

# RIDGESTONE APARTMENTS SR-47-2016



0 300 600 1,200 Feet

Zoning: **PD**  
CAC: **North**  
Drainage Basin: **Neuse**  
Acreage: **2.16**  
Lots/Units: **32/44,403**

Planner: **Michael Walters**  
Phone: **(919) 996-2636**  
Applicant: **Sambrick**  
**Commercial Realty**  
Phone: **919-602-0678**





## Administrative Action Administrative Site Review

City of Raleigh  
Development Plans Review Center  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2626  
www.raleighnc.gov

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**Case File / Name:** SR-47-16, Ridgestone Apartments

**General Location:** This site is located on the west side of Raven Ridge Road, north of the intersection of Raven Ridge Road and Shadowlawn Drive, and is within the city limits.

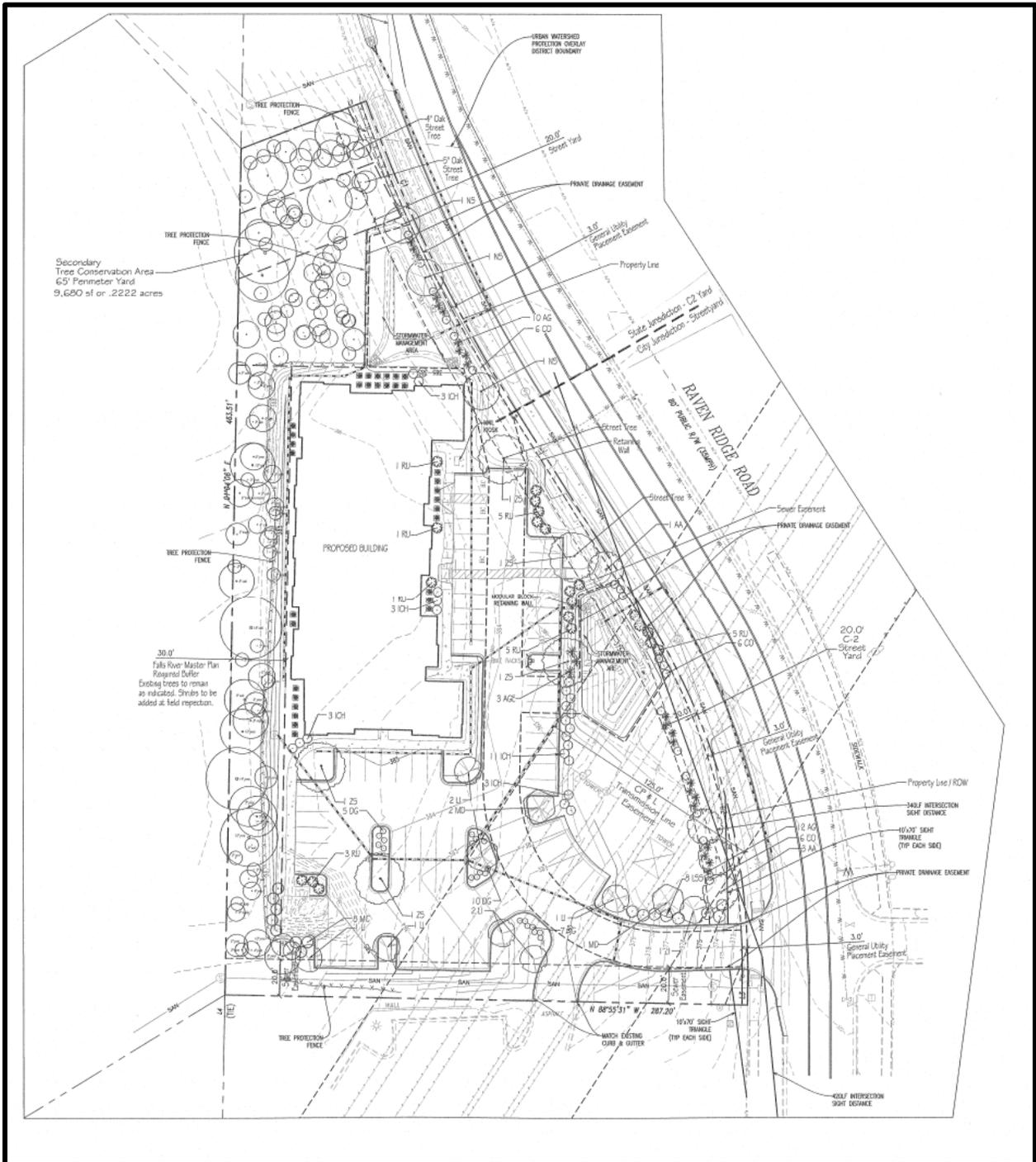
**CAC:** North

**Request:** Development of a 2.19 acre tract zoned PD into a 44,403 square foot 45' 6" tall (3 story) apartment building.

**Cross-Reference:** Z- 60-1994, MP-1-1994 Falls River Planned Unit Development, TR# 478939



SR-47-16 Location Map



SR-47-16 Preliminary Site Plan



**Engineering Services Design Adjustment – Staff Response**

Per Section 10.2.18.C of the Unified Development Ordinance, the Engineering Services Director may consult with the heads of other City departments regarding the review of the request. The Engineering Services Director may approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

<b>PROJECT</b>	Project Name Ridgestone Apartments	Date Completed Application Received: 12/13/2016
	Case Number: SR-47-2016	Transaction Number: 478939

<b>DEPARTMENT RESPONSE/RECOMMENDATION</b>	DEPARTMENT	REPRESENTATIVE SIGNATURE	DEPARTMENT	REPRESENTATIVE SIGNATURE
	<input type="checkbox"/>	Dev. Services Planner:		<input type="checkbox"/>
<input checked="" type="checkbox"/>	Dev. Services Eng:	<i>Kathryn Beard kb</i>	<input type="checkbox"/>	Transportation:
<input type="checkbox"/>	Engineering Services:		<input type="checkbox"/>	PRCR:
City Staff supports the design adjustment to allow street trees to be installed as per the existing conditions along Raven Ridge Road. This will provide street trees outside the right-of-way along the City-maintained frontage.				

**Development Services Director or Designee Action:**

Approve  Approval with Conditions  Deny

*[Signature]* \_\_\_\_\_ *1/9/17*  
 Authorized Signature Date

\*The Engineering Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.

<b>CONDITIONS FOR APPROVAL</b>	
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Appeal of the decision from the Engineering Services Director shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

City of Raleigh  
 Engineering Services

Phone: 919-996-3030  
 www.raleighnc.gov



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	<input type="checkbox"/> Dev. Services Planner:		<input type="checkbox"/> City Planning:	
	<input checked="" type="checkbox"/> Dev. Services Eng:	<i>Kathryn Beard Kcb</i>	<input type="checkbox"/> Transportation:	
	<input type="checkbox"/> Engineering Services:		<input type="checkbox"/> PRCR:	

City Staff supports the design adjustment request that allows the site to develop without a public street constructed through this site due to existing conditions of development and the location of the City water treatment plant.

**Development Services Director or Designee Action:**

Approve  Approval with Conditions  Deny

Authorized Signature

Date

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<b>CONDITIONS FOR APPROVAL</b>	
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<b>Code Conformance:</b>		<b>Code Section(s)</b>
<b>Zoning District:</b>	PD (Planned Development). Underlying zoning at time of Falls river Master Plan approval (SC) Shopping Center.	4.7
<b>Overlay District:</b>	NA	
<b>Parking:</b>	Required/proposed; 60 / 63 (Parking as per MP-1-1994 / 10-2057(f)(5)(h), and allowable reduction (10-2082.6 (C) (6))  Bicycle spaces provided = 4	<u>MP-1-1994 / 10-2057(f)(5)(h)</u>
<b>Street Type(s):</b>	Avenue 2-Lane, Divided NCDOT and the City split the maintenance of Raven Ridge approximately mid-way along the frontage of the parcel.	<u>8.4</u>
<b>Streetscape:</b>	C-2 Yard along entire frontage.  Design Adjustment for C-2 yard along section of roadway maintained by the City of Raleigh.	<u>8.5</u>
<b>Setbacks/Frontage:</b>	There are no minimum setbacks within the Mixed Use areas of the Falls River Master Plan	MP-1-1994
<b>Neighborhood Transitions:</b>	NA	<u>3.5</u>
<b>Transitional Protective Yards:</b>	30' Transitional Protective Yard along the western border as per the Falls River Master Plan	MP-1-1994
<b>Stormwater:</b>	The plan proposes compliance with stormwater management regulations through the use of a bio retention pond.  A small portion of the northern end of this property is within the Neuse River/Richland Creek Urban Watershed Protection Overlay District.	<u>9.2</u>
<b>Tree Conservation:</b>	This site is providing .222 acres or 10% of secondary tree conservation area in accordance with Article 9.1.	<u>9.1</u>

<p><b>Variances, Design Adjustments, Administrative Alternates:</b></p>	<p>Due to existing development, a design adjustment was issued by Public Works waiving the block perimeter requirement.</p> <p>Due to existing conditions along Raven Ridge Road, a design adjustment was issued by Public Works allowing street trees outside of the Right of Way along the city maintained section of frontage.</p>	
<p><b>Other:</b></p>	<p>There exists a 125' CP&amp;L Transmission line easement across the southeast corner of the site.</p> <p>The proposed height of the apartment building is 45'6", maximum allowed = 50' as per underlying zoning district (SC) (Falls River Master Plan)</p> <p>Allowable Density in the Mixed Use area of the Falls River Master Plan is 15 Dwelling units/acre or 32.85 allowable units. Proposed are 32 dwelling units.</p> <p>Unity of Development is required as per the Falls River Master Plan (MP-1-1994)</p> <p>Greenway, is not required, as per COR Parks and Recreation</p>	

**ORDINANCE NO. (1994) 467 ZC 351**  
**Effective: 9-6-94**

Z-60-94 Falls River: General area north of Durant Road, east of Falls of Neuse Road.  
Part A: Consisting of approximately 945 acres rezoned to Residential-4, Residential-10, Residential-15 and Shopping Center Districts, according to map on file in the Planning Department.

Part B: Overlay the above general use districts with the Planned Development Conditional Use Overlay District.

Conditions:

1. No development will take place on the site unless it is in accordance with the Falls River Master Plan, dated July 7, 1994, and any amendments thereto, and all conditions of approval of this Master Plan.
2. No more than 3270 dwelling units will be developed on the site of this zoning petition without City Council approval. *(later revised to 3272 as per MP-1-94, Falls River Master Plan Revision – AA # 414)*

*At time of review 2883 units exists, proposed are 32 additional units for a total of 2915 units to date.*

3. No more than 39 acres will be developed for retail uses on the site of this zoning petition without City Council approval.

*No retail is proposed under SR-47-16.*

**OFFICIAL ACTION: Approval with conditions**

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**CONDITIONS OF  
APPROVAL:**

**Prior to issuance of a mass land disturbing permit for the site:**

1. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;
2. That a final tree conservation plan with permit be approved by the Forestry Specialist. The plan must show metes and bounds descriptions of all tree conservation areas, and tree protection fence around all tree conservation areas. Tree protection fence must be located in the field and inspected by the Forestry Specialist;

**Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable:**

3. That a nitrogen offset payment must be made to a qualifying mitigation bank;
4. That a tree conservation map be recorded with metes and bound showing the designated Tree Conservation Areas and shall be in compliance with Chapter 9 of the Unified Development Ordinance;
5. That a stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance, including the designation of buffer areas and open space areas for stormwater purposes prior to grading or the approval of construction drawings whichever event comes first;
6. That the NCDOT encroachment agreement for improvements along Raven Ridge Road be provided to the City of Raleigh;

**Prior to issuance of building permits:**

7. That the developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans; \
8. That all stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements;
9. That in accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of construction of a stormwater device shall be paid to the City;
10. That in accordance with Part 10A Section 8.1.3, a surety equal to 125% of the construction cost for public improvements for ½ of a Avenue 2-Lane, Divided facility be provided for the Raven Ridge Road frontage maintained by the City of Raleigh is paid to the Public Works Department;

11. That all conditions of Z-60-1994 are complied with;

**Prior to issuance of building occupancy permit:**

12. That in accordance with Part 10A Section 9.2.2, an as-built plan and certification any stormwater control device shall be reviewed and accepted by the City prior to final stormwater inspection approval or certificate;

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I hereby certify this administrative decision.

**Signed:** (Planning Dir.) Ken Baum (C. Dargatzis) Date: 4-28-17

**Staff Coordinator:** Michael Walters

**SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.**

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**FINDINGS:** City Administration finds that this request, with the above conditions being met, conforms to the Falls River Master Plan, the City of Raleigh Development Regulations, and/or the Unified Development Ordinance. This approval is based on a preliminary plan dated 12/13/16, submitted by Matt Lowder, Triangle Site Design.

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**EXPIRATION DATES:** **The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan.** If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date: 4/28/2020**

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date: 4/28/2021**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

**WHAT NEXT?:**

- **MEET ALL CONDITIONS OF APPROVAL.**
- **COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS** Streets, Utility lines to be owned and maintained by the City.
- **HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING.** These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- **MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.**