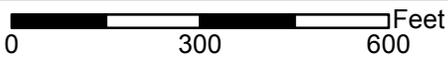
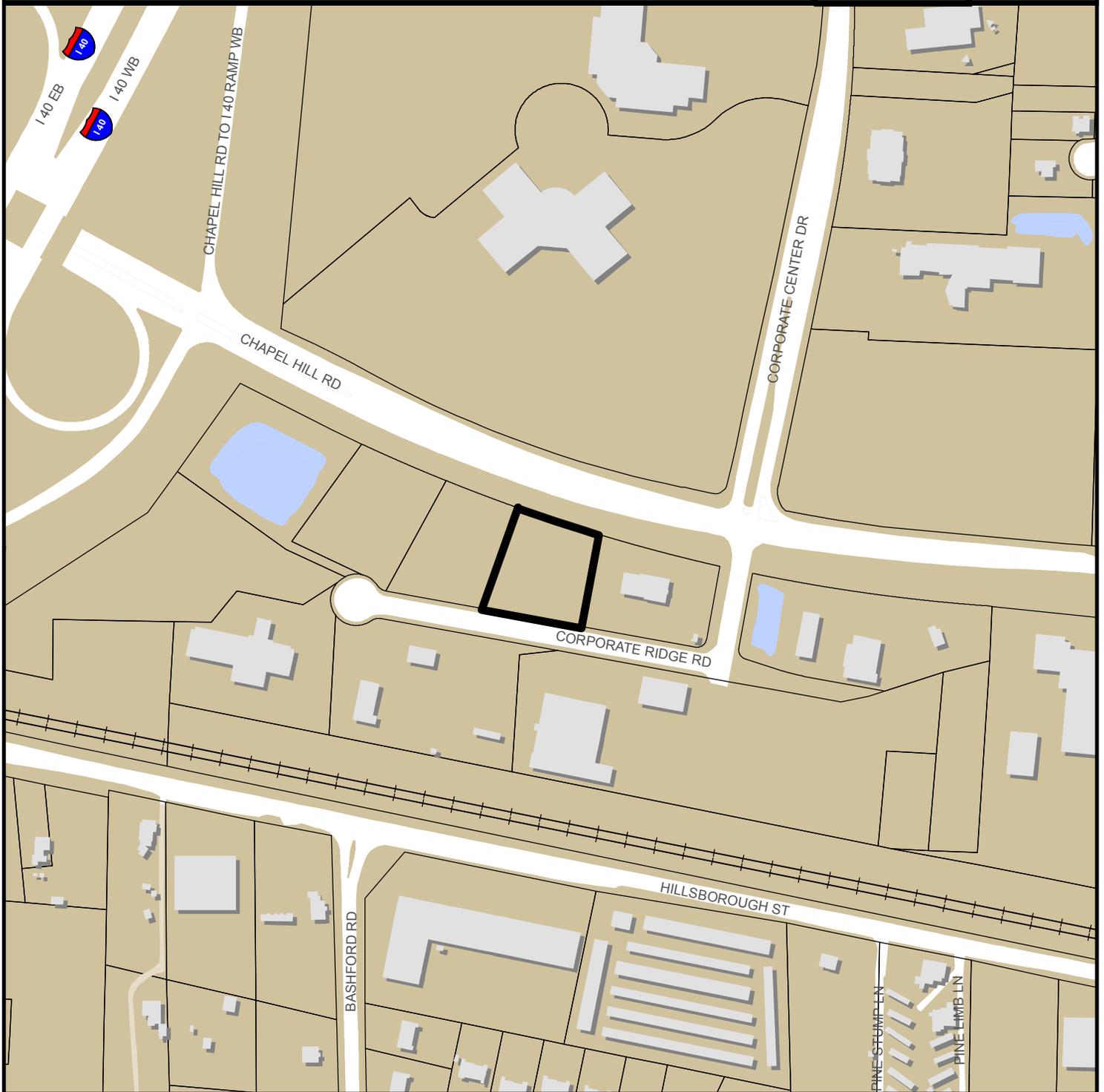


O'REILLY CORPORATE RIDGE SR-45-2017



Zoning: **CX-4-PL w/SHOD-1**
CAC: **West**

Drainage Basin: **Richland Creek**
Acreage: **0.97**
Sq. Ft.: **7938**

Planner: **Daniel Stegall**
Phone: **(919) 996-2712**

Applicant: **Perry Management, Inc**
Phone: **(252) 523-5107**





Administrative Approval Action

SR-45-17 / O'Reilly Auto Parts at Corporate Ridge Road/ Transaction# 512417/ AA3677

City of Raleigh
Development Plans Review Center
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
DS.help@raleighnc.gov
www.raleighnc.gov

GENERAL LOCATION: This site is located on the south side of Chapel Hill Road and north of Corporate Ridge Road. The site's address is 6106 Corporate Ridge Road and the PIN number is 07746266. The site has access to Chapel Hill Road via Lot 5 at 6110 Corporate Ridge Road and the Pin number is 0774624675.

REQUEST: Development of retail space for an auto parts store. The applicant is proposing a 7,938 square foot building on a site where 32 parking spaces are required. The property is zoned Commercial Mixed Use-4-Parking Limited (CX-4-PL).

ADMINISTRATIVE

ALTERNATE: An Administrative Alternate was approved by the Planning Director to grant relief from Transparency requirements for building façade facing Corporate Ridge Road. Details provide below.



Planning and Development Director Action

Administrative Alternate Findings:

UDO Section 1.5.9 Transparency

The Planning and Development Officer may in accordance with Sec. 10.2.17. reduce the required transparency, subject to all of the following findings:

1. The approved alternate meets the intent of the transparency requirements;
Staff Response: The approved alternate would lend visual interest to the building façade and minimize blank wall area for the building wall facing Corporate Ridge Road.
2. The approved alternate conforms with the Comprehensive Plan and adopted City plans; and
Staff Response: The approved alternate conforms to the following Comprehensive Plan policies:
 - LU 5.1 – Reinforcing the Urban Pattern
 - LU 7.4 – Scale and Design of New Commercial Uses
 - UD 1.2 – Architectural Features
 - UD 5.1 – Contextual Design
3. The street-facing building façade utilizes other architectural treatments to create visual interest to offset the reduction in transparency.
Staff Response: The proposed building incorporates shutter features of varying size, as material differentiation and other architectural treatments to offset the reduction in transparency and create visual interest. In addition, the Commission's condition that appropriately sized and shaped contextual plant material be incorporated along the rear of the building further guarantees that the alternate will create visual interest.



Administrative Approval Action

SR-45-17 / O'Reilly Auto Parts at Corporate Ridge Road/ Transaction# 512417/ AA3677

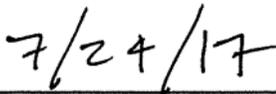
City of Raleigh
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Decision: The Planning and Development Director finds that the requested alternate generally meets the findings enumerated in the Unified Development Ordinance, subject to the following conditions:

1. That a landscape plan be associated with this plan and that it consists of plant material that is contextual to the size and shape of the shutters.
2. That the proposed shutters are specified on the plans and constructed of durable materials, and that such materials are indicated on the plans.



Signature



Date

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Wade J. Pudwill of Commercial Site Design. The plan is dated 08-01-2017.

CONDITIONS OF APPROVAL and Next Steps:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

Prior to issuance of a mass land disturbing permit for the site:

1. That prior to issuance of a grading permit, in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable;

2. That a driveway permit and encroachment agreements are to be approved by NCDOT and provided to the City of Raleigh;
3. That the final site plan be revised to show a private sidewalk extension of approximately 15' north to the Chapel Hill Road property line rather than payment of a fee-in-lieu as shown on the preliminary plan;



Administrative Approval Action

SR-45-17 / O'Reilly Auto Parts at Corporate Ridge
Road/ Transaction# 512417/ AA3677

City of Raleigh
Development Plans Review Center
One Exchange Plaza
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Prior to issuance of building permits:

4. That Infrastructure Construction Plans for any public improvements through the Concurrent Review process are approved by the City of Raleigh, including obtaining stub permits, tree impact permit and a street lighting plan, if applicable;
5. That a surety be paid for incomplete public improvements in the right-of-way on Chapel Hill Road and Corporate Ridge Road associated with this project;
6. That a fee-in-lieu be paid for 1' of sidewalk along the entire frontage on Chapel Hill Road to meet the 6' sidewalk requirement per the UDO;
7. That a fee-in-lieu be paid for 1' sidewalk on Corporate Ridge Road frontage of 215';
8. That a fee-in-lieu be paid for (5) street trees along Corporate Ridge Rd;
9. That prior to issuance of a building permit, in accordance with UDO 9.2.2, a surety equal to 125% of the cost of construction of a stormwater device shall be paid to the City;
10. That 4.5' of right-of-way and a 5' general utility placement easement be dedicated on Corporate Ridge Road and a copy of the recorded map be provided to the City;
11. That a cross access agreement between lot 5 (PIN #0774624675/6110 Corporate Ridge Road) owned by CHD Investments, LLC and lot 6 (PIN#07746266/ 6106 Corporate Ridge Road) owned by Perry Brothers Properties, LLC of Corporate Center Plaza Subdivision (BM2009 PG1170) is approved by the Development Services Department for recording in the Wake County Registry, and that a copy of the recorded cross access easement must be returned to the City after recordation;

Prior to Issuance of a certificate of occupancy:

12. That in accordance with Part 10A Section 9.2.2, an impervious surface as-built survey shall be reviewed and accepted by the City prior to final stormwater inspection approval.



Administrative Approval Action

SR-45-17 / O'Reilly Auto Parts at Corporate Ridge
Road/ Transaction# 512417/ AA3677

City of Raleigh
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EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 9-15-2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

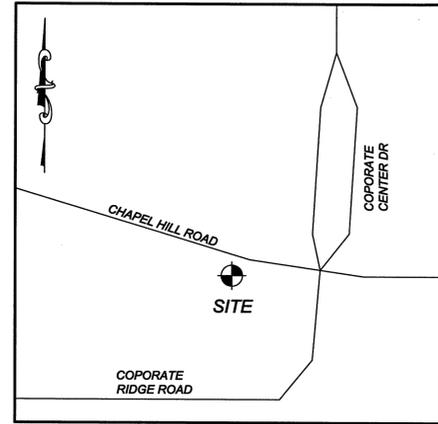
4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Planning Dir.) Kenneth Bowser Date: 9/15/2017
(RT)

Staff Coordinator: Daniel L. Stegall



VICINITY MAP
NTS

O'REILLY AUTO PARTS

CLIENT:
PERRY MANAGEMENT
518 PLAZA BOULEVARD KINSTON, NORTH CAROLINA
PHONE: (252) 523-5107
FAX: (252) 523-8858
CITY OF RALEIGH TRANSACTION #512417
CITY OF RALEIGH SR-45-17

SITE ADDRESS:
6106 CORPORATE RIDGE ROAD
RALEIGH, NORTH CAROLINA

CSD PROJECT NUMBER: PER-1601

SHEET INDEX

- C-1 EXISTING CONDITIONS/DEMOLITION PLAN
- C-2 SITE PLAN
- C-2a TRUCK TURN PLAN
- C-2b BLOCK PERIMETER EXHIBIT
- C-2c INTERSECTION SIGHT DISTANCE
- C-3 GRADING PLAN
- C-4 (OMITTED)
- C-5 UTILITY PLAN
- C-6 DETAILS
- C-7 DETAILS
- C-8 DETAILS
- C-9 (OMITTED)
- C-10 LANDSCAPE PLAN
- A2.1 BUILDING ELEVATIONS
- A6.2 REFUSE ENCLOSURE
- G1.1 CODE SUMMARY PLAN
- SP1 SITE PHOTOMETRIC PLAN
- SP2 SITE LIGHTING DETAILS

CONTACT INFORMATION	
WATER:	CITY OF RALEIGH PUBLIC UTILITIES 222 W. HARGETT STREET RALEIGH, NC 27601 CONTACT: ERIC HAUGAARD PHONE: 919-996-3481
STORM DRAINAGE:	CITY OF RALEIGH ONE EXCHANGE PLAZA - SUITE 400 RALEIGH, NC 27601 CONTACT: NATHAN BURDICK PHONE: 919-996-3520
SANITARY SEWER:	CITY OF RALEIGH PUBLIC UTILITIES 222 W. HARGETT STREET RALEIGH, NC 27601 CONTACT: ERIC HAUGAARD PHONE: 919-996-3481
GAS:	PSNC 3516 SPRING FOREST ROAD RALEIGH, NC 27616 CONTACT: KEN COLE PHONE: (704) 810-3209
ELECTRIC:	DUKE ENERGY PROGRESS 3000 SPRING FOREST ROAD RALEIGH, NC 27616 CONTACT: LINDA ALLEN PHONE: (919) 878-5315
TELEPHONE:	BELL SOUTH PHONE: (919) 785-7975
PLANNING / ZONING:	CITY OF RALEIGH PLANNING DEPT. ONE EXCHANGE PLAZA - SUITE 400 RALEIGH, NC 27601 PHONE: (919) 996-2562

SITE INFORMATION	
SITE ADDRESS:	6106 CORPORATE RIDGE ROAD
PARCEL IDENTIFICATION NUMBER:	077462661 (LOT 5) 077462661 (LOT 6) REID 0378931 (LOT 5) REID 0378432 (LOT 6)
DEVELOPER:	PERRY MANAGEMENT 518 PLAZA BLVD. KINSTON, NC PHONE: 252-523-5107; FAX: 252-523-8858
DESIGNER:	COMMERCIAL SITE DESIGN, PLLC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 PHONE: (919) 848-6121 FAX: (919) 848-3741
ZONING:	CX-4-PL
EXISTING USE:	VACANT
PROPOSED USE:	RETAIL
BUILDING SETBACKS:	FRONT (CHAPEL HILL RD)... 0'-100' BUILD-TO SETBACK SIDE 0'-6' BUILDING SETBACK REAR (CORPORATE RIDGE ROAD) 0'-6' BUILDING SETBACK
PARKING REQUIREMENTS:	1 SPACE PER 300 SF 7,938 / 300 = 27 SPACES REQUIRED
PARKING PROVIDED:	32 REGULAR SPACES 2 HANDICAP SPACES (1 VAN ACCESSIBLE) 34 TOTAL SPACES
SHORT TERM BIKE SPACES REQUIRED:	1 PER 5000 SF GFA (MINIMUM 4)
BIKE SPACES PROVIDED:	4
AMENITY AREA:	10% REQUIRED = 4,227 SF
AMENITY AREA PROVIDED:	5,527 SF
TOTAL SITE AREA:	42,267 SF OR 0.97 ACRE
DISTURBED AREA:	57,688 SF OR 1.32 ACRES
EXISTING IMPERVIOUS:	2,936 SF OR 0.07 ACRE
LOT 5:	4,511 SF OR 0.10 ACRE
PROPOSED IMPERVIOUS AREA:	28,206 SF OR 0.65 ACRE (67%)
LOT 5:	4,159 SF OR 0.10 ACRE
LOT 6:	27,877 SF OR 0.64 ACRE
ALLOCATED IMPERVIOUS AREA:	34,485 SF PER TRANSACTION # 281949
PER TRANSACTION # 281949:	30,933 SF PER TRANSACTION # 281949
LOT 5:	34,485 SF PER TRANSACTION # 281949
LOT 6:	30,933 SF PER TRANSACTION # 281949
BUILDING AREA:	7,938 SF
WATER:	CITY OF RALEIGH
SEWER:	CITY OF RALEIGH
HEIGHT ALLOWED:	4 STORIES
PROPOSED HEIGHT:	1 STORY, 22'-8"
BUILD TO CHAPEL HILL ROAD:	0'-100' BUILD TO LINE - 180.99' LENGTH @ PROPERTY LINE BUILDING LENGTH 103.6% COVERAGE = 92 / 181 = 50.8% MINIMUM 50%
BUILD TO CORPORATE RIDGE ROAD:	0'-100' BUILD TO LINE - 215.72' LENGTH @ PROPERTY LINE BUILDING LENGTH 108 / 215.72 = 50% MINIMUM 50%

ATTENTION CONTRACTORS
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

NO.	DATE	DESCRIPTION	BY
1	07-13-2017	TRANSACTION 0524217 COMMENTS	STH
2	08-01-2017	TRANSACTION 0524217 COMMENTS	STH

Travis Hill

From: Eric, Dustin <Dustin.Brice@raleighnc.gov>
Sent: Wednesday, June 07, 2017 12:02 PM
To: Ray Watson
Cc: Wade Pudwill, Beard, Kathryn
Subject: RE: Transaction 512417 - 6106 Corporate Ridge

Ray,
Per the site plan there will be no new streets constructed, thus no new street lights will be required. We do already have street lights on Corporate Ridge Drive so no worries there.
Thanks,

From: Ray Watson [mailto:ray.watson@csitedesign.com]
Sent: Wednesday, June 07, 2017 8:53 AM
To: Eric, Dustin
Cc: Wade Pudwill, Beard, Kathryn
Subject: Transaction 512417 - 6106 Corporate Ridge

Mr. Brice
During the first review for the civil portion of this project, Kathryn Beard, Transportation had this comment:
24 Street lighting is required on all public streets and lighting plans will be required to be included in the infrastructure construction plan prior to building permit. Contact Dustin Brice at dustin.brice@raleighnc.gov for confirmation of type and agreements. RSDM 6.22
The site is the vacant lot adjoining McDonalds. I have attached the Existing Conditions Plan, the Site Plan and an aerial. Both of these streets are existing.
Please let me know if street lighting will be required, the type of lights, who will do the layout and a copy of the agreement.

Ray Watson, PE
Project Engineer
Watson@csitedesign.com
Direct: 919-848-6541
Cell: 919-418-4715
Main: 919-848-6121
www.csitedesign.com
8312 Creedmoor Rd., Raleigh, NC 27613

E-mail correspondence to and from this address may be subject to the North Carolina Public Records Law and may be disclosed to third parties by an authorized City or Law Enforcement official.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

COMMERCIAL SITE DESIGN
8312 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA 27613
(919) 848-6121, FAX: (919) 848-3741
WWW.CSITDESIGN.COM

Administrative Site Review Application
(for UDO Districts only)

Development Services Department
Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2409 | Fax: 919-996-1831
Litchford Satellite Office | 8339 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE
 Detached
 Attached
 Apartment
 Townhouse
 General
 Mixed Use
 Open Lot

FOR OFFICE USE ONLY
 Plan Number
 Approved Date
 Approved By

GENERAL INFORMATION
 Development Name: O'Reilly Auto Parts
 Zoning District: CX-4-PL Overlay District (if applicable): N/A Inside City Limits? Yes No
 Proposed Use: Retail Sales
 Property Address: 6106 Corporate Ridge Road Major Street Location: Chapel Hill Road
 Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:
 P.I.N. 077462661 (LOT 5) P.I.N. 077462667 (LOT 6) P.I.N.

WORK SCOPE
 Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (see Chapter 6 of the UDO), indicate impacts on parking requirements.
 Constructing a 7,938 SF retail building with associated parking, signage, trash enclosure, landscaping and utilities to support. Providing access to Corporate Ridge Rd.

DESIGN ADJUSTMENT OR ALTERNATE
 Per City Code Chapter 6, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE
 N/A

CLIENT/DEVELOPER/OWNER
 Company: Perry Management, Inc. Name: Ely J. Perry III
 Address: P.O. Box 1475 - Kinston, NC 28503
 Phone: 252-523-5107 Email: elyperry3@gmail.com Fax: 252-523-8858

CONSULTANT
 Company: Commercial Site Design Name: Wade J. Pudwill
 Address: 8312 Creedmoor Rd. - Raleigh, NC 27613
 Phone: 919-848-6121 Email: pudwill@csitedesign.com Fax: 919-848-3741

WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District: CX-4-PL	Proposed building use(s): Retail
Overlay District: N/A	Existing building(s) sq. ft. gross: N/A
Total Site Area: Inside City Limits <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Proposed building(s) sq. ft. gross: 7,938
Diff. street parking: Required <input type="checkbox"/> Provided <input checked="" type="checkbox"/>	Total sq. ft. gross (existing & proposed): 7,938
COA (Certificate of Appropriateness) case # N/A	Proposed height of building(s): 22' - 8"
BOA (Board of Adjustment) case # N/A	# of stories (1)
CUO (Conditional Use District) case # N/A	Collar height of 1st Floor: 11' - 6"
Existing Impervious Surface: 0.10/4.437 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface: 83/28.633 acres/square feet	If Yes, please provide: Alluvial Soil N/A FEMA Map Panel # 106
Wade River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

FOR RESIDENTIAL DEVELOPMENTS

3. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care or Life Care Dwelling Units	6. Infill Development 2.2.7
4. Overall Total # of Dwelling Units (1-5 Above)	7. Open Space (only on Assembly)
	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

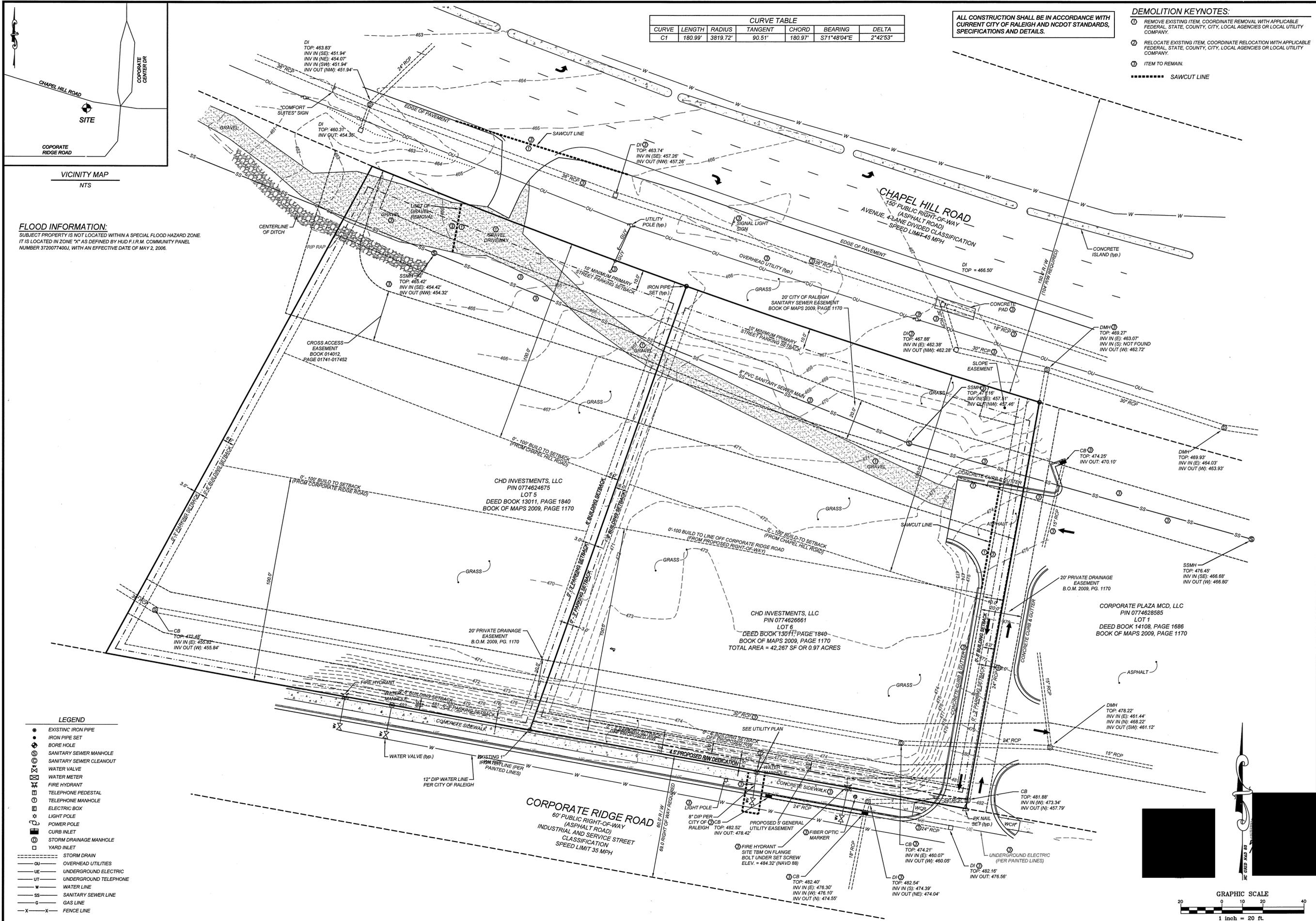
SIGNATURE BLOCK (Applicable to all developments)
 I hereby designate Wade J. Pudwill as my agent regarding this application, to receive and respond to all correspondence, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.
 I have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.
 Signed: Ely J. Perry III Date: 4/27/17
 Printed Name: Ely J. Perry III Date: _____
 Signed: _____ Date: _____
 Printed Name: _____

TO BE COMPLETED BY APPLICANT	TO BE COMPLETED BY CITY STAFF	
	YES	NO
1. Filing Fee for Plan Review - Payments may be made by cash, Visa, MasterCard or check made payable to the City of Raleigh	<input type="checkbox"/>	<input type="checkbox"/>
2. Administrative Site Review Application completed and signed by the property owner(s)	<input type="checkbox"/>	<input type="checkbox"/>
3. Client must complete and adhere to page 1 and 2 of the Administrative Site Review Application to the plan cover sheet	<input type="checkbox"/>	<input type="checkbox"/>
4. I have referenced the Administrative Site Review Checklist and by using this as a guide, I will ensure that I receive a complete and thorough final review by the City of Raleigh	<input type="checkbox"/>	<input type="checkbox"/>
5. Provide the following plan sheets: a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address b) Existing Conditions Sheet, including, but not limited to, structures, buildings, utilities, infrastructure, and vegetation c) Proposed Site Plan d) Proposed Grading Plan e) Proposed Stormwater Plan, including preliminary stormwater quantity and quality summary and calculations package. If not required, provide City Code section on front cover. f) Proposed Utility Plans, including fire g) Proposed Tree Conservation Plan - For secondary Tree Conservation Areas, include two copies of the tree cover report completed by a certified arborist, North Carolina Registered landscape architect, or North Carolina registered forester. If not required, provide City Code section on front cover. h) Proposed Landscape Plan i) Building elevations that show existing and/or proposed building height. If demolition, do not include buildings to be demolished. j) Transportation Plan	<input type="checkbox"/>	<input type="checkbox"/>
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 500', etc.), and date of preparation. For submittals - include all revision dates	<input type="checkbox"/>	<input type="checkbox"/>
7. Minimum plan size 36"x48" not to exceed 36"x48"	<input type="checkbox"/>	<input type="checkbox"/>
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=2000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input type="checkbox"/>	<input type="checkbox"/>
9. Include sheet titles and legend defining all symbols with true north arrow, with north being at the top of the map	<input type="checkbox"/>	<input type="checkbox"/>
10. Digital copy of only the plans and elevations. Label the CD or flash drive with the plan name, case file number, and indicate the review cycle #.	<input type="checkbox"/>	<input type="checkbox"/>
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input type="checkbox"/>
12. If applicable, zoning conditions adhered to the plan cover sheet	<input type="checkbox"/>	<input type="checkbox"/>

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	180.99'	3819.72'	90.51'	180.97'	S71°48'04"E	2°42'53"

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

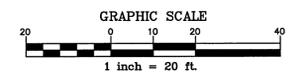
- DEMOLITION KEYNOTES:**
- REMOVE EXISTING ITEM. COORDINATE REMOVAL WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
 - RELOCATE EXISTING ITEM. COORDINATE RELOCATION WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
 - ITEM TO REMAIN.
- SAWCUT LINE



FLOOD INFORMATION:
SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 3720077400J, WITH AN EFFECTIVE DATE OF MAY 2, 2006.

VICINITY MAP
NTS

- LEGEND**
- EXISTING IRON PIPE
 - IRON PIPE SET
 - BORE HOLE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEANOUT
 - WATER VALVE
 - WATER METER
 - FIRE HYDRANT
 - TELEPHONE PEDESTAL
 - TELEPHONE MANHOLE
 - ELECTRIC BOX
 - LIGHT POLE
 - POWER POLE
 - CURB INLET
 - STORM DRAINAGE MANHOLE
 - YARD INLET
 - STORM DRAIN
 - OVERHEAD UTILITIES
 - UNDERGROUND ELECTRIC
 - UNDERGROUND TELEPHONE
 - WATER LINE
 - SANITARY SEWER LINE
 - GAS LINE
 - FENCE LINE



REVISIONS

NO.	DATE	DESCRIPTION
1	7/13/2017	TRANSACTION 512417 COMMENTS
2	08-07-2017	TRANSACTION 512417 COMMENTS

COMMERCIAL SITE DESIGN

8972 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA 27615

(919) 848-6021, FAX: (919) 848-9741
WWW.CSDESIGN.COM

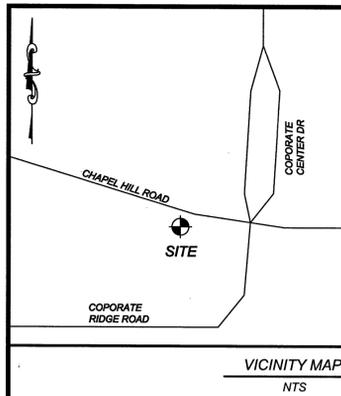
CLIENT/OWNER:

PERRY MANAGEMENT
518 PLAZA BOULEVARD
PO BOX 1475
KINSTON, NC 28503
PHONE: 252-523-5107
FAX: 252-523-8858

O'REILLY AUTO PARTS
6106 CORPORATE RIDGE ROAD
RALEIGH, NORTH CAROLINA

EXISTING CONDITIONS / DEMOLITION PLAN

PROJECT NO: PER-1601
FILENAME: PER1601-EX
DRAWN BY: JWR
SCALE: 1" = 20'
DATE: 01-27-16
SHEET NO: C-1



SITE KEYNOTES:

- 1 CONSTRUCT 2.0' CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
- 2 CONSTRUCT 2.0' CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- 3 CONSTRUCT 2'-6" CONCRETE CURB AND GUTTER IN NCDOT RIGHT-OF-WAY
- 4 CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET
- 5 HANDICAP PARKING STALL
- 6 INSTALL HANDICAP PARKING SIGN PER DETAIL SHEET
- 7 INSTALL VAN ACCESSIBLE HANDICAP PARKING SIGN PER DETAIL SHEET
- 8 CONCRETE PAVEMENT PER DETAIL SHEET

ASPHALT PAVEMENT PER DETAIL SHEET

- 9 TRANSFORMER PAD BY GENERAL CONTRACTOR, PER ELECTRIC COMPANY SPECIFICATIONS, (COORDINATE SIZE AND LOCATION WITH UTILITY COMPANY)
- 10 CONSTRUCT DUMPSTER PAD, MINIMUM 6" CONCRETE WITH 4" ABC BASE, AND TRASH ENCLOSURE WITH GATES, SEE ARCHITECTURAL SHEETS FOR DETAIL. MATERIALS TO MATCH BUILDING COMPATIBLE WITH THE PRINCIPAL BUILDING IN TERMS OF TEXTURE, QUALITY, MATERIAL AND COLOR.
- 11 CONCRETE WHEEL STOP PER DETAIL SHEET, 6" W x 5" H x 6'-0". CONCRETE ANCHOR TO PAVING WITH (2) 1'-6" LONG #4 REBAR
- 12 POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN
- 13 PAINT 4" WIDE STRIPE, USE HIGHWAY MAKING PAINT - YELLOW, 2 COATS
- 14 PAINT 4" WIDE STRIPE @ 45°, 2 FEET APART
- 15 PAINT TRAFFIC ARROWS PER DETAIL SHEET
- 16 SITE IDENTIFICATION SIGN, FURNISHED AND INSTALLED BY OWNER. REFER TO SITE UTILITIES PLAN FOR DETAILS.

- 17 MATCH EXISTING CURB & GUTTER. NEW CONCRETE CURB TO MATCH EXISTING PROFILE IN INGRESS/EGRESS EASEMENT. FIELD VERIFY.
- 18 ASPHALT / CONCRETE TRANSITION PER DETAIL.
- 19 LIMITS OF NEW PAVING. MATCH EXISTING PAVEMENT AND ELEVATIONS.
- 20 MATCH EXISTING CONCRETE SIDEWALK
- 21 CONCRETE TURN DOWN SIDEWALK PER DETAIL SHEET, VARIABLE HEIGHT AT ENTRY. SEE GRADING PLAN, PAVEMENT FLUSH AT ENTRY.
- 22 RETAINING WALL
- 23 CONCRETE FLUME, SEE DETAIL SHEET
- 24 4" DIAMETER STEEL BOLLARD, SEE DETAIL. PROVIDE (2) AT OVERHEAD DOOR. PROVIDE 8 AT SIDEWALK. REFER TO STRUCTURAL PLAN FOR LOCATION.
- 25 HANDICAP ACCESS TO UNLOADING ZONE. SLOPE 2% MAXIMUM ANY DIRECTION (ADA COMPLIANT) AND STRIPE AS SHOWN.
- 26 "BICYCLE PARKING ONLY" SIGN
- 27 BICYCLE PARKING, SEE DETAIL SHEET
- 28 DETECTIBLE WARNING SURFACE, SEE DETAIL SHEET.
- 29 MATCH EXISTING SIDEWALK.

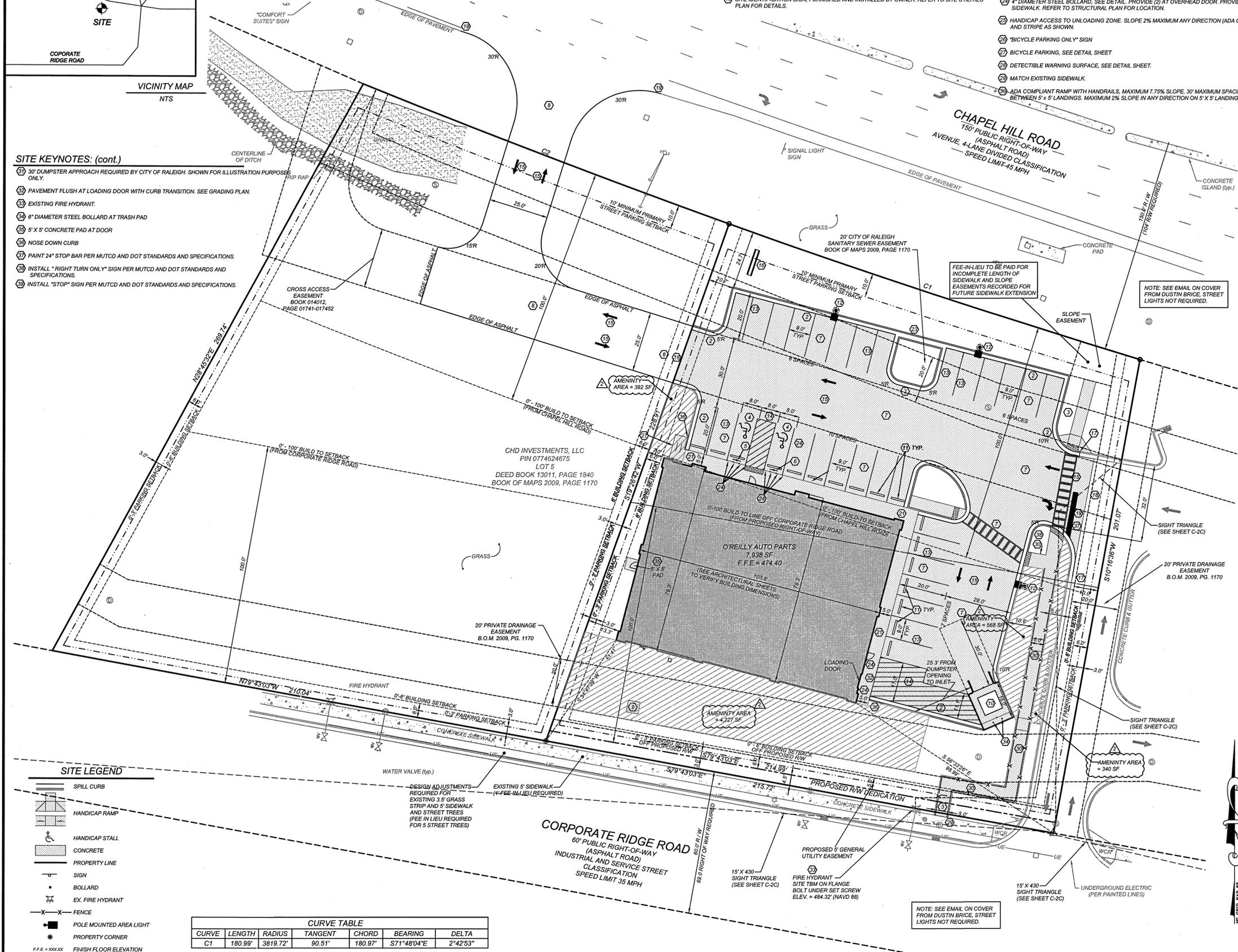
- 30 ADA COMPLIANT RAMP WITH HANDRAILS, MAXIMUM 7.75% SLOPE, 30" MAXIMUM SPACING BETWEEN 5' x 5' LANDINGS. MAXIMUM 2% SLOPE IN ANY DIRECTION ON 5' x 5' LANDINGS.

GENERAL NOTES:

1. THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY: COMMERCIAL SITE DESIGN, PLLC 6312 CREEDMOOR ROAD RALEIGH, NC TELEPHONE: 919-848-6121 FAX: 919-848-3741
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
4. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
5. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
6. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
7. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
8. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
9. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
10. ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
11. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
12. THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
13. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
14. GENERAL CONTRACTOR WILL ERECT AND ILLUMINATE A SITE IDENTIFICATION SIGN, PER OWNER'S SPECIFICATION. COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE UNLESS NOTED DIFFERENT ON PLAN.
15. FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENT ON PLAN.
16. CONTRACTOR SHALL ENSURE THAT ADEQUATE SITE LIGHTING IS PROVIDED PER OWNER'S SPECIFICATIONS.
17. ALL RADI DIMENSIONS ARE TO FACE OF CURB.
18. ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
19. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
20. ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEEDED AND MULCHED WITHIN SEVEN (7) DAYS.
21. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTRACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA 811 AT 1-800-632-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
22. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE MARKINGS AND SHALL CONFORM TO LOCAL REGULATIONS.
23. COMPACTION AND MAINTENANCE OF PROPER MOISTURE CONTENT OF THE SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE ACCOMPLISHED TO ACHIEVE 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT.
24. THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
25. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
26. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
27. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
28. ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
29. CONTRACTOR SHALL COORDINATE EXACT SIZE OF HVAC CONCRETE PADS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL PLANS FOR DETAILS.
30. ALL SEEDING, TEMPORARY AND PERMANENT, TO BE INSTALLED TO LOCAL REGULATIONS AND STANDARD PRACTICES.
31. ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".
32. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
33. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE IRRIGATION CONTRACTOR, FOR IRRIGATION SLEEVE SIZE FOR IRRIGATION SYSTEM.
34. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

SITE KEYNOTES: (cont.)

- 35 30' DUMPSTER APPROACH REQUIRED BY CITY OF RALEIGH. SHOWN FOR ILLUSTRATION PURPOSES ONLY.
- 36 PAVEMENT FLUSH AT LOADING DOOR WITH CURB TRANSITION. SEE GRADING PLAN.
- 37 EXISTING FIRE HYDRANT.
- 38 6" DIAMETER STEEL BOLLARD AT TRASH PAD
- 39 5' X 5' CONCRETE PAD AT DOOR
- 40 NOSE DOWN CURB
- 41 PAINT 24" STOP BAR PER MUTCD AND DOT STANDARDS AND SPECIFICATIONS.
- 42 INSTALL "RIGHT TURN ONLY" SIGN PER MUTCD AND DOT STANDARDS AND SPECIFICATIONS.
- 43 INSTALL "STOP" SIGN PER MUTCD AND DOT STANDARDS AND SPECIFICATIONS.



SITE LEGEND

- SPILL CURB
- HANDICAP RAMP
- HANDICAP STALL
- CONCRETE
- PROPERTY LINE
- SIGN
- BOLLARD
- EX. FIRE HYDRANT
- FENCE
- POLE MOUNTED AREA LIGHT
- PROPERTY CORNER
- FINISH FLOOR ELEVATION

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	180.99'	3819.72'	90.51'	180.97'	S71°48'04"E	2°42'53"

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH SPECIFICATIONS AND

SEE COVER SHEET FOR BUILD TO LINE CALCULATION

NOTE: SEE EMAIL ON COVER FROM DUSTIN BRICE, STREET LIGHTS NOT REQUIRED.

NOTE: SEE EMAIL ON COVER FROM DUSTIN BRICE, STREET LIGHTS NOT REQUIRED.

1 inch = 20 ft.

REVISIONS

NO.	DATE	DESCRIPTION
1	7/3/2017	
2	09-01-2017	

COMMERCIAL SITE DESIGN

812 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613

(919) 848-6121 FAX: (919) 848-3741 WWW.CSDDESIGN.COM

CLIENT OWNER:

PERRY MANAGEMENT
518 PLAZA BOULEVARD
PO BOX 14175
KINSTON, NC 28503
PHONE: 252-523-5107
FAX: 252-523-8868

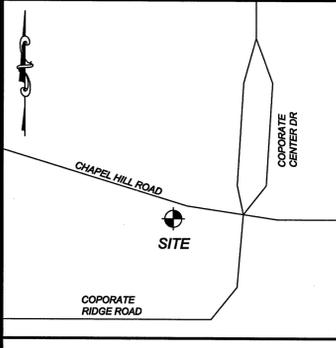
O'REILLY AUTO PARTS

6106 CORPORATE RIDGE ROAD
RALEIGH, NORTH CAROLINA

SITE PLAN

PROJECT NO: PER-1601
DRAWN BY: PER1601-SP
DATE: 01-27-16
SHEET NO: C-2

X:\PER - Perry Management\1601 - O'Reilly Auto Parts - Raleigh, NC\CD\PER1601-SP.dwg, 8/15/2017 12:52:15 PM, ttrdch



VICINITY MAP
NTS

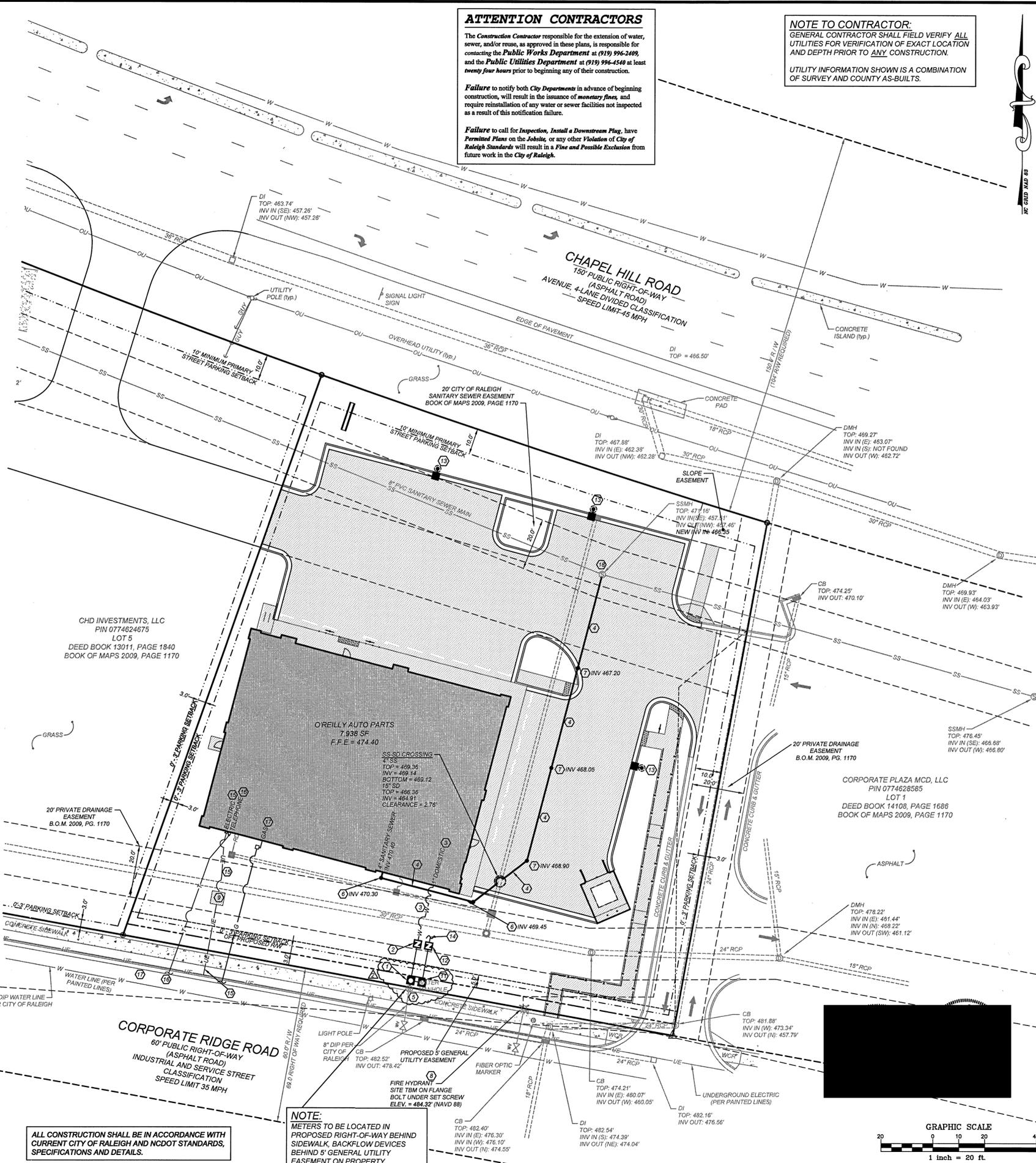
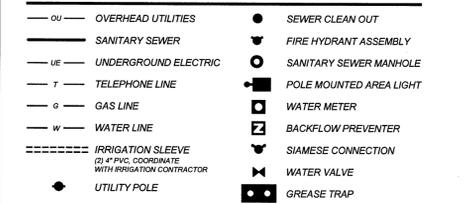
UTILITY KEYNOTES:

- 1) 1" DOMESTIC WATER METER, CONTRACTOR SHALL COORDINATE WITH CITY.
- 2) 1" DOMESTIC REDUCED PRESSURE BACKFLOW PREVENTER CONTRACTOR SHALL COORDINATE WITH CITY.
- 3) 1" DOMESTIC WATER SERVICE, CONTRACTOR SHALL COORDINATE WITH CITY.
- 4) 4" PVC SANITARY SEWER LINE @ 1/4" PER LF SLOPE (MINIMUM), CONTRACTOR SHALL COORDINATE WITH CITY.
- 5) CONNECT TO EXISTING 8" WATER LINE WITH A 8" X 2" REDUCER AND EXTEND 2' WATER SERVICE, CONTRACTOR SHALL FIELD VERIFY SIZE, LOCATION AND CONDITION PRIOR TO ANY CONSTRUCTION AND COORDINATE WITH CITY OF RALEIGH PUBLIC UTILITIES.
- 6) SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
- 7) TRAFFIC RATED SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
- 8) EXISTING FIRE HYDRANT.
- 9) TRANSFORMER PAD, CONTRACTOR SHALL COORDINATE LOCATION AND SIZE WITH ELECTRIC UTILITY.
- 10) 1" X 2" X 1" TEE FOR IRRIGATION SERVICE.
- 11) 5/8" IRRIGATION WATER METER, CONTRACTOR SHALL COORDINATE WITH IRRIGATION CONTRACTOR.
- 12) 5/8" IRRIGATION REDUCED PRESSURE BACKFLOW PREVENTER, CONTRACTOR SHALL COORDINATE WITH CITY.
- 13) POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN.
- 14) COORDINATE IRRIGATION CONNECTION WITH IRRIGATION CONTRACTOR.
- 15) UNDERGROUND ELECTRIC SERVICE, CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY.
- 16) UNDERGROUND TELEPHONE SERVICE, CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY.
- 17) GAS SERVICE, CONTRACTOR SHALL COORDINATE WITH GAS COMPANY.
- 18) CONNECT 4" SANITARY SEWER TO EXISTING MANHOLE, PROFESSIONALLY CORE DRILL AND RUBBER BOOT EXISTING SANITARY SEWER MANHOLE FOR 4" SANITARY CONNECTION. CONTRACTOR SHALL FIELD VERIFY SIZE, LOCATION, AND ELEVATION OF EXISTING SANITARY SEWER MANHOLE AND MAIN PRIOR TO ANY CONSTRUCTION TO ENSURE MINIMUM PIPE SLOPE, COVERS, AND CLEARANCES CAN BE ACHIEVED AND COORDINATE WITH CITY OF RALEIGH PUBLIC UTILITIES.

STANDARD UTILITY NOTES (as applicable):

1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
2. Utility separation requirements:
 - a) A distance of 100" shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25" from a private well or 50" from a public well.
 - b) When installing water &/or sewer mains, the horizontal separation between utilities shall be 10". If this separation cannot be maintained due to existing conditions, the variation allowed in the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - c) Where it is impossible to obtain proper separation, or any private or public water supply source crosses over a watermain, DIP materials or steel encasement extended 10" on each side of crossing must be specified & installed to watertight specifications.
 - d) 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - e) Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
 - f) All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
3. Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
4. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
5. 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
6. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
7. Install 1" copper water services with meters located at ROW or within a 2x2' Waterline Easement immediately adjacent. **NOTE:** it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
8. Install 4" PVC sewer services @ 1/4" minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
9. Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
10. All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
11. NCDOT Right-of-Way Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
12. Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD POG Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 255-7825 or for more information.
13. Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Helvey at (919) 212-5923 or for more information.

UTILITY LEGEND



ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

NOTE TO CONTRACTOR:

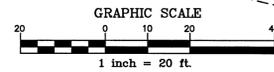
GENERAL CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES FOR VERIFICATION OF EXACT LOCATION AND DEPTH PRIOR TO ANY CONSTRUCTION.

UTILITY INFORMATION SHOWN IS A COMBINATION OF SURVEY AND COUNTY AS-BUILTS.

- UTILITY NOTES:**
1. UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE BEST AVAILABLE SOURCE AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXACT LOCATIONS OF EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITIES, EITHER PUBLIC OR PRIVATE, SHOWN HEREON OR NOT SHOWN HEREON. ANY REPAIRS SHALL BE DONE TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY.
 2. THE GENERAL CONTRACTOR SHALL CONFIRM ALL NEW UTILITY TAP LOCATIONS WITH THE UTILITY OWNERS. ALL FEES SHALL BE THE RESPONSIBILITY OF DEVELOPER.
 3. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
 4. NEW LOT LIGHT FOUNDATION BASES, CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR. POLES, FIXTURES, ANCHOR BOLTS & HARDWARE SHALL BE COORDINATED WITH THE OWNER AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
 5. ALL NEW LOT LIGHTS AND THE MAIN IDENTIFICATION SIGN SHALL HAVE A MINIMUM 10 FEET CLEARANCE FROM ALL OVERHEAD UTILITIES.
 6. GENERAL CONTRACTOR IS RESPONSIBLE FOR PERMITS AND/OR APPROVALS NECESSARY FOR ANY WORK IN ROADWAY OR RIGHT-OF-WAY.
 7. ALL TRENCH EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH TRENCH BACKFILL DETAIL SHOWN ON THESE PLANS.
 8. MINIMUM COVER FOR CONDUITS SHALL BE 36" UNLESS OTHERWISE SHOWN OR NOTED ON THESE PLANS.
 9. ALL MANHOLES, VALVES, AND MONUMENT FRAMES SHALL BE SET TO FINISH GRADE AFTER PAVING.
 10. THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDERS. TRENCHES SHALL BE SHORED IN ACCORDANCE WITH OSHA.
 11. THE MINIMUM SLOPE FOR SANITARY SEWER LINES SHALL BE AS FOLLOWS: 1) 1/4" FT FOR 4" LINES AND 2) 1/8" FT FOR 6" LINES. CLEANOUTS SHALL BE PLACED AT 75' INTERVALS.
 12. ALL WATER LINES SHALL HAVE A FINAL COVER DEPTH OF 3'-0" IN NON-TRAFFIC AREAS AND 4'-0" MINIMUM IN TRAFFIC AREAS UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS.
 13. ALL SEWER LINES SHALL HAVE A FINAL COVER DEPTH 4'-0" IN NON-TRAFFIC AREAS AND 5'-0" MINIMUM IN TRAFFIC AREAS UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS.
 14. SANITARY SEWER SERVICES SHALL BE PVC SDR 35 OR RW, THEN PVC SCH. 40 TO BUILDING. WATER SERVICE SHALL BE TYPE "K" COPPER.
 15. CABLE TV SERVICE ROUTING IS NOT PART OF THIS PLAN. CONTRACTOR TO COORDINATE WITH CABLE COMPANY.
 16. EXISTING MANHOLES SHOULD BE FIELD VERIFIED FOR RIMS AND INVERTS.
 17. ALL WORK SHALL BE GOVERNED BY THE LATEST EDITIONS OF THE STATE MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, BUILDING CODE, ENERGY CONSERVATION, HANDICAP ACCESSIBILITY, NATIONAL ELECTRICAL CODES AND NATIONAL FIRE PROTECTION ASSOCIATION CODES AND AS ADOPTED BY THE AUTHORITIES HAVING JURISDICTION.
 18. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
 19. CONTRACTOR SHALL GUARANTEE, FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF SYSTEMS BY OWNER, EACH AND EVERY PIECE OF APPARATUS WHICH HAS BEEN INSTALLED UNDER THIS CONTRACT.
 20. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS/METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
 21. OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING 5 FEET IN DEPTH.
 22. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
 23. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONSTRUCTION SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
 24. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
 25. ONLY SEWAGE NOT CONTAINING GREASE IS ALLOWED TO BYPASS THE GREASE TRAP.
 26. ALL SANITARY SEWER SERVICES AND STORM DRAIN PIPING 8" IN DIAMETER OR SMALLER SHALL BE SCH. 40 PVC WITH ADHESIVE WELDED JOINTS UNLESS SPECIFIED OTHERWISE OR REQUIRED BY LOCAL GOVERNING MUNICIPALITY. MINIMUM SLOPES ON SANITARY SEWER SERVICES: 4" - 1/4" FT, 6" - 1/8" FT.
 27. BELOW GRADE WATER SERVICE PIPING SHALL BE TYPE "K" HARD DRAWN COPPER TUBING WITH SILVER SOLDER JOINTS. SOLDERS CONTAINING LEAD SHALL NOT BE USED FOR ANY PURPOSE ON THIS PROJECT, WHERE PIPING IS REQUIRED TO RUN BELOW BUILDING SLAB, IT SHALL BE INSTALLED WITHOUT JOINTS BELOW SLAB.
 28. WATER PIPING SHALL BE CONNECTED TO BUILDING STUBS, VERIFY LOCATIONS PRIOR TO BEGINNING WATER PIPE INSTALLATION.
 29. WASTE PIPING SHALL BE CONNECTED TO BUILDING STUBS, VERIFY LOCATIONS AND INVERTS PRIOR TO BEGINNING ANY WASTE PIPE INSTALLATION.
 30. CONTRACTOR SHALL NOTIFY NORTH CAROLINA 811 OR CALL 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENTLY.
 31. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH WATER AND SEWER REGULATIONS AND STANDARDS.
 32. SITE UTILITY CONTRACTOR TO PROVIDE WATER, SANITARY SEWER, AND ROOF DRAIN LEADERS TO WITHIN 5 FEET OF THE BUILDING. CONTRACTOR SHALL COORDINATE SITE PLAN CONNECTIONS WITH THE ARCHITECTURAL BUILDING PLANS.
 33. SANITARY CLEANOUTS SHALL BE PLACED NO MORE THAN 75 FEET APART. CLEAN OUTS LOCATED IN PAVEMENT AREAS SHALL HAVE HEAVY DUTY TRAFFIC RATED CONSTRUCTION.
 34. CONNECTION OF SANITARY SEWER SERVICE TO AN EXISTING MANHOLE SHALL COMPLY WITH CITY OF RALEIGH STANDARDS, INCLUDING: CORE DRILL FOR OPENING INTO MANHOLE AND INSTALL WITH FLEXIBLE BOOT. IF PAVEMENT CUT IS REQUIRED, CONTRACTOR SHALL PATCH PAVEMENT WITH A SECTION TO MATCH EXISTING PAVEMENT: 3" x 2, 8" ABC OR BETTER.
 35. RELATION OF WATER MAINS TO SEWERS:
 - A. LATERAL SEPARATION OF SEWER AND WATER MAINS: WATER MAINS SHALL BE LAID AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SEWERS UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT LATERAL SEPARATION, IN WHICH CASE:
 1. THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR
 2. THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER LINE WITH THE WATER MAIN LOCATED ON ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND ABOVE THE TOP OF THE SEWER.
 - B. CROSSING A WATER MAIN OVER A SEWER MAIN: WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER MAIN, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH LATERAL SEPARATION. IN WHICH CASE BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
 - C. CROSSING A WATER MAIN UNDER A SEWER MAIN: WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER MAIN BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
 - D. CROSSING A SEWER LINE OVER OR UNDER A STORM DRAIN: WHENEVER IT IS NECESSARY FOR A SEWER LINE TO CROSS A STORM DRAIN PIPE, THE SEWER LINES SHALL BE LAID AT SUCH AN ELEVATION THAT THE OUTSIDE OF THE SEWER LINE NEAREST TO THE OUTSIDE OF THE STORM DRAIN PIPE SHALL MAINTAIN A 12 INCH CLEAR SEPARATION DISTANCE, OR OR ENCASED IN EITHER CONCRETE OR DUCTILE IRON PIPE FOR AT LEAST 5 FEET ON EITHER SIDE OF THE CROSSING.
 36. UNDERGROUND CONDUITS TO SIGNS, LOT LIGHTS, ETC., SHALL BE PLACED IN GRASS OR LANDSCAPE AREAS WHENEVER POSSIBLE. THE LOCATION OF THE CONDUIT AS SHOWN ON THESE PLANS SHALL BE CONSIDERED TO BE SCHEMATIC WITH THE EXACT LOCATION TO BE VERIFIED BY THE GENERAL CONTRACTOR. PVC SCH. 40 SLEEVES SHALL BE INSTALLED FOR ALL CONDUIT CROSSING UNDER PAVED AREAS.
 37. SEE ELECTRICAL SHEETS FOR SIZE OF CONDUIT AND WIRE ON ALL ELECTRICAL SERVICE.
 38. TRANSFORMER BY ELECTRIC COMPANY, GENERAL CONTRACTOR TO PROVIDE PAD. REFER TO ELECTRIC COMPANY SPECIFICATIONS FOR PAD CONSTRUCTION.

NOTE:

METERS TO BE LOCATED IN PROPOSED RIGHT-OF-WAY BEHIND SIDEWALK, BACKFLOW DEVICES BEHIND 5' GENERAL UTILITY EASEMENT ON PROPERTY.

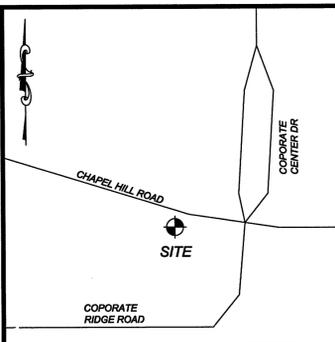


REVISONS	DATE	DESCRIPTION
1	7/13/2017	TRANSACTION 512417 COMMENTS
2	08-07-2017	TRANSACTION 512417 COMMENTS

CLIENT/OWNER:
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PROJECT NO.: PER-1601
FILENAME: PER1601-UP
DRAWN BY: JWR
SCALE: 1" = 20'
DATE: 01-27-16
SHEET NO.: C-5

COMMERCIAL SITE DESIGN
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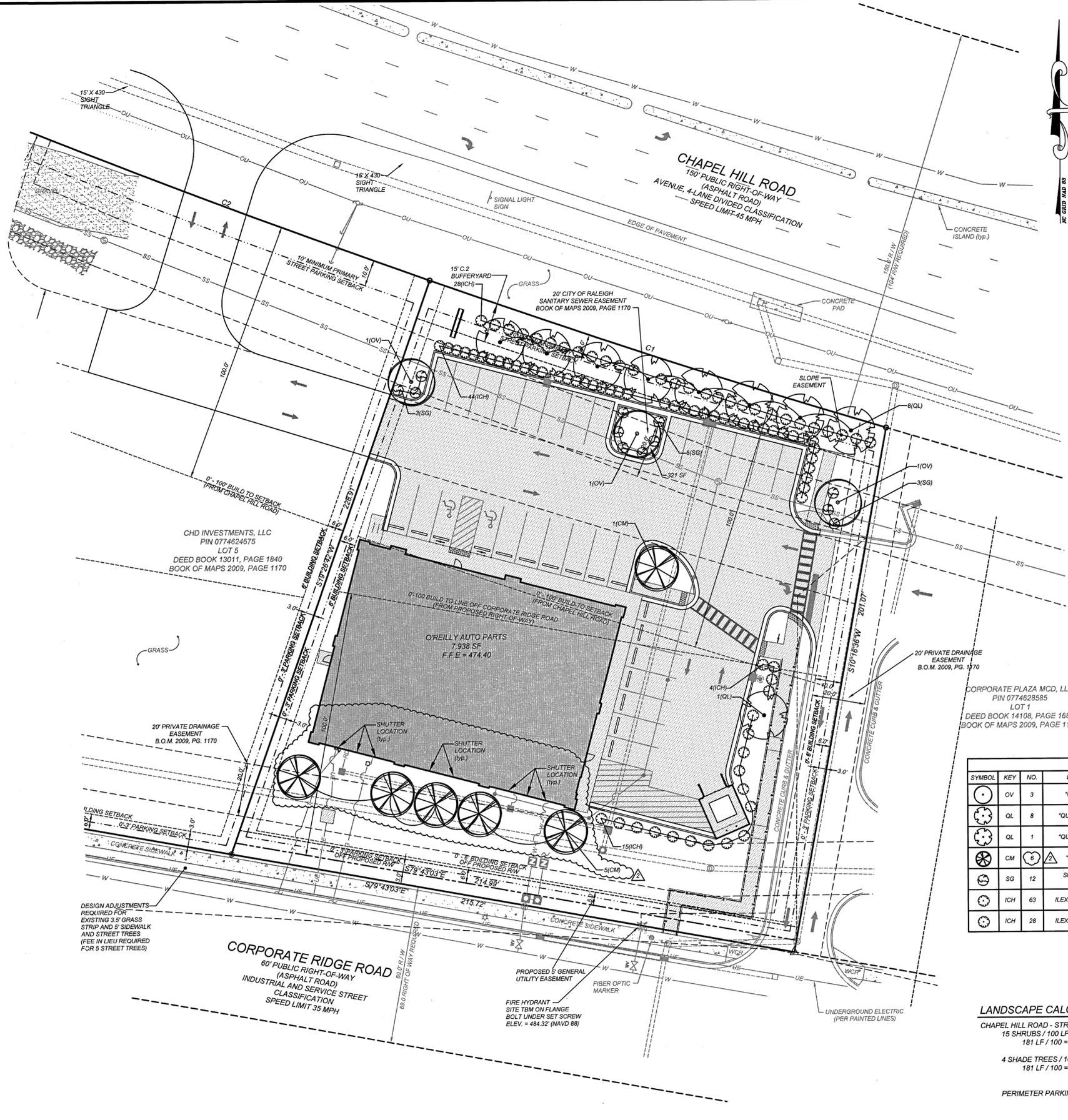
VICINITY MAP
NTS

TURF NOTES:

- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
 - RIP ENTIRE AREA TO 6 INCHES IN DEPTH.
 - REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
 - APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW).
 - CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
 - SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
 - MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
 - INSPECT ALL SEEDING AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON. IF POSSIBLE, IF STAND SHOULD BE OVER 80% DAMAGED, RE-ESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
 - CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
- *APPLY:**
 AGRICULTURAL LIMESTONE - 2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS)
 FERTILIZER - 1,000 LBS/ACRE - 10-10-10
 SUPERPHOSPHATE - 500 LBS/ACRE 20% ANALYSIS
 MULCH - 2 TONS/ACRE - SMALL GRAIN STRAW
 ANCHOR - ASPHALT EMULSION @ 300 GALS/ACRE
- SOD PREPARATION:**
 FOLLOW PREPARATION AS DIRECTED FOR STEPS 1-5 ABOVE. IMMEDIATELY WATER SOD UPON INSTALLATION AND CONTINUE UNTIL ROOTS ARE ESTABLISHED.
 - CONTRACTOR SHALL WATER AND MAINTAIN ALL LAWN AREAS UNTIL AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED.
 - ONCE AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED, THE CONTRACTOR SHALL REPAIR ALL DAMAGED AREAS AND MONITOR THE LAWN AREAS UNTIL THE GRASS REACHES A HEIGHT OF 4 INCHES TALL.
 - AT THE TIME THE GRASS REACHES A HEIGHT OF 4 INCHES TALL, THE CONTRACTOR SHALL MOW THE GRASS TO THE HEIGHT OF 3 INCHES AND TURN OVER THE LAWN MAINTENANCE TO THE OWNER.
 - AN ACCEPTABLE STAND OF GRASS SHALL BE 92% COVERAGE OR BETTER.

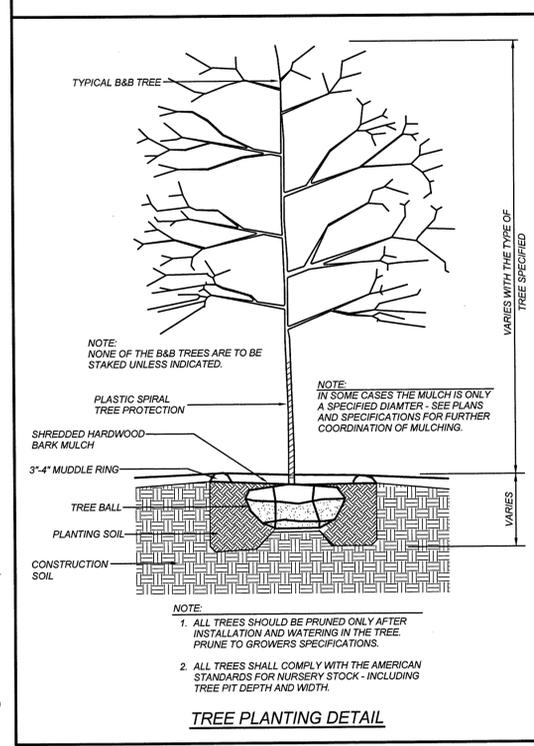
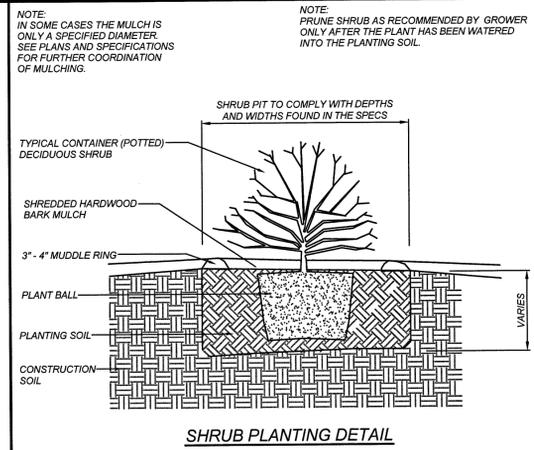
LANDSCAPE NOTES:

- THE GENERAL CONTRACTOR SHALL LEAVE THIS SITE AT FINISHED GRADE. THE LANDSCAPE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
- PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE. THIS REPLACEMENT SHALL NOT BE CONSIDERED A GUARANTEED REPLACEMENT.
- ALL PLANTING SHALL BE PLACED WITHIN A MULCHED PLANTING BED. ALL STRAPPING AND THE TOP 2" OF WIRE BASKETS MUST BE CUT AWAY AND REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
- ALL LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARD DETAILS AND SPECIFICATIONS.
- ALL AREAS NOT MULCHED SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE AREA SPECIFIED ON PLANS WITH "REBEL" HYBRID TALL FESCUE OR EQUIVALENT AS PRESCRIBED IN THE SEEDING SCHEDULE AS SHOWN ON THIS SHEET.
- SITE LIGHTING SHALL NOT BE PLACED IN CONFLICT WITH PLANTED TREES.
- TREE PROTECTION FENCING TO BE PROVIDED AROUND TREE PRESERVATION AREAS IN ACCORDANCE WITH CITY STANDARDS.
- COORDINATE ALL WORK WITH SITE LAYOUT AND SITE GRADING, DRAINAGE & UTILITIES PLAN.
- VERIFY LOCATION OF UTILITIES BEFORE PLANTING.
- MULCH ALL AREAS, THAT ARE NOT SEEDED OR SODDED, WITH SHREDDED HARDWOOD MULCH TO A DEPTH OF 3"-4".
- THE SELECTION AND INSTALLATION OF PLANTS AND PLANTING METHODS SHALL CONFORM WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE CITY STANDARD DETAILS AND SPECIFICATIONS, WHICHEVER IS STRICTER.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. DRAWINGS SHALL RULE OVER PLANT LISTS.
- SUBSTITUTIONS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL. PRIOR TO INSTALLATION, SUBSTITUTIONS MAY REQUIRE ADDITIONAL APPROVAL BY THE GOVERNING JURISDICTION.
- ALL LANDSCAPING SOIL AND FILL SHALL BE FREE FROM WEEDS, REFUSE, AND DEBRIS AT ALL TIMES.
- TREES AND LARGE SHRUBS SHALL BE ADEQUATELY SUPPORTED, AS NECESSARY, USING STAKES AND GUYS. SUCH SUPPORTS SHALL BE DESIGNED SO AS TO PROTECT TREES AND SHRUBS FROM INJURY. TREES AND SHRUBS SHALL BE FASTENED TO THE SUPPORT WITH AN ACCEPTABLE COMMERCIAL TREE TIE OF PLASTIC OR HOSE COVERED WIRE.
- THE MAXIMUM GROWTH HEIGHT OF ANY LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE THREE (3) FEET IN HEIGHT.



CURVE TABLE

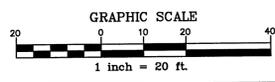
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	180.99'	3819.72'	90.51'	180.97'	S71°48'04"E	2°42'53"



PLANTING SCHEDULE (SEE LANDSCAPING NOTE #12)

SYMBOL	KEY	NO.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	COMMENTS
OV	3		"OSTRYA VIRGINICA"	AMERICAN HOPHORNBEAM	2-1/2"	X' MIN	B&B	MATCH
QL	8		"QUERCUS LAURIFELIA"	LAUREL OAK	2-1/2"	X' MIN	B&B	STREET YARD C-2 TREES
QL	1		"QUERCUS LAURIFELIA"	LAUREL OAK	2-1/2"	X' MIN	B&B	MATCH
CM	6		"LAGERSTROMIA"	CREPE MYRTLE	2-1/2"	X' MIN	B&B	MATCH
SG	12		"SPIRAEA X BUMALDA 'GOLDFLAME'"	GOLDFLAME SPIREA	-	18" MIN	CONT.	MATCH
ICH	63		"ILEX CORNUTA 'ROTUNDA'"	CHINESE HOLLY	-	5 MIN. AT MATURITY	CONT.	MATCH
ICH	28		"ILEX CORNUTA 'ROTUNDA'"	CHINESE HOLLY	-	18" MIN	CONT.	C-2 SHRUBS

LANDSCAPE CALCULATIONS:
 CHAPEL HILL ROAD - STREET PROTECTIVE YARD (TYPE C2)
 15 SHRUBS / 100 LF OF STREET YARD
 181 LF / 100 = 1.81 X 15 = 28 SHRUBS
 28 PROVIDED
 4 SHADE TREES / 100 LF OF STREET YARD
 181 LF / 100 = 1.81 X 4 = 8 SHADE TREES
 8 PROVIDED
 PERIMETER PARKING SHRUB 30 / 100 LF = 145 X 30 / 100 = 44 SHRUBS REQUIRED
 44 SHRUBS PROVIDED



REVISIONS

NO.	DATE	DESCRIPTION
1	7/19/2017	TRANSACTION 612417 COMMENTS
2	08-01-2017	TRANSACTION 612417 COMMENTS

COMMERCIAL SITE DESIGN

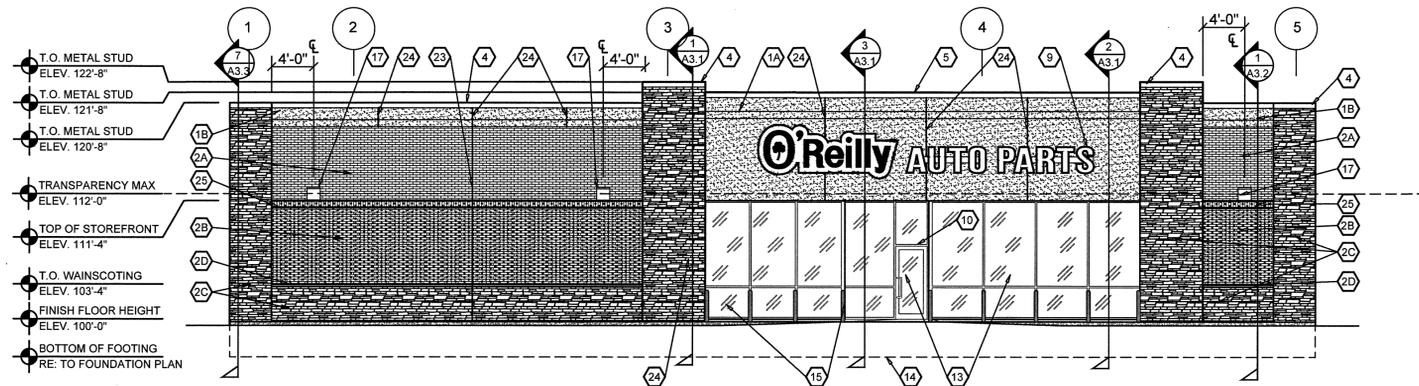
8712 CREDMOOR ROAD
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 FAX: 252-523-8858

O'REILLY AUTO PARTS
 6106 CORPORATE RIDGE ROAD
 RALEIGH, NORTH CAROLINA

LANDSCAPE PLAN

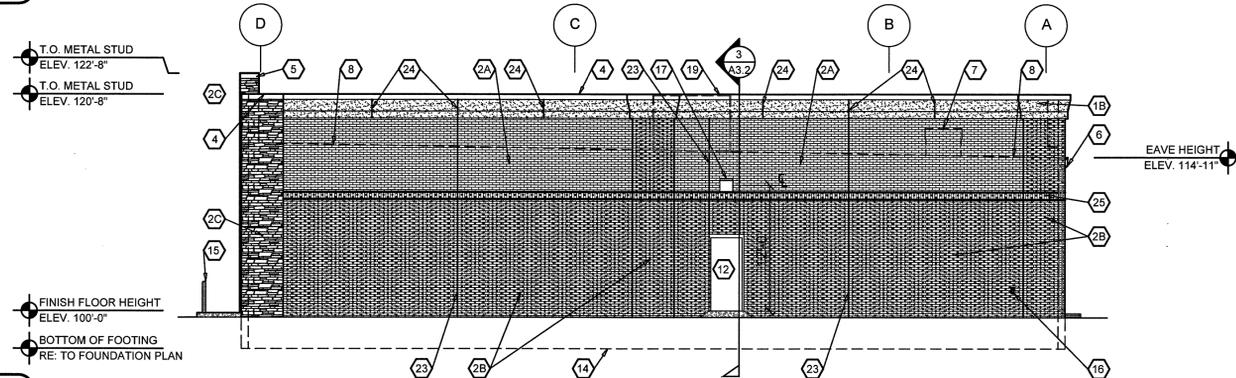
PROJECT NO: PER-1601
 FILENAME: PER1601-LS
 DRAWN BY: JWJ
 SCALE: 1" = 20'
 DATE: 01-27-16
 SHEET NO: C-10



TRANSPARENCY EQUATIONS:
 REQUIRED AREA @ 12" 0" = 1,244 SF, 33% = 414' 6" SF GLAZING RG.
 TOTAL GLAZING PROVIDED = 470 SF
 TOTAL GLAZING PROVIDED 3'-8" = 207' 6" SF

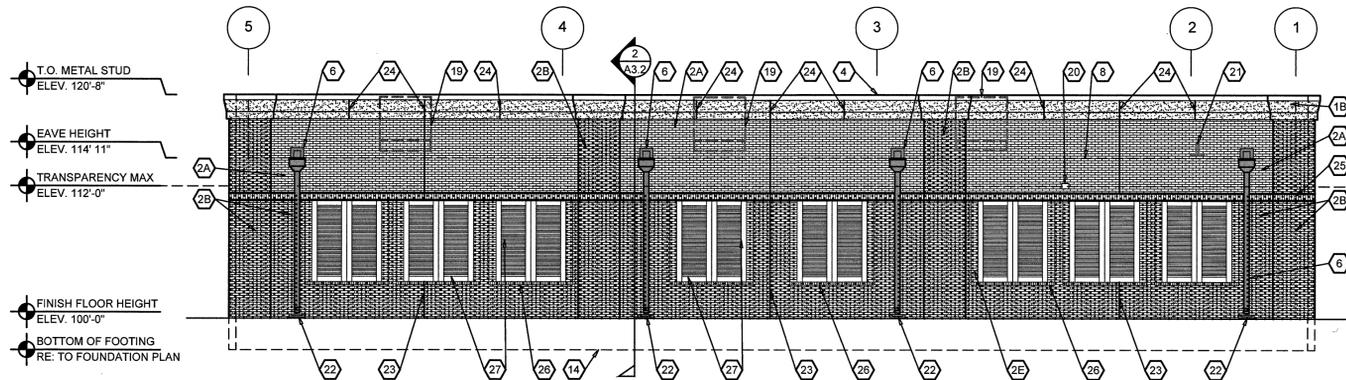
1 NORTH EXTERIOR ELEVATION - FACING CHAPEL HILL ROAD

A2.1 SCALE: 1/8" = 1'-0"



2 WEST EXTERIOR ELEVATION

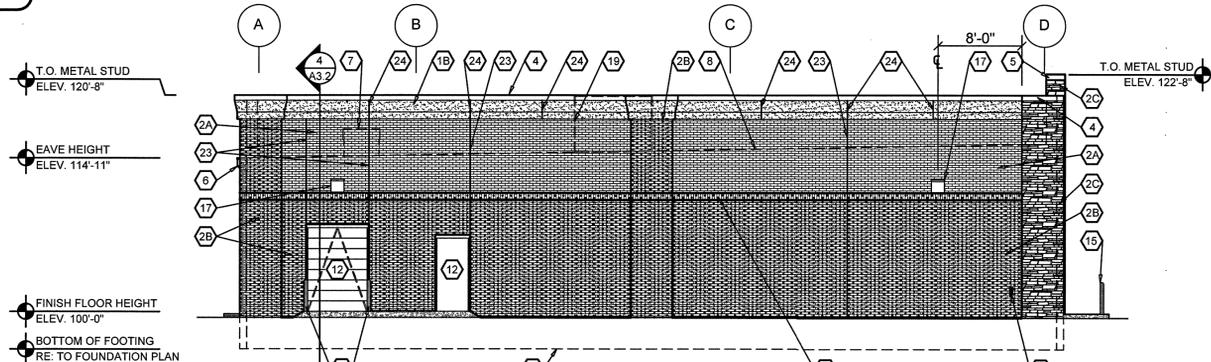
A2.1 SCALE: 1/8" = 1'-0"



TRANSPARENCY EQUATIONS:
 REQUIRED AREA @ 12" 0" = 1,244 SF, 33% = 414' 6" SF GLAZING RG.
 TOTAL GLAZING PROVIDED = 418 SF
 TOTAL GLAZING PROVIDED 3'-8" = 264 SF

3 SOUTH EXTERIOR ELEVATION - FACING CORPORATE RIDGE ROAD

A2.1 SCALE: 1/8" = 1'-0"



4 EAST EXTERIOR ELEVATION

A2.1 SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)
KEY NOTE NO. 1A:
 MFG: DRYVIT SPECIFIED. EQUAL BY STO OR BASF (NO SUBSTITUTES)
 SERIES: OUTSULATION PLUS MD
 TEXTURE: SANDBLAST
 COLOR: DRYVIT "ORAP011030S" STRATOTONE HIGH PERFORMANCE
 COLOR STANDARD: SHERWIN WILLIAMS "POSITIVE RED" SW6871 (SHER-CRYL) GLOSS

KEY NOTE NO. 1B:
 MFG: DRYVIT SPECIFIED. EQUAL BY STO OR BASF (NO SUBSTITUTES)
 SERIES: OUTSULATION PLUS MD
 TEXTURE: SANDBLAST
 COLOR: DRYVIT "ORAP011030S" STRATOTONE HIGH PERFORMANCE
 COLOR STANDARD: SHERWIN WILLIAMS "SOFTER TAN" SW6141 (GLOSS)

UNIT MASONRY
KEY NOTE NO. 2A:
 TYPE: CLAY MASONRY UNIT
 MFG: ACME BRICK OR EQUIVALENT.
 SIZE: 2 1/4" X 3 5/8" X 7 5/8" (MODULAR)
 COURSING: RUNNING BOND (SOLDIER @ KEY NOTE 25)
 COLOR: (ACCENT COLOR) BLEND 30 DOVE GRAY VELOUR
 MORTAR COLOR: NATURAL GRAY

KEY NOTE NO. 2B & 25 & 26:
 TYPE: CLAY MASONRY UNIT
 MFG: ACME BRICK OR EQUIVALENT.
 SIZE: 2 1/4" X 3 5/8" X 7 5/8" (MODULAR)
 COURSING: RUNNING BOND, ROW LOCK, AND SOLDIER COURSE
 COLOR: (FIELD COLOR) BLEND 600 OXFORD BROWN VELOUR
 MORTAR COLOR: NATURAL GRAY

KEYNOTE NO. 2C:
 TYPE: 4" STONE VENEER
 MFG: EQUAL TO CORONADO
 SIZE: VARIES; 1 1/2" TO 5" TALL X 4" TO 22" LONG, X 3" THICK.
 TEXTURE: EASTERN MOUNTAIN LEDGE
 COURSING: STACKED LEDGESTONE
 COLOR: DAKOTA BROWN

KEYNOTE NO. 2D:
 TYPE: PRECAST CONCRETE
 MFG: SEE SPECIFICATIONS
 SIZE: 3" TALL X 4-1/2" THICK X 48" LONG (NOM)
 TEXTURE: SMOOTH
 COURSING: RUNNING BOND
 FINISH: THROUGHOUT/ INTEGRAL
 COLOR: TO MATCH (ACCENT COLOR) BLEND 30 DOVE GRAY VELOUR
 MORTAR COLOR: NATURAL GRAY

KEY NOTE NO. 2E:
 TYPE: CLAY MASONRY UNIT
 MFG: ACME BRICK OR EQUIVALENT.
 SIZE: 2 1/4" X 3 5/8" X 7 5/8" (MODULAR)
 COURSING: STACK
 COLOR: (FIELD COLOR) BLEND 600 OXFORD BROWN VELOUR
 MORTAR COLOR: NATURAL GRAY

FLASHING AND SHEET METAL
KEY NOTE NO. 3:
 TYPE: STANDING SEAM ROOFING SYSTEM
 MFG: (REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS)
 COLOR: GALVALUME

KEY NOTE NO. 4:
 TYPE: CAP FLASHING AT MASONRY & EIFS CORNICE
 MFG: (REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS)
 FINISH: PREFINISHED
 COLOR: EQUAL TO BUTLER BUILDING "COOL BIRCH WHITE"

KEY NOTE NO. 5:
 TYPE: CAP FLASHING AT EXTERIOR INSULATION FINISH SYSTEM (EIFS)
 MFG: (REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS)
 FINISH: FACTORY PRIMED AND FIELD PAINT
 COLOR: SHERWIN WILLIAMS "POSITIVE RED" SW6871 (SHER-CRYL) GLOSS WITH SHERWIN WILLIAMS THREE COMPONENT (B65T105 / B65V105 / B65C105) CLEAR URETHANE

KEY NOTE NO. 6:
 TYPE: SCUPPER, COLLECTOR HEAD AND DOWNSPOUTS
 MFG: (REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS)
 FINISH: PREFINISHED
 COLOR: EQUAL TO BUTLER BUILDING "COOL BIRCH WHITE"

DOORS AND WINDOWS
KEY NOTE NO. 12:
 TYPE: STEEL DOORS AND FRAMES (DOORS NO. 2, NO. 3, AND NO. 7)
 MFG: (OWNER FURNISHED / CONTRACTOR INSTALLED)
 FINISH: FACTORY PRIMED AND FIELD PAINT
 COLOR: SHERWIN WILLIAMS "LATTE" SW6108 (SEMI-GLOSS)

KEY NOTE NO. 13:
 TYPE: (REFER TO WINDOW SCHEDULE)
 MFG: EFCO, KAWNEER, OR OLD CASTLE (VISTA WALL). (NO SUBSTITUTES)
 COLOR: EFCO "IVY", KAWNEER "DARK IVY", VISTA WALL "INTERSTATE GREEN"

KEY NOTE NO. 25:
 TYPE: PRE-FABRICATED SHUTTERS
 MFG: EQUAL TO LARSON SHUTTER CO. ATLANTIC ARCHITECTURAL
 COLLECTION: COLONIAL EXT. SHUTTERS
 FINISH: FACTORY PRIME AND PAINT
 COLOR: SHERWIN WILLIAMS "LATTE" SW6108

PAINTING
KEY NOTE NO. 15:
 TYPE: STEEL BOLLARDS (REFER TO CIVIL DRAWINGS)
 FINISH: FIELD PRIME AND PAINT
 COLOR: SHERWIN WILLIAMS "HUNT CLUB" SW6468 (SEMI-GLOSS)

GENERAL NOTES

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- (C) REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR SYSTEM TYPES AND ADDITIONAL REQUIREMENTS.
- (D) REFER TO EXTERIOR FINISH SCHEDULE FOR MATERIAL TYPES.
- (E) REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- (F) REFER TO SCOPE OF WORK SCHEDULE FOR ADDITIONAL REQUIREMENTS.

KEY NOTES

- (1A) EXTERIOR INSULATION AND FINISH SYSTEM (EIFS).
- (1B) EIFS CORNICE. SEE WALL SECTIONS AND PARAPET CAP DETAILS ON SHEETS A3.1 AND A3.2
- (2A) CLAY MASONRY UNIT EXTERIOR WALL CONSTRUCTION (ACCENT COLOR). REFER TO PLANS, SECTIONS, AND DETAILS FOR ADDITIONAL REQUIREMENTS.
- (2B) CLAY MASONRY UNIT EXTERIOR WALL CONSTRUCTION (FIELD COLOR). REFER TO PLANS, SECTIONS, AND DETAILS FOR ADDITIONAL REQUIREMENTS.
- (2C) STONE VENEER EXTERIOR WALL CONSTRUCTION. REFER TO PLANS, SECTIONS, AND DETAILS FOR ADDITIONAL REQUIREMENTS.
- (2D) PRE-CAST WAINSCOT CAP. REFER TO PLANS, SECTIONS AND DETAILS FOR ADDITIONAL REQUIREMENTS.
- (2E) CLAY MASONRY UNIT EXTERIOR WALL CONSTRUCTION (FIELD COLOR). REFER TO PLANS, SECTIONS, AND DETAILS FOR ADDITIONAL REQUIREMENTS.
- (3) NOT USED
- (4) PRE-ENGINEERED METAL BUILDING SHEET METAL FLASHING (AT MASONRY & EIFS CORNICE)
- (5) PRE-ENGINEERED METAL BUILDING SHEET METAL FLASHING (AT EIFS)
- (6) PRE-FINISHED METAL COLLECTOR HEAD AND DOWNSPOUT SYSTEM.
- (7) ROOF ACCESS BEYOND. PROVIDE LADDER AND ROOF HATCH SYSTEM. REFER TO SECTION 6/A3.3. COORDINATE LOCATION WITH P.E.M.B. SHOP DRAWINGS.
- (8) LINE OF ROOF BEYOND WITH 1/4":12" SLOPE MINIMUM.
- (9) SURFACE MOUNTED SIGN OWNER FURNISHED AND INSTALLED. PROVIDE BACKING FOR MOUNTING AND ROUGH-IN ELECTRICAL COORDINATE REQUIREMENTS WITH OWNER. REFER TO SHEET SG2.1.
- (10) BUILDING ADDRESS NUMBERS IN 6" HIGH HELVETICA WHITE VINYL ADHERED TO EXTERIOR FACE OF GLAZING.
- (11) (NOT USED).
- (12) EXTERIOR DOOR AND FRAME SYSTEM. REFER TO FLOOR PLAN AND DOOR SCHEDULE FOR TYPES.
- (13) EXTERIOR WINDOW SYSTEM. REFER TO FLOOR PLAN AND WINDOW SCHEDULE FOR TYPES.
- (14) APPROXIMATE LINE OF FOUNDATION, REFER TO STRUCTURAL DRAWINGS.
- (15) STEEL BOLLARDS, REFER TO CIVIL AND STRUCTURAL DRAWINGS.
- (16) HOSE BIB, REFER TO PLUMBING DRAWINGS.
- (17) LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS.
- (18) (NOT USED).
- (19) MECHANICAL ROOF TOP UNIT BEYOND, REFER TO MECHANICAL DRAWINGS.
- (20) MECHANICAL WALL PENETRATIONS, REFER TO MECHANICAL DRAWINGS. PROVIDE FRAMING, FLASHING, AND SEALANT AS REQUIRED.
- (21) PLUMBING ROOF VENT, REFER TO PLUMBING DRAWINGS AND DETAIL 1/A6.1.
- (22) CONCRETE SPLASH BLOCK INSTALL AT EACH DOWNSPOUT.
- (23) MASONRY CONTROL JOINT. PROVIDE SEALANT OVER 1/2" DIAMETER FOAM BACKER ROD. COLOR TO MATCH ADJACENT MASONRY.
- (24) RUSTICATION JOINT, REFER TO DETAIL 6/A3.2.
- (25) BRICK SOLDIER COURSE.
- (26) BRICK ROW LOCK.
- (27) PRE-FABRICATED COMPOSITE WOOD SHUTTER - BRICK TO CONTINUE BEHIND.

ARCHITECT OF RECORD:
JOHN D. TORGERSON
 ARCHITECT LICENSE NUMBER
 13595

SHEETS BEARING THIS S.U. ARE AUTHENTICATED. RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS OR INSTRUMENTS ARE DISCLAIMED.

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PROJECT:
O'REILLY AUTO PARTS STORE
NEW O'REILLY AUTO PARTS STORE
6106 CORPORATE RIDGE ROAD
RALEIGH, NC 27607



DRAWN BY: CH
 CHECKED BY: KR
 DATE: 03/31/2017
 REVISION:
 PROJECT NUMBER: 17042-RN6
 SHEET NUMBER

A2.1