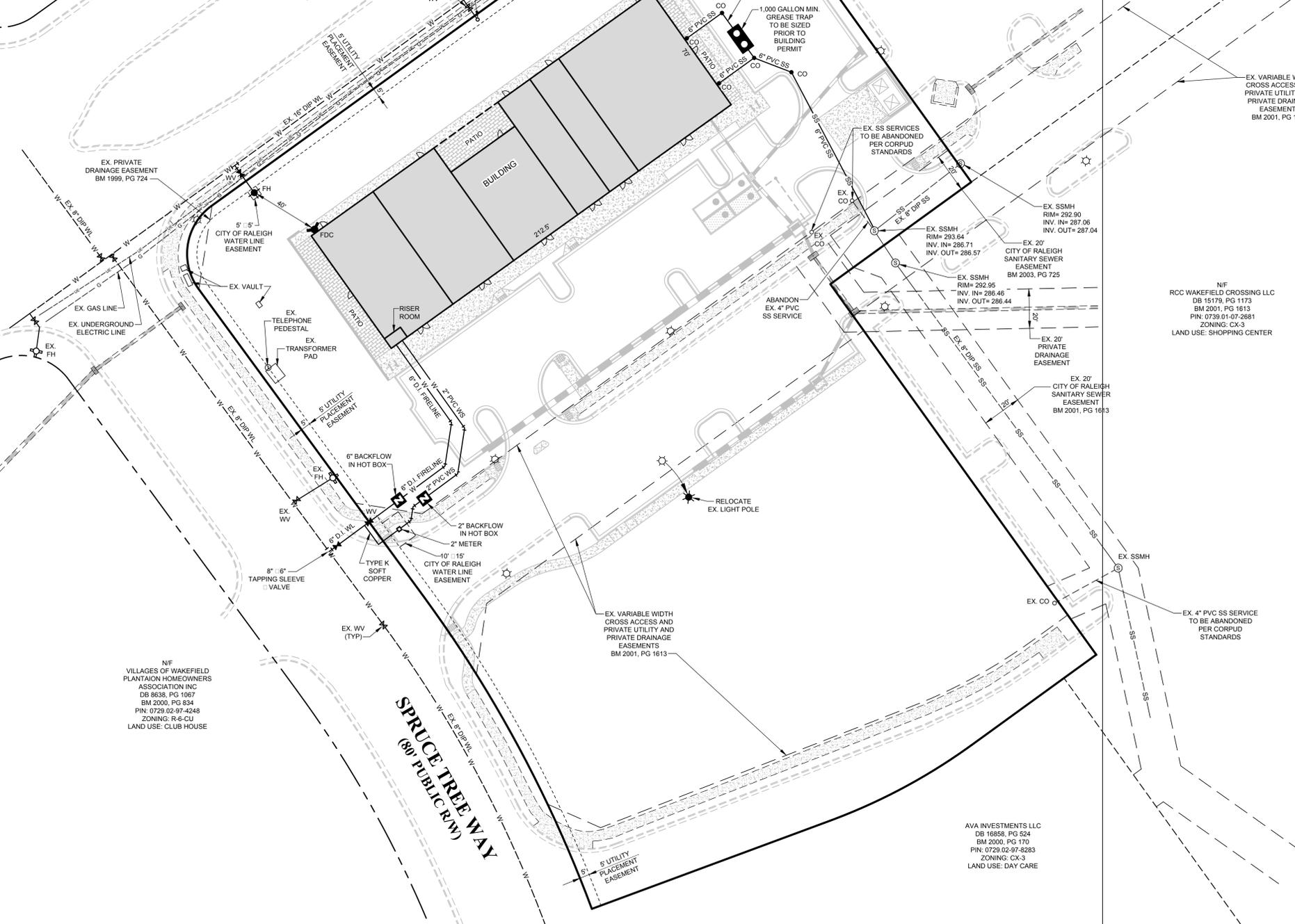
BM BOOK OF MAPS	MH MANHOLE
DB DEED BOOK	WL WATER LINE
PG PAGE	WM WATER METER
RW RIGHT-OF-WAY	WV WATER VALVE
AC ACREAGE	WS WATER SERVICE
S.F. SQUARE FEET	FH FIRE HYDRANT
EP EXISTING IRON PIPE	FL FIRE LINE
IPS IRON PIPE SET	BO BLOWOFF
NF NOW OR FORMERLY	HC HANDICAP
ELEV. ELEVATION	TC TOP OF CURB
EX. EXISTING	TW TOP OF WALL
EDP EDGE OF PAVEMENT	BW BOTTOM OF WALL
CB CATCH BASIN	HB HANDICAP BOTTOM
DI DROP INLET	HT HANDICAP TOP
D.I. DUCTILE IRON	MN. MINIMUM
CMP CORRUGATED METAL PIPE	TYP. TYPICAL
JB JUNCTION BOX	INV. INVERT
HW HEADWALL	SP SIDEWALK
SS SANITARY SEWER	SW SPACES
FES FLARED END SECTION	C.O. CLEANOUT
FFE FINISHED FLOOR ELEVATION	YI YARD INLET
PVC POLYVINYL CHLORIDE PIPE	ESMT. EASEMENT
FDC FIRE DEPARTMENT CONNECTION	CONC. CONCRETE
RCP REINFORCED CONCRETE PIPE	C.G. CURB AND GUTTER
RPZ REDUCED PRESSURE ZONE	TSP TRAFFIC SIGNAL POLE
DOVA DOUBLE CHECK VALVE ASSEMBLY	
RPDA REDUCED PRESSURE DETECTOR ASSEMBLY	

CONCRETE	EX. POWER POLE
EX. WATER VALVE	NEW WATER VALVE
EX. FIRE HYDRANT	NEW WATER REDUCER
EX. WATER METER	NEW FIRE HYDRANT
EX. SANITARY SEWER MANHOLE	NEW WATER METER
EX. SANITARY SEWER CLEANOUT	NEW SANITARY SEWER MANHOLE
EX. STORM CATCH BASIN	NEW SANITARY SEWER CLEANOUT
EX. STORM DROP INLET	NEW STORM CATCH BASIN
EX. STORM FLARED END SECTION	NEW STORM DROP INLET
EX. LIGHT POLE	NEW STORM FLARED END SECTION

PROPERTY LINE	RIGHT-OF-WAY LINE
LOT LINE	EASEMENT LINE
EXISTING WATER LINE	EXISTING SANITARY SEWER
EXISTING STORM DRAINAGE	NEW WATER LINE
NEW SANITARY SEWER	NEW STORM DRAINAGE
EXISTING CONTOUR LINE	NEW CONTOUR LINE
FEMA 100 YR. FLOOD PLAIN	FLOODWAY
NEUSE RIVER BUFFER	CENTERLINE OF CREEK
DIVERSION DITCH	TREE CONSERVATION AREA
AMENITY AREA	

NIF
STATE EMPLOYEES CREDIT UNION
DB 11644, PG 2237
BM 2001, PG 1843
PIN: 0729.02-97-5947
ZONING: NX-3
LAND USE: BANK BUILDING

**FALLS OF NEUSE ROAD
AVENUE 6-LANE DIVIDED
(130' PUBLIC R/W)**

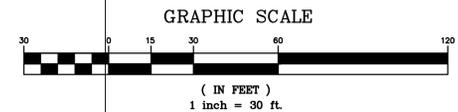


NIF
VILLAGES OF WAKEFIELD
PLANTATION HOMEOWNERS
ASSOCIATION INC
DB 9636, PG 1067
BM 2000, PG 634
PIN: 0729.02-97-4248
ZONING: R-6-CU
LAND USE: CLUB HOUSE

**SPRUCE TREE WAY
(80' PUBLIC R/W)**

- STANDARD UTILITY NOTES (as applicable):**
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
 - Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
 - Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
 - Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
 - 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
 - It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
 - Install 1/2" copper* water services with meters located at ROW or within a 2x2' Watertight Easement immediately adjacent. *NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.*
 - Install 4" PVC* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
 - Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
 - All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
 - NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
 - Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Stephen Calverley at (919) 996-2334 or stephencalverley@raleighnc.gov for more information.
 - Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information.

- GENERAL NOTES**
- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.



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Consulting Engineers
and Land Surveyors

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www.jaeco.com

13100 FALLS OF NEUSE ROAD

CAMERON CORNER, LLC

700 E. P. S. 131
R. NC 27615

UTILITY PLAN

NO.	DESCRIPTION	DATE
1	PER CITY REVIEW COMMENTS	6/27/18
2	PER CITY REVIEW COMMENTS	7/20/18

Dr: S: 1"=30'

Dr: B: BF

C: d B: JAE, JR

D: d 05/03/18

CE-3

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13100 FALLS OF NEUSE ROAD

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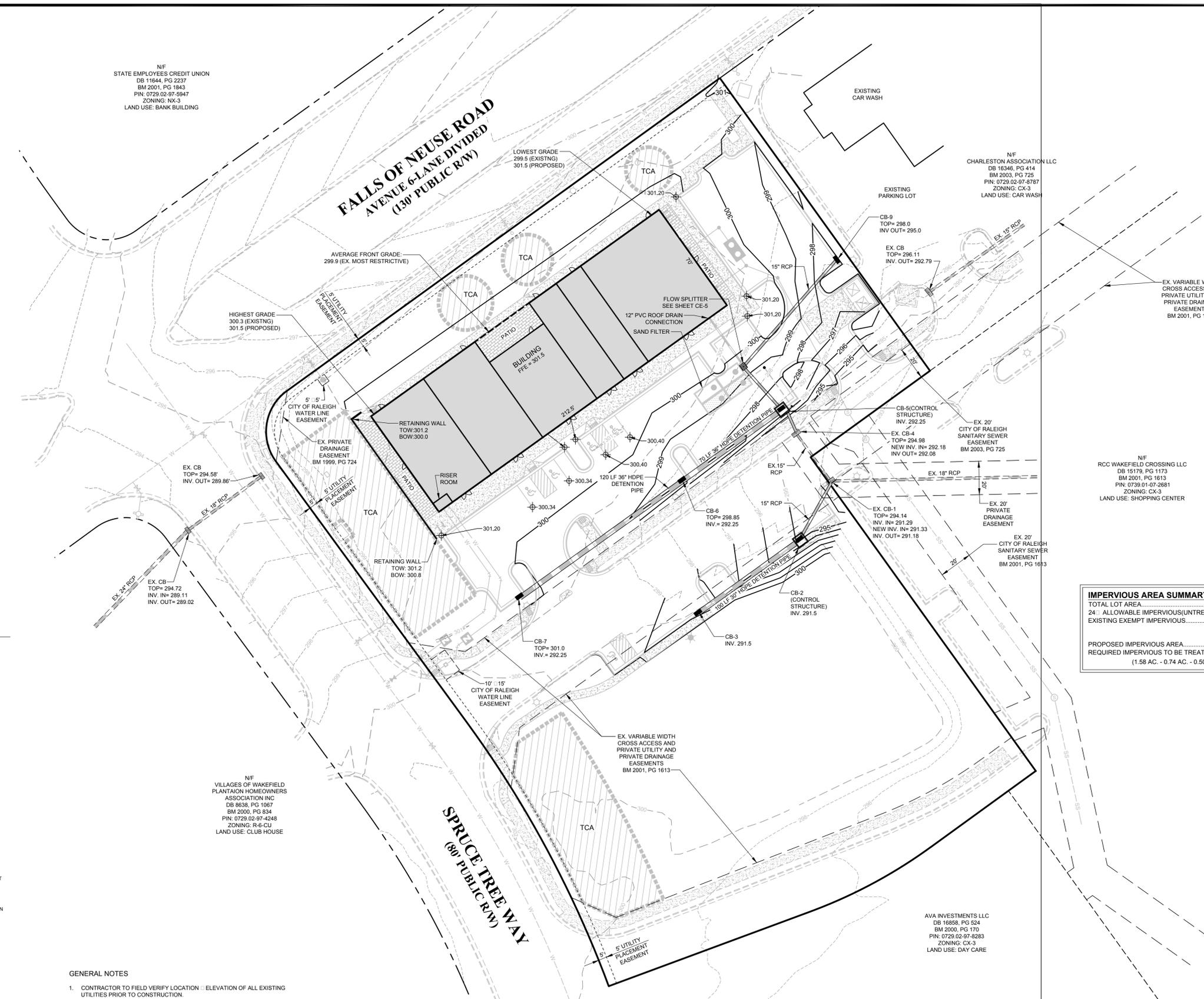
700 E. P... S... 131
R..., NC 27615

GRADING / STORMWATER MANAGEMENT PLAN

NO.	DESCRIPTION	DATE
1	PER CITY REVIEW COMMENTS	6/27/18
2	PER CITY REVIEW COMMENTS	7/20/18

Dr: S... 1"=30'
D: B... BF
C: J... JAE, JR
D: J... 05/03/18

CE-4



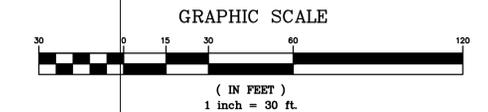
N/F
STATE EMPLOYEES CREDIT UNION
DB 11644, PG 2237
BM 2001, PG 1543
PIN: 0729.02-97-5947
ZONING: NX-3
LAND USE: BANK BUILDING

N/F
CHARLESTON ASSOCIATION LLC
DB 16346, PG 414
BM 2003, PG 725
PIN: 0729.02-97-5787
ZONING: CX-3
LAND USE: CAR WASH

IMPERVIOUS AREA SUMMARY

TOTAL LOT AREA	3.08 AC.
24\"/>	

- GENERAL NOTES**
- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
 - TOP OF CATCH BASINS SHOWN INDICATE THE TOP-BACK-OF-CURB ELEVATION UNLESS OTHERWISE STATED. TOP OF DROP INLETS OR JUNCTION BOXES INDICATE CENTER OF GRATE OR LID CASTING. TOPS SHALL BE PLACED ON GRADE AND FLUSH WITH FINISHED GRADE ELEVATION.
 - ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2%.
 - ALL DOORS AND STEPS SHALL HAVE A LANDING AREA A MINIMUM OF 5'x5' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
 - SLOPES WITHIN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.

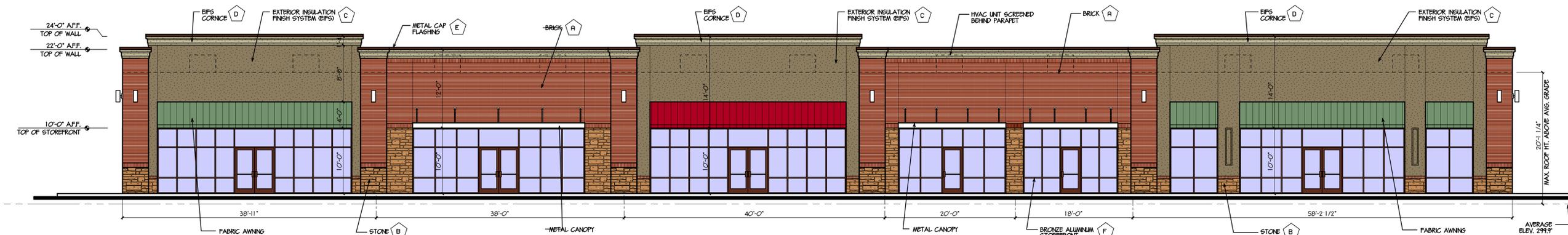


LEGEND

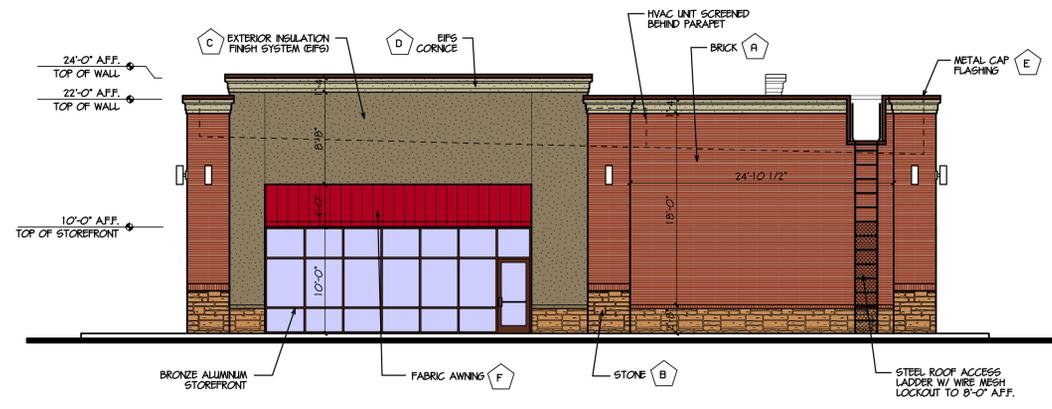
BM	BOOK OF MAPS	MH	MANHOLE
DB	DEED BOOK	WL	WATER LINE
PG	PAGE	WM	WATER METER
RW	RIGHT-OF-WAY	WV	WATER VALVE
AC	ACREAGE	WS	WATER SERVICE
S.F.	SQUARE FEET	FH	FIRE HYDRANT
EIP	EXISTING IRON PIPE	FL	FIRE LINE
IPS	IRON PIPE SET	BO	BLOWOFF
N/F	NOW OR FORMERLY	HC	HANDICAP
ELEV.	ELEVATION	TC	TOP OF CURB
EX.	EXISTING	TW	TOP OF WALL
EDP	EDGE OF PAVEMENT	BW	BOTTOM OF WALL
CB	CATCH BASIN	HB	HANDICAP BOTTOM
DI	DROP INLET	HT	HANDICAP TOP
D.I.	DUCTILE IRON	MN	MINIMUM
CMP	CORRUGATED METAL PIPE	TYP	TYPICAL
JB	JUNCTION BOX	INV.	INVERT
HW	HEADWALL	SW	SIDEWALK
SS	SANITARY SEWER	SP	SPACES
FES	FLARED END SECTION	C.O.	CLEANOUT
FFE	FINISHED FLOOR ELEVATION	YI	YARD INLET
PVC	POLYVINYL CHLORIDE PIPE	ESMT	EASEMENT
FDC	FIRE DEPARTMENT CONNECTION	CONC.	CONCRETE
RCPC	REINFORCED CONCRETE PIPE	C/G	CURB AND GUTTER
RPZ	REDUCED PRESSURE ZONE	TSP	TRAFFIC SIGNAL POLE
DCVA	DOUBLE CHECK VALVE ASSEMBLY		
RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY		

CONCRETE	EX. POWER POLE
EX. WATER VALVE	NEW WATER VALVE
EX. FIRE HYDRANT	NEW WATER REDUCER
EX. WATER METER	NEW FIRE HYDRANT
EX. SANITARY SEWER MANHOLE	NEW WATER METER
EX. SANITARY SEWER CLEANOUT	NEW SANITARY SEWER MANHOLE
EX. STORM CATCH BASIN	NEW SANITARY SEWER CLEANOUT
EX. STORM DROP INLET	NEW STORM CATCH BASIN
EX. STORM FLARED END SECTION	NEW STORM DROP INLET
EX. LIGHT POLE	NEW STORM FLARED END SECTION
	PROPOSED SPOT ELEVATION

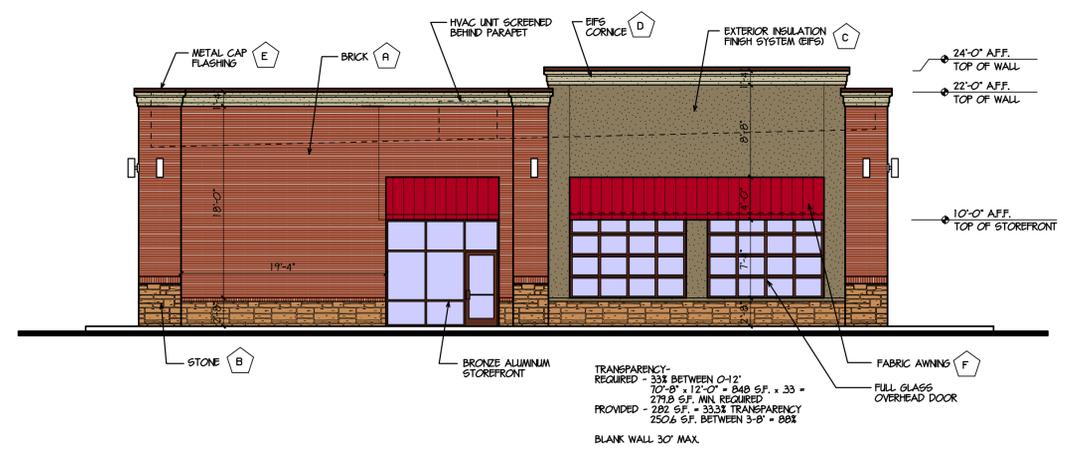
X:\dgs\2012\Development\11000 FALLS OF NEUSE\1 - PRELIMINARY\902-16 Civil Base.dwg, 7/16/2018, 2:56:55 PM



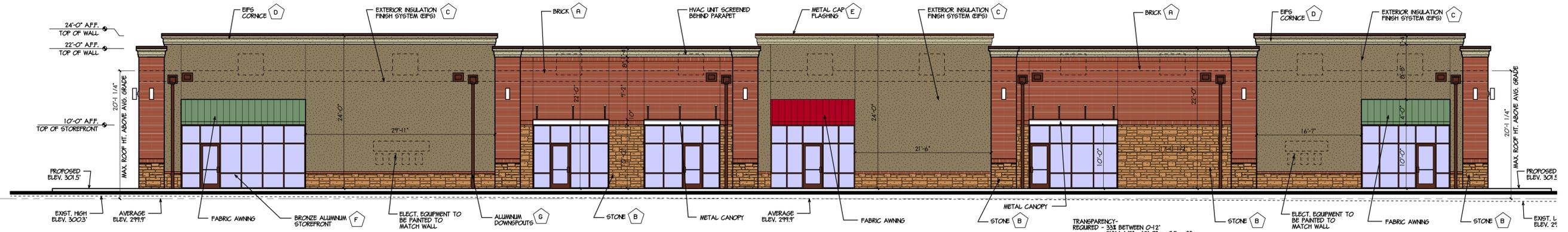
A1 Front Elevation (Facing Parking)
A3.0 SCALE: 1/8"=1'-0"



B1 Side Elevation (Facing Parking)
A3.0 SCALE: 1/8"=1'-0"



C1 Spruce Tree Way Elevation
A3.0 SCALE: 1/8"=1'-0"



D1 New Falls of Neuse Rd. Elevation
A3.0 SCALE: 1/8"=1'-0"

- ELEVATION LEGEND**
- A** MODULAR BRICK - RED/BROWN
 - B** STONE VENEER -
 - C** EIFS - COLOR: TAN
 - D** EIFS - COLOR: CREAM
 - E** METAL CAP FLASHING - PREFINISHED MEDIUM BRONZE
 - F** ALUMINUM STOREFRONT - BRONZE ANODIZED
 - G** ALUMINUM DOWNSPOUT - BRONZE ANODIZED

Christopher Patrick
 Architect
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 (919) 665-1490

Proj. # 18001
 Draw CDP Chkd CDP

**NEW SHELL BUILDING FOR
 D&N DEVELOPMENT, LLC**
 13100 FALLS OF NEUSE RD.
 RALEIGH, NORTH CAROLINA
BUILDING ELEVATIONS

Date 6/26/2018

Revisions

1	5/2/2018	ADD AVG. ELEVATION

**PRELIMINARY
 FOR
 REVIEW ONLY**

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