



Administrative Action Administrative Site Review

City of Raleigh
Development Plans Review Center
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
www.raleighnc.gov

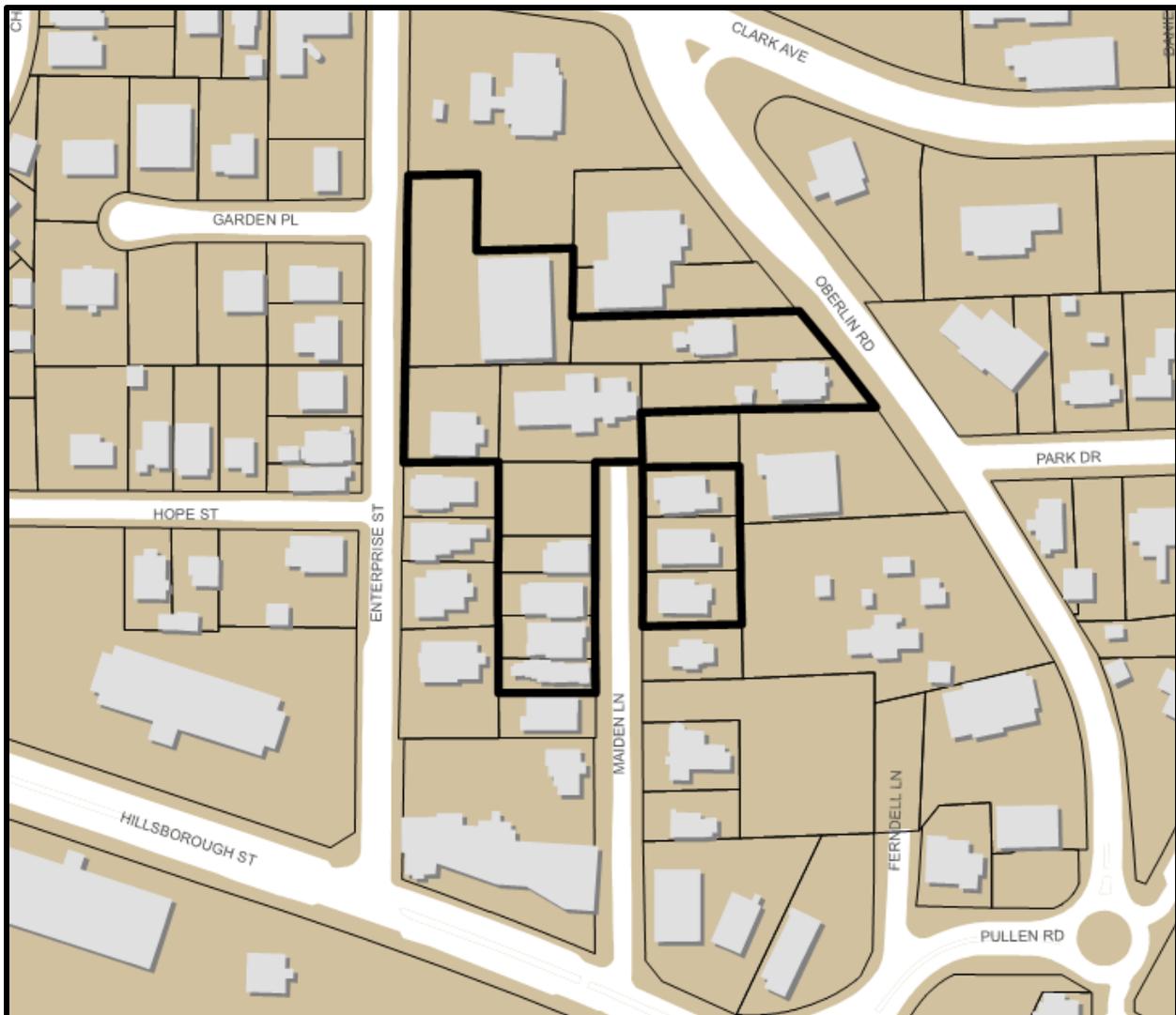
Case File / Name: SR-43-17 / Hillstone Cameron Village

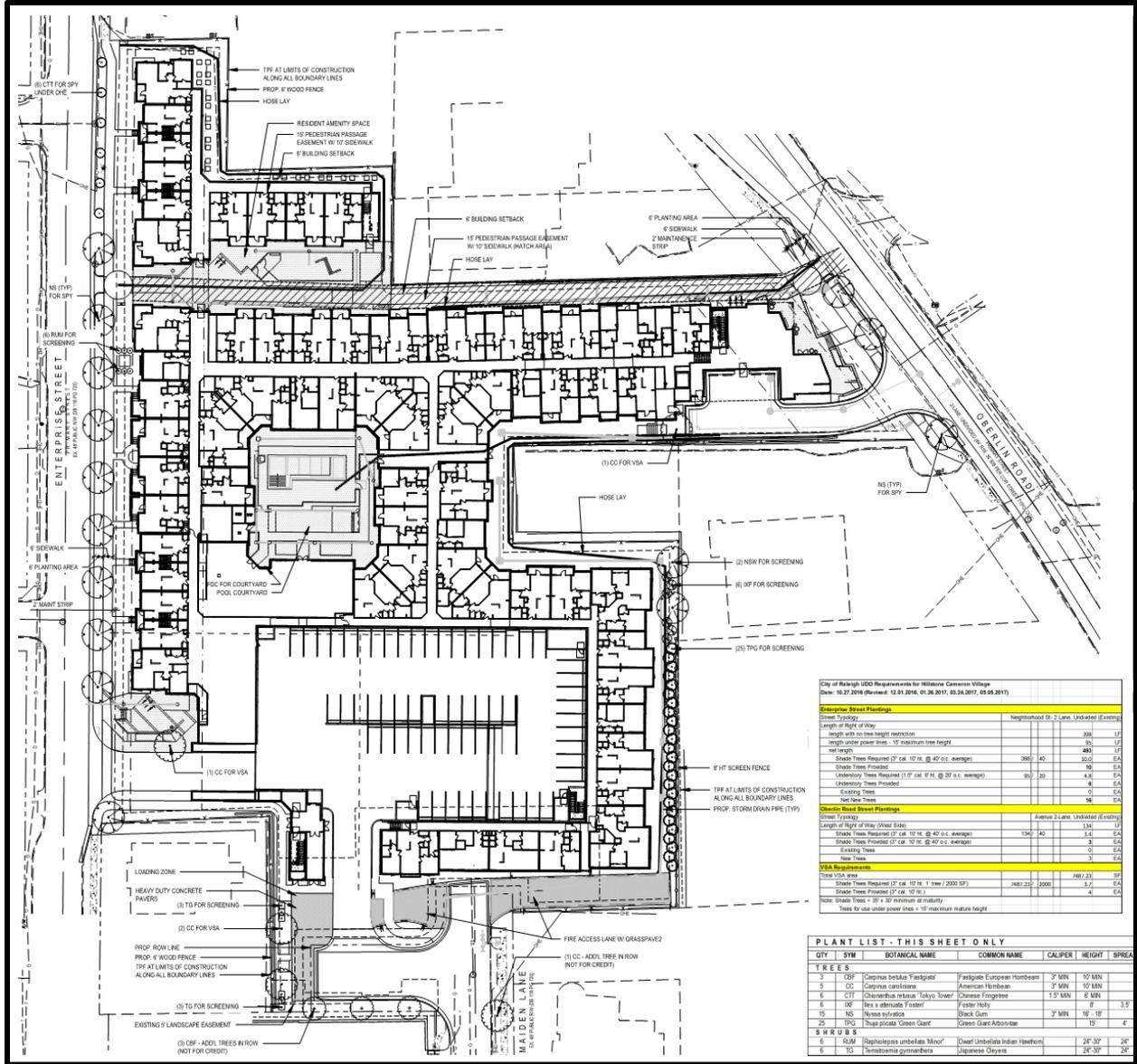
General Location: This site is located between Enterprise Street and Oberlin Road, at the north end of Maiden Lane and is inside of the city limits.

CAC: Wade

Request: Development of a multi parcel 3.56 acre tract zoned both RX-3 and OX-3 and within the Special Residential Parking overlay district into a 203 unit apartment complex consisting of two separate three-story apartment buildings and structured parking totaling 237,654 sq. ft. with a maximum height of 47' 6".

Cross-Reference: TR# 510642, STC-06-2016,





City of Raleigh UDO Requirements for Hillstone Cameron Village
Date: 10.27.2016 (Revised: 12.01.2016, 01.26.2017, 03.24.2017, 05.09.2017)

Alternative Street Plantings		Highstreet Dr. - 2 Lane, Unshaded (Existing)
Green (2000sq)		
Length of Right of Way		296
Length with no tree height restriction		296
Length under power lines - 12' maximum tree height		0
Net length		296
Shade Trees Required (2" cal. 10' ht. @ 40' o.c. spacing)	390	40
Shade Trees Provided	0	0
Understory Trees Required (1.5" cal. 8' ht. @ 20' o.c. spacing)	90	0
Understory Trees Provided	0	0
Existing Trees		0
Net New Trees		0
Green (2000sq)		
Length of Right of Way (Shaded Side)		136
Length with no tree height restriction		136
Length under power lines - 12' maximum tree height		0
Net length		136
Shade Trees Required (2" cal. 10' ht. @ 40' o.c. spacing)	136	0
Shade Trees Provided	0	0
Understory Trees Required (1.5" cal. 8' ht. @ 20' o.c. spacing)	34	0
Understory Trees Provided	0	0
Existing Trees		0
Net New Trees		0

PLANT LIST - THIS SHEET ONLY

QTY	SYM	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD
TREES						
5	CCP	Casipoua bicolor 'Fastigiat'	Fastigiate Casipoua Hornbeam	3" MIN	10' MAX	
5	CC	Casipoua caroliniana	American Hornbeam	3" MIN	10' MAX	
8	CFH	Chamaecyparis nitens 'Tokyo tower'	Chinese Fir	1.5" MIN	6' MIN	
6	CF	Carya alternata 'Frost'	Florida Holly			3.5'
10	NS	Nyssa sylvatica	Black Gum	3" MIN	10' - 15'	
25	SPQ	Thuja plicata 'Green Giant'	Green Giant Arborvitae		15'	4'
SHRUBS						
6	RSJM	Rapicarpus umbellata 'Minor'	Dwarf Umbellata Indian Hawthorn	24" - 30"	24"	
6	TC	Terminalia gymnanthera	Japanese Daycreeper	24" - 30"	24"	

SR-43-17 Preliminary Site Plan



Planning and Development Director Action

Administrative Alternate

Findings:

UDO Section 1.5.6 Build-to

The Planning and Development Officer may in accordance with Sec. 10.2.17. reduce the build-to requirement, subject to all of the following findings:

1. The approved alternate meets the intent of the build-to regulations;
Staff Response: The approved alternate meets the intent of the build-to regulations. The alternate provides a significant pedestrian amenity area, which, in combination with the building's 60% coverage of the lot width, creates a substantial street edge.
2. The approved alternate conforms with the Comprehensive Plan and adopted City plans; and
Staff Response: The approved alternate conforms with a number of Comprehensive Plan policies, including, but not limited to, the following:
 - LU 5.1: Reinforcing the Urban Pattern
 - UD 4.1: Public Gathering Spaces
 - UD 5.1: Contextual Design
3. The approved alternate does not substantially negatively alter the character-defining street wall or establish a build-to pattern that is not harmonious with the existing built context;
Staff Response: There is no character-defining street wall along Oberlin Road. The existing context consists primarily of one and two-story suburban character office buildings with parking between the buildings and the street. The ample landscaping and amenity area is harmonious with the existing built context.
4. The change in percentage of building that occupies the build-to area or increased setback does not negatively impact pedestrian access, comfort or safety; and
Staff Response: The approved alternate improves pedestrian access and comfort both along Oberlin Road and through the associated large block in which the development is located.
5. Site area that would have otherwise been occupied by buildings is converted to an outdoor amenity area under Sec. 1.5.3.B.
Staff Response: The approved alternate consists of outdoor amenity area and pedestrian spaces that are within the build-to range.

Decision

The Planning and Development Director finds that the requested alternate generally meets the findings enumerated in the Unified Development Ordinance.

Signature

Date

Code Conformance:		Code Section(s)
Zoning District:	RX-3, and OX-3	3.1
Overlay District:	SRPOD	5.1
Parking:	<p>Vehicle Required= 265 unit sp. + 21 visitor spaces = 286 Proposed = 325 (113% of required)</p> <p>Bicycle Required 203/20 = 10.15 spaces Proposed = 16 spaces</p>	7.1.2
Street Type(s):	<p>Enterprise Street: Neighborhood Street; ½ of 64' ROW to be dedicated Oberlin Road: Avenue 2-Lane</p> <p>Note this plan includes closure of a section of Maiden Land thru the site which has already been approved by the City Council (case STC-6-16), but does include dedication of a new portion of right-of-way for a street turn-around</p>	8.4
Streetscape:	Commercial	8.5
Setbacks/Frontage:	<p>Primary Street(s) - 5' Side Street – 5' Side – 0 or 6' Rear – 0 or 6'</p> <p><i>Note: Proposed development meets required setbacks and build to dimensional standards</i></p>	3.4 , 3.2 , 2.2
Neighborhood Transitions:	NA	3.5
Transitional Protective Yards:	NA	7.2.4
Stormwater:	This project will utilize two underground detention devices and a sand filter along with the TN buydown in order to meet stormwater quality and quantity regulations.	9.2

Tree Conservation:	This site is currently greater than 2 acres however all trees 10-inch diameter and larger were removed prior to recombination of lots less than 2 acres. UDO Article 9.1 Tree Conservation does not apply to this site.	9.1
Variances, Design Adjustments, Administrative Alternates:	Approved Design Adjustment providing relief to the required 20' pedestrian access easement of UDO Section 8.4.8 B which provides a mid-block crossing by allowing a 15' pedestrian access easement instead. Approved Administrative Alternate allowing the reduction of the Required Build To percentage along the Oberlin Road frontage.	
Other:	NA	

OFFICIAL ACTION: Approval with conditions

CONDITIONS OF APPROVAL:

Prior to issuance of a mass land disturbing permit for the site:

1. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable:

2. That a stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the StormwaterEngineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance, including the designation of buffer areas and open space areas for stormwater purposes prior to grading or the approval of construction drawings whichever event comes first;
3. That a nitrogen offset payment must be made to a qualifying mitigation bank;
4. That the developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans;
5. That all stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements and the plats shall contain the following note: "All private storm drainage easements & stormwater measures will be maintained by the property owners association;

6. That in accordance with Part 10A Section 8.1.3, a surety equal to 125% of the cost of development related improvements, including streetscape trees, sidewalk, and curb and gutter on both Oberlin and Enterprise Streets be paid to the City;
7. That in accordance with Part 10A Section 8.1.3, a surety equal to 125% of the cost of development related improvements, including pavement, and curb and gutter on the turnaround at the north end of Maiden Lane be paid to the City;

Prior to issuance of building permits:

8. That ½ of 64' required right of way with utility easement for Enterprise Street is dedicated to the City of Raleigh and recorded with the Wake County Register of Deeds and a copy of the recorded map be provided to the City;
9. That a recombination map recombining the portion of Maiden Lane to be closed in accordance with STC-6-16 as well as all the parcels on site into one lot be recorded in the Wake County Register of Deeds and a copy of the recorded map be provided to the City;
10. That demolition permits be issued for all the existing structures on site and these building permit numbers be shown on the required recombination map to be recorded;
11. That ½ of the required right of way with utility easement for the turnaround at the north end of Maiden Lane is dedicated to the City of Raleigh and recorded with the Wake County Register of Deeds and a copy of the recorded map be provided to the City;
12. That a public sidewalk deed of easement for the pedestrian connector between Oberlin Road and Enterprise Street is approved by the City staff and that the location of the easement be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat and a copy of the recorded documents be provided to the City;
13. That a tree impact permit is obtained from the urban forester in the Parks and Recreation Department for landscaping in the public right-of-way;
14. That in accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of stormwater devices is paid to the city;
15. That all proposed outdoor lighting will meet the standards of Section 7.4 of the Unified Development Ordinance;
16. That all mechanical equipment must be located and shown on the plan and will meet the screening standards of section 7.2.5 of the Unified Development Ordinance;

Prior to issuance of building occupancy permit:

17. That in accordance with Part 10A Section 9.2.2, an as-built plan and certification any stormwater control device shall be reviewed and accepted by the City prior to final stormwater inspection approval or certificate;

I hereby certify this administrative decision.

Signed: (Planning Dir.) Kenneth Brown (RB) Date: 7/27/2017

Staff Coordinator: Michael Walters

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.

FINDINGS: City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated May 15, 2017, submitted by David Brown, Withers Ravenel.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 7/27/2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

WHAT NEXT?:

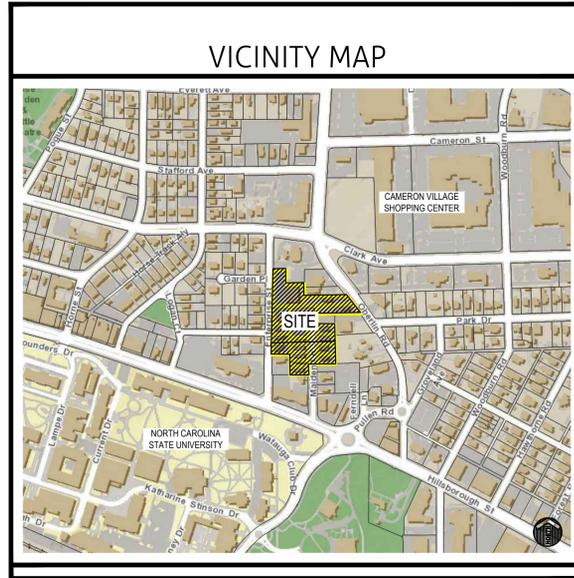
- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.

Administrative Site Review for HILLSTONE CAMERON VILLAGE

305 Oberlin Road, Raleigh, NC 27605

1st Submittal: April 13, 2017
2nd Submittal: May 15, 2017

ADMINISTRATIVE SITE REVIEW FOR HILLSTONE CAMERON VILLAGE PROJECT NO: 21-216017-10 SR-43-17 TRANSACTION: 510642



Administrative Site Review Application (for UDO Districts only)

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot
<input type="checkbox"/> Townhouse	Transaction Number
	Assigned Project Coordinator
	Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: **HILLSTONE CAMERON VILLAGE**

Zoning District: **OX-3 & RX-3** Overlay District (if applicable): **SRPOD** Inside City Limits? Yes No

Proposed Use: **RESIDENTIAL - APARTMENT**

Property Address(es): **305 OBERLIN ROAD, RALEIGH, NC 27605** Major Street Locator: **HILLSBOROUGH STREET**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N.	Please see attached list	P.I.N.	P.I.N.
	<input checked="" type="checkbox"/> Apartment		<input type="checkbox"/> Elderly Facilities
	<input type="checkbox"/> Mixed Residential		<input type="checkbox"/> School
	<input type="checkbox"/> Duplex		<input type="checkbox"/> Religious Institutions
	<input type="checkbox"/> Other: if other, please describe: _____		<input type="checkbox"/> Hospitals
			<input type="checkbox"/> Shopping Center
			<input type="checkbox"/> Hotels/Motels
			<input type="checkbox"/> Banks
			<input type="checkbox"/> Retail
			<input type="checkbox"/> Office
			<input type="checkbox"/> Industrial Building
			<input type="checkbox"/> Cottage Court

WORK SCOPE

Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.

NEW APARTMENT BUILDING AND RELATED SITE WORK

DESIGN ADJUSTMENT OR ADMIN ALTERNATE Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

CLIENT/DEVELOPER/OWNER

Company: **LEON CAPITAL GROUP** Name(s): **BRIAN T. NICHOLSON**
Address: **5970 FAIRVIEW ROAD, SUITE 450, CHARLOTTE NC 28210**
Phone: **704-956-3995** Email: **BNICHOLSON@LEONCAPITALGROUP.COM** Fax: **N/A**

CONSULTANT (Contact Person for Plans)

Company: **WITHERSRAVENEL** Name(s): **DAVID BROWN**
Address: **137 S. WILMINGTON STREET, RALEIGH, NORTH CAROLINA 27601**
Phone: **919-535-5201** Email: **DBROWN@WITHERSRAVENEL.COM** Fax: **919-467-6008**

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s): OX-3 & RX-3	Proposed building use(s): RESIDENTIAL
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross to BE DEMOLISHED
Overlay District: SRPOD	Proposed Building(s) sq. ft. gross: 237,654 SF
Total Site Acres: 3.562 AC (GROSS)	Total sq. ft. gross (existing & proposed): 237,654 SF
Off street parking: Required 286 Provided 325	Proposed height of building(s): Fifty (50')
COA (Certificate of Appropriateness) case # NA	# of stories: THREE (3)
BOA (Board of Adjustment) case # A- NA	Ceiling height of 1 st Floor: 17.5' max./10' typ.
CUD (Conditional Use District) case # Z- NA	

Stormwater Information

Existing Impervious Surface: **112,794 SF (2.59 AC)** acres/square feet Flood Hazard Area Yes No

Proposed Impervious Surface: **132,813 SF (3.04 AC)** acres/square feet If Yes, please provide: Alluvial Soils **N/A** FEMA Map Panel # **3720079400U & 3720170400U, 079481704**

Neuse River Buffer Yes No Wetlands Yes No

FOR RESIDENTIAL DEVELOPMENTS

1. Total # of Apartment, Condominium or Residential Units: 203	5. Bedroom Units: 1br 144 2br 56 3br 3 4br or more
2. Total # of Congregate Care Or Life Care Dwelling Units: NA	6. Infill Development 2.2.7: NA
3. Total Number of Hotel Units: NA	7. Open Space (only) or Amenity: .35 AC
4. Overall Total # of Dwelling Units (1-6 Above): 203	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Sheet List Table

Sheet Number	Sheet Title
C0.0	Cover
C1.0	Overall Existing Conditions Plan
C1.1	Detailed Existing Conditions Plan - North
C1.2	Detailed Existing Conditions Plan - South
C2.0	Detailed Demolition Plan - North
C2.1	Detailed Demolition Plan - South
C3.0	Overall Site Plan
C3.1	Detailed Site Plan - North
C3.2	Detailed Site Plan - South
C4.0	Overall Grading Plan
C4.1	Detailed Grading Plan - North
C4.2	Detailed Grading Plan - South
C5.0	Overall Utility Plan
C5.1	Detailed Utility Plan - North
C5.2	Detailed Utility Plan - South
C6.0	Stormwater Management Plan
C6.1	SCM #1 Design & Details
C6.2	SCM #2 Design & Details
C6.3	SCM #3 Design & Details
C7.0	Fire Department Plan
A1.01	Parking Garage Plans
A3.01	Elevations
LP1.1	Code Compliant Landscape Plan
LA2.11	Oberlin Road Entry Layout Plan
LA2.21	Enterprise Street North Entry Layout Plan
LA2.31	Enterprise Street South Entry Layout Plan
LP3.1	Landscape Details & Notes

GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH, NORTH CAROLINA OFFICE BY CITY OF RALEIGH OFFICE IN DIGITAL FORMAT AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS.
- ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
- ALL DIMENSIONS SHOWN ARE TO BACK TO CURB, UNLESS OTHERWISE STATED ON PLANS.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN OR PARKED VEHICLE.
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- TRASH AND CARDBOARD DUMPSTERS ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
- NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 30 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR MIXED-USE/COMMERCIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCRONCH ON THIS MINIMUM CORNER CLEARANCE.
- WC ACCESS RAMP(S) WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
- ALL RAMP(S) AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
- ALL ABOVE GROUND UTILITY DEVICES (DO NOT INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE FEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV COMPLETE AND SEND THE RIGHT-OF-WAY CLOSURE PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.

SOLID WASTE INSPECTION STATEMENT

- SOLID WASTE SERVICES ARE TO BE PROVIDED BY PRIVATE VENDOR.
- THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
- THIS PROJECT HAS ROLL-OUT CARTS FOR SOLID WASTE AND SINGLE-STREAM RECYCLING COMPACTOR LOCATED INSIDE OF BUILDING.
- REFER TO SITE PLAN FOR THE DESIGNATED PICKUP SERVICE LOCATION FOR STORAGE OF ROLL-OUT CARTS.

FIRE DEPARTMENT NOTES

- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (NFPA 13R) OR 250 FEET (NFPA13) TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF THE BUILDING (NCF 503.1.1).
- FIRE HYDRANT SHALL BE LOCATED WITHIN 400' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCF 507.5.1).
- ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 1/2 INCH STORZ CONNECTION.
- FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2012 NCF, SECTION 507.3.

DEVELOPER/OWNER

LEON CAPITAL GROUP
5970 FAIRVIEW ROAD
SUITE 450
CHARLOTTE, NC 28210
PHONE: (704) 956-3995
CONTACT: BRIAN NICHOLSON
EMAIL: BNICHOLSON@LEONCAPITALGROUP.COM

ARCHITECT/LANDSCAPE ARCHITECT/LAND PLANNER

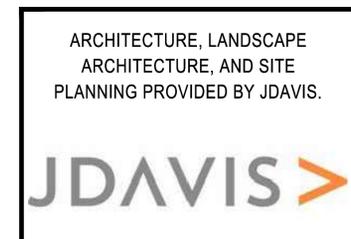
J.DAVIS ARCHITECTS
510 S. WILMINGTON STREET
RALEIGH, NC 27601
PHONE: 919-835-1500
CONTACT: LAURENT DE COMARMOND
EMAIL: LAURENTD@JDAVISARCHITECTS.COM

CIVIL ENGINEER/SURVEYOR

WithersRavenel
Engineers | Planners
137 S. Wilmington Street | Suite 200 | Raleigh, NC 27601 | t: 919.469.3340 | license #: C-0832
www.withersravenel.com

PLANNER: DAVID BROWN, PLA
DBROWN@WITHERSRAVENEL.COM

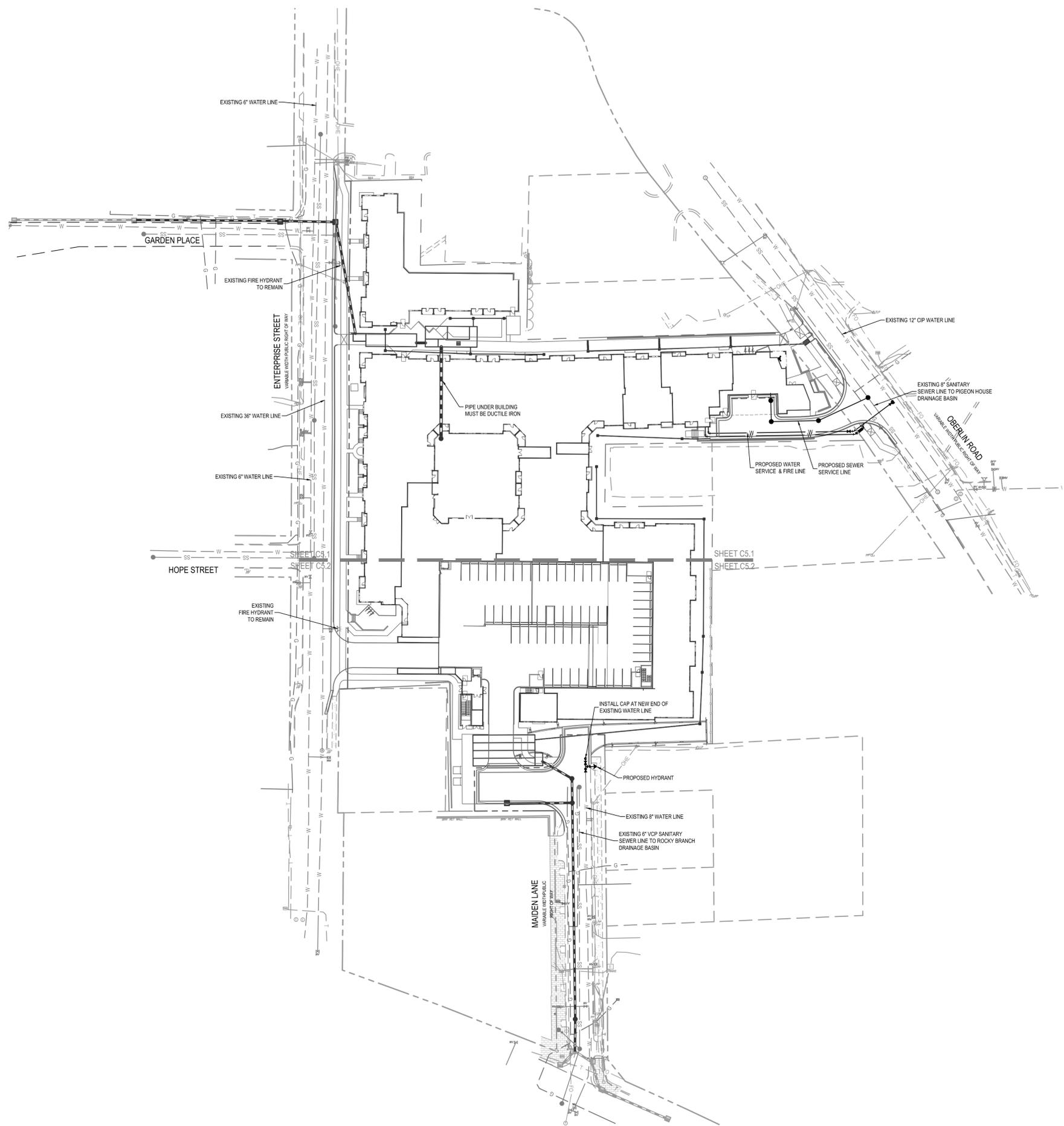
CIVIL ENGINEER: RYAN FISHER, PE
RFISHER@WITHERSRAVENEL.COM



LEGEND

EXISTING	PROPOSED

PRELIMINARY
NOT APPROVED FOR CONSTRUCTION

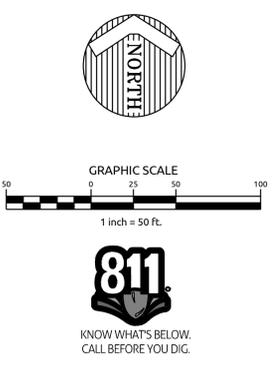


- STANDARD UTILITY NOTES (AS APPLICABLE):**
1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
 2. UTILITY SEPARATION REQUIREMENTS:
 - a) A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN UNFOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 2' FROM A PRIVATE WELL OR 5' FROM A PUBLIC WELL.
 - b) WHEN INSTALLING WATER & OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 12" IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH AN ELEVATION OF THE WATER MAIN AT LEAST 1' ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - c) WHERE IT IS IMPROBABLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - d) 5' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS, MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN & OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
 7. INSTALL 4" DIP WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. **NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.**
 8. INSTALL 8" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
 9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1' ABOVE THE NEXT UPSTREAM MANHOLE.
 10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOT, USACE & OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND & OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 11. NCDOT RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TMI BEASLEY AT (919) 996-2334 OR TMI@TMI.BEASLEYRALEIGH.GOV FOR MORE INFORMATION.
 13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANNE HARTLEY AT (919) 996-9923 OR JOANNE.HARTLEY@RALEIGH.GOV FOR MORE INFORMATION.

ALL WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL CONFORM WITH NCDOT STANDARD SPECIFICATIONS AND DETAILS.

NOTE:
ANY EXISTING WATER OR SEWER TAPS NOT BEING RETAINED FOR USE IN REDEVELOPMENT OF SITE SHALL BE ABANDONED AT MAIN AND SERVICE, REMOVED FROM ROW AND EASEMENT PER CORPUD HANDBOOK PROCEDURE.

REFER TO DETAILED UTILITY PLANS, SHEETS C5.1 & C5.2



ARCHITECTURE, LANDSCAPE ARCHITECTURE, AND SITE PLANNING PROVIDED BY JDAVIS

JDAVIS

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE

Job No.	2160171.00	Drawn By	WR
Date	4/13/2017	Designer	WR

PRELIMINARY
NOT APPROVED FOR CONSTRUCTION

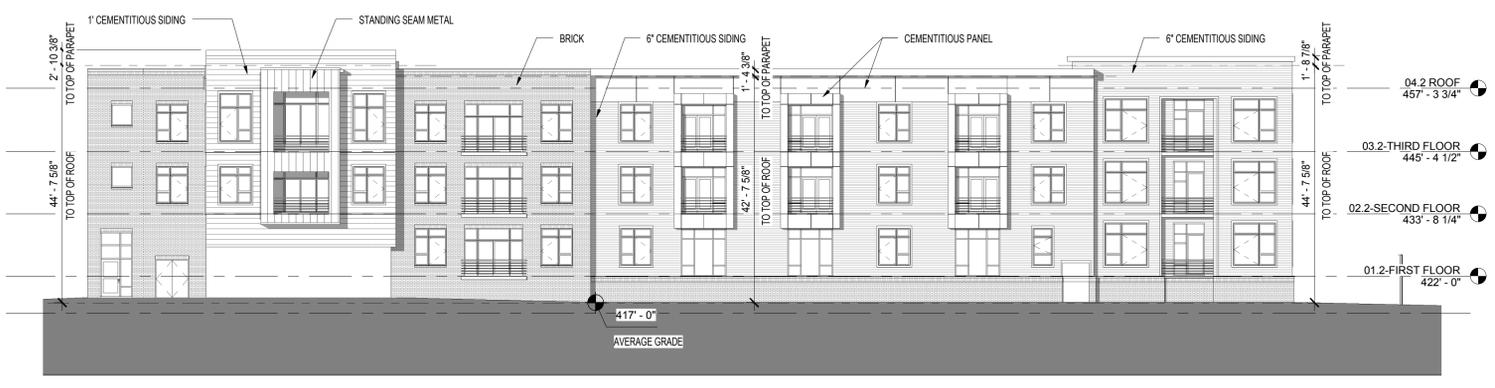
Revisions

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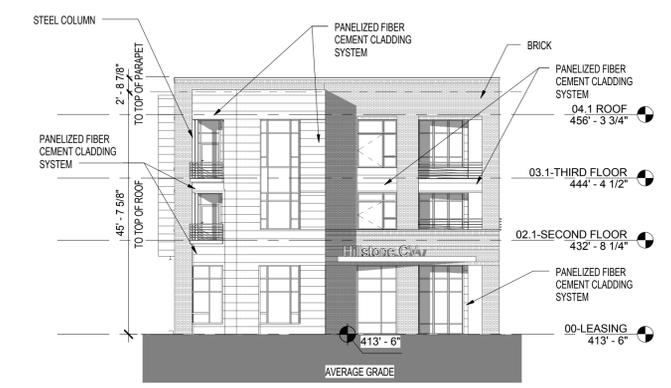
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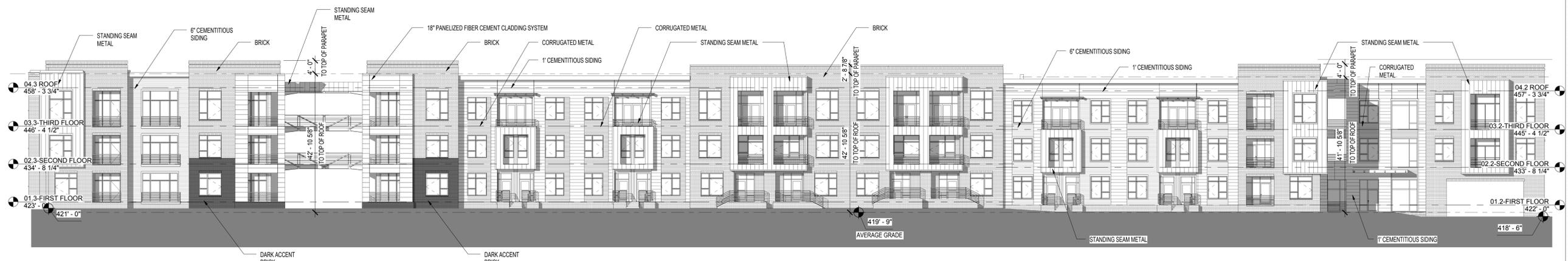
NOT FOR CONSTRUCTION



SOUTH ELEVATION MAIDEN 3
 1/16" = 1'-0"



EAST ELEVATION OBERLIN 2
 1/16" = 1'-0"



WEST ELEVATION ENTERPRISE 1
 1/16" = 1'-0"

PROJECT:	DATE:
ISSUE:	05.11.2017
REVISIONS:	
DRAWN BY:	Author
CHECKED BY:	Checker
CONTENT:	ELEVATIONS

A3.01