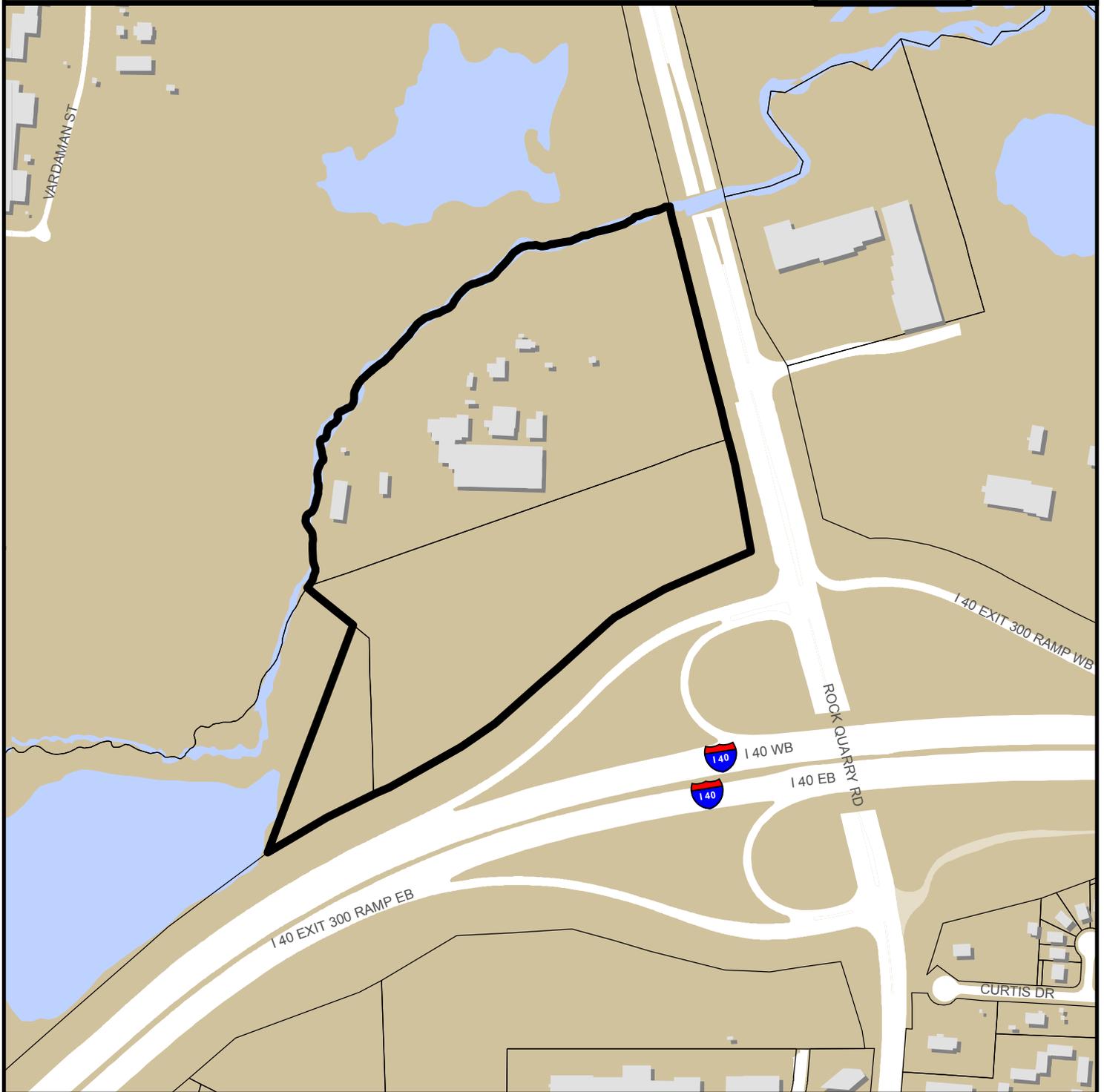


SOUTH EAST YMCA/WCPSS SR-47-2017



0 300 600 1,200 Feet

Zoning: **IX-3-PL, CX-5-PL
w/SHOD-1**

CAC: **South**

Drainage Basin: **Walnut Creek**

Acreage: **31.79**

Sq. Ft.: **113,938**

Planner: **Michael Walters**
Phone: **(919) 996-2636**

Applicant: **Withers & Ravenel**
Phone: **(919) 535-5141**





Administrative Approval Action

SR-47-17 / SE YMCA / WCPSS School E-64
Transaction# 513477

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the west side of rock Quarry Road on the northwest corner of the intersection of Rock Quarry Road and I-40. The address of the project is 1436 and 1440 Rock Quarry Road.

REQUEST: Development of a proposed 18.74 acre tract (proposed lot 1 of subdivision case number S-21-17) zoned IX-3-PL, and CX-5-PL into a 115,000 square foot Civic Use building (YMCA/Wake County Public School).

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: A Design Adjustment was approved by the Public Works Director supporting an alternative street cross section along Rock Quarry Road.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Withers and Ravenel. (dated 9/21/17)

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. That required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. That a right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

3. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of a mass grading permit or other site permit, whichever comes first.
4. That a stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.
5. That In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

URBAN FORESTRY

6. Obtain required tree impact permit from the City of Raleigh.



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7. Prior to the issuance of a mass grading permit or other site permit, whichever comes first, submit a final tree conservation plan with a permit approved by Urban Forestry staff that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required.
8. That a Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

1. A Final Subdivision Plat (case S-21-17) shall be recorded with the Wake County Register of Deeds office for all Subdivisions, Recombination, Right Of Way and/or Easement Dedications, and Tree Save Areas.
2. That a demolition permit for all existing structures on site shall be obtained.
3. That a fire flow analysis is provided.

STORMWATER

4. That the flood prone areas, as approved by the City Stormwater Engineer, must be shown on the preliminary plan and shall be shown on the recorded map;
5. That all stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.

URBAN FORESTRY

6. A final inspection of required tree conservation areas by Urban Forestry staff must be completed.

Prior to issuance of building occupancy permit:

1. That required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
2. That required underground public utility infrastructure improvements (water, sewer, reuse, storm drainage) shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
3. That all street lights and street signs required as part of the development approval are installed.
4. That copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
5. That in accordance with Part 10A Section 9.2.2, an impervious surface as-built survey shall be reviewed and accepted by the City prior to final stormwater inspection approval;



Administrative Approval Action

SR-47-17 / SE YMCA / WCPSS School E-64
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6. That a Final inspection of all required Tree Conservation and right of way tree protection areas is completed by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 10-24-2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) *Austin Riley Tyler* Date: 10/24/2017

Staff Coordinator: Michael Walters

SR-47-17 TRANSACTION NO: 513477

ADMINISTRATIVE SITE REVIEW PLANS FOR SOUTHEAST RALEIGH YMCA - WCPSS PRE K-5 SCHOOL E46

1436 Rock Quarry Road, Raleigh, NC 27610
 1st Submittal Date: MAY 5, 2017 2nd Submittal Date: August 16th, 2017
 3rd Submittal Date: September 21st, 2017

ADMINISTRATIVE SITE PLAN REVIEW
 3RD SUBMITTAL - 09/21/17
 FOR SE-47-17 PROJECT NO. 0270069
 W/R PROJECT NO. SR-47-17
 TRANSACTION NO: 513477

APPLICATION

Administrative Site Review Application (for UDO Districts only)

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | Fax: 919-996-1831
 Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE

Detached General Transitional Member
 Attached Mixed Use Assigned Project Coordinator
 Apartment Open Lot Assigned Team Leader
 Townhouse

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # _____

GENERAL INFORMATION

Development Name: SE YMCA/WCPSS School E-46
 Zoning District: CXP5/PL/SHOD-1 and IX3/PL Inside City Limits? Yes No
 Proposed Use: YMCA and Public School
 Property Address(es): 1436 AND 1440 Rock Quarry Rd Major Street Location: Rock Quarry Rd and I-40
 Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:
 P.I.N. 1713-31-9948 P.I.N. 1713-31-9493 P.I.N. _____ P.I.N. _____

What is your project type? Apartment Elderly Facilities Hospitals Hotels/Motels Office
 Mixed Residential Non-Residential Condo School Shopping Center Banks Industrial Building
 Duplex Telecommunication Tower Religious Institutions Residential Condo Retail Cottage Court
 Other: if other, please describe: School and YMCA Recreation Facility

Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
 This Administrative Site Review Application is for the proposed YMCA/WCPSS School E-46. This project is part of a larger proposed YMCA/WCPSS mixed-use project which is currently under review for a subdivision/condominium plat and a right-of-way dedication of public street located between 1436 and 1440 Rock Quarry Road. The project includes the use of the YMCA school building portion of the existing development, inclusion of private road serving as an extension of the public roadway as well as the YMCA and school building and its associated site improvements.

Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE.

CLIENT/DEVELOPER/OWNER
 Company: YMCA OF THE TRIANGLE Name: (S) TIM CARR
 Address: 801 CORPORATE CENTER DRIVE, STE 200, RALEIGH, NC 27607
 Phone: 919-719-9622 Email: Tim.Carr@YMCATriangle.org Fax: _____

CONSULTANT (Contact Person for Plans)
 Company: WithersRavenel Name: (S) Brian Richards / Charlie Townsend
 Address: 137 S Wilmington St, Suite 200, Raleigh, NC 27601
 Phone: 919-535-5214 Email: brian@withersravenel.com, charlie@withersravenel.com Fax: _____

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information		Building Information	
Zoning District(s): CXP5/PL/SHOD-1 and IX3/PL	Proposed building use(s): General Building	Existing Building(s) sq. ft. gross: N/A	
If more than one district, provide the acreage of each: CXP5PL = 2.03 AC and IX3PL = 16.71	Existing Building(s) sq. ft. gross: 113,938 sf		
Overlay District:	Proposed building use(s) sq. ft. gross: 113,938 sf		
Total Site Acres: Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed): 113,938 sf		
Off street parking: Required 248 Provided 262	Proposed height of building(s): 35 ft		
COA (Certificate of Appropriateness) case # _____	# of stories: 2		
BOA (Board of Adjustment) case # A- _____	Ceiling height of 1 st floor: 14'-8"		
CUO (Conditional Use District) case # Z: _____			
Stormwater Information		Flood Hazard Area	
Existing Impervious Surface: 12.65 / 551,034 acres/square feet	Flood Hazard Area: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Proposed Impervious Surface: 7.99 / 348,232 acres/square feet	If Yes, please provide: Alluvial Soils: Wo and Ch Flood Study: 5/2/2006		
Neuse River Buffer: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	FEMA Map Panel # Panel 1713		
FOR RESIDENTIAL DEVELOPMENTS			
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more		
2. Total # of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2,2,7		
3. Total Number of Hotel Units	7. Open Space (only) or Amenity		
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No		

SIGNATURE BLOCK (Applicable to all developments)

I, the undersigned, being the owner of the above described property, do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **Brian Richards** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/We have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: *[Signature]* Date: 05 MAY 17

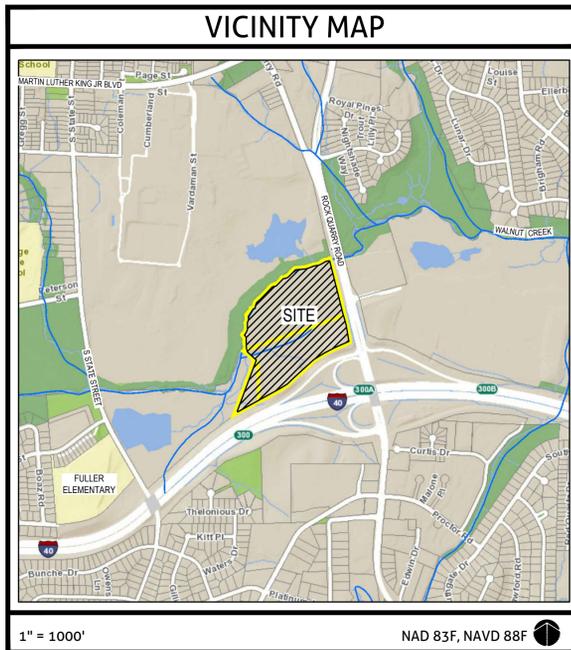
Printed Name: **TIM CARR** Date: _____

Signed: _____ Date: _____

Printed Name: _____

SHEET LIST TABLE

Sheet Number	Sheet Title
C0.0	COVER
C1.0	EXISTING CONDITIONS PLAN
C2.0	OVERALL SITE PLAN
C2.1	LOT 1 SITE PLAN
C2.2	SIGHT DISTANCE DETAILS
C3.0	OVERALL GRADING & STORM DRAINAGE
C3.1	LOT 1 GRADING & STORM DRAINAGE
C5.0	OVERALL UTILITY PLAN
C5.1	LOT 1 UTILITY PLAN
C6.0	TREE CONSERVATION PLAN
C7.0	SITE DETAILS
C7.1	SITE DETAILS
L1.0	OVERALL LANDSCAPE PLAN
L1.1	LOT 1 LANDSCAPE PLAN
A2.01	BUILDING ELEVATIONS



- ### GENERAL NOTES
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
 - NO WORK WILL BE ALLOWED WITHIN NCDOT ROW UNTIL ALL ENCROACHMENT AGREEMENTS ARE APPROVED BY NCDOT.
 - IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
 - FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
 - ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH, NORTH CAROLINA OFFICE BY ROBINSON & PLANTE, P.C. IN CARY, NORTH CAROLINA IN DIGITAL FORMAT IN DECEMBER, 2015, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN DECEMBER 2015.
 - ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
 - ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS.
 - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION TO BE 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BEAM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
 - UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
 - TRASH AND CARDBOARD DUMPSTERS ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
 - ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
 - CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT THE ONE AT 813 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 - HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
 - PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
 - ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
 - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR RESIDENTIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCRUCH ON THIS MINIMUM CORNER CLEARANCE.
 - ACCESS RAMP(S) WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
 - ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
 - ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
 - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
 - PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
 - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
 - ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHING.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHING.GOV.
 - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.

- ### SOLID WASTE INSPECTION STATEMENT
- SOLID WASTE SERVICES ARE TO BE PROVIDED BY A PRIVATE CONTRACTOR.
 - THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
 - THIS PROJECT HAS DUMPSTERS FOR SOLID WASTE AND SINGLE-STREAM RECYCLING.

- ### FIRE DEPARTMENT NOTES
- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (NFA 13R) OR 250 FEET (NFA13) TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF THE BUILDING (NCF 503.1.1).
 - FIRE HYDRANTS SHALL BE LOCATED AT 400' MAXIMUM SPACING AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCF 503.5.1).
 - ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 1/2" INCH STORZ CONNECTION.
 - FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2012 NCF, SECTION 507.3.

DEVELOPER/OWNER

YMCA OF THE TRIANGLE
 801 CORPORATE CENTER DRIVE, SUITE 200
 RALEIGH, NC 27607
 PHONE: (919) 719-9622
 FAX: N/A
 EMAIL: Tim.Carr@YMCATriangle.org

CONSULTANTS

<p>SURVEYOR WITHERSRAVENEL 115 MacKenan Drive Cary, NC 27511 PHONE: 919-467-3340 EMAIL: RVANDERVELDE@WITHERSRAVENEL.COM</p>	<p>FORESTRY FORESTRY SERVICES, INC. 108 TULLIALLAN LANE CARY, NC 27511 PHONE: 919-467-7011 EMAIL: MIKEPERRY@NCFORESTER.COM</p>
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PREPARED BY

WithersRavenel
 Engineers | Planners
 137 S. Wilmington Street | Raleigh, NC 27601 | t: 919.469.3340 | license #: C-0832
 www.withersravenel.com

<p>LANDSCAPE ARCHITECT: DAVID BROWN, PLA DBROWN@WITHERSRAVENEL.COM</p>	<p>CIVIL ENGINEER: LOFTEE SMITH, PE LSMITH@WITHERSRAVENEL.COM</p>
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- ### TREE CONSERVATION & STORMWATER NOTES
- REFER TO S-21-17 FOR SUBDIVISION AND TREE COVER REPORT.
 - TREE CONSERVATION PLAN IS REQUIRED PER UDO SEC. 9.1.2.
 - TOTAL SITE IS 30.89 ACRES
 - DEVELOPMENT SITE IS 18.74 ACRES
 - NO STORMWATER MANAGEMENT IS REQUIRED PER UDO SEC. 9.2.2. A & 10.3.4.E.
 - EXISTING SITE CONSISTS 42% IMPERVIOUS AREA.
 - THE AMOUNT AND EXTENT OF IMPERVIOUS SURFACES IS DECREASING.
 - THE PLACEMENT OF ALL NEW IMPERVIOUS SURFACE CONFORMS THE CITY OF RALEIGH UDO REQUIREMENTS.

LEGEND

EXISTING	PROPOSED
<ul style="list-style-type: none"> PP POWER POLE IPS IRON PIPE FOUND IFP FIBER OPTIC MARKER WATER VALVE CATCH BASIN SANITARY MANHOLE BLOW OFF VALVE TREE GRATE PROJECT BOUNDARY LINE ADJACENT PROPERTY LINE RIGHT OF WAY OVERHEAD ELECTRIC LINE SANITARY SEWER LINE STORM DRAINAGE LINE WATER LINE MAJOR CONTOUR LINE MINOR CONTOUR LINE 	<ul style="list-style-type: none"> FIRE HYDRANT POWER POLE IRON PIPE SET IRON PIPE FOUND FIBER OPTIC MARKER WATER VALVE CATCH BASIN SANITARY MANHOLE BLOW OFF VALVE TREE GRATE PROJECT BOUNDARY LINE ADJACENT PROPERTY LINE RIGHT OF WAY OVERHEAD ELECTRIC LINE SANITARY SEWER LINE STORM DRAINAGE LINE WATER LINE MAJOR CONTOUR LINE MINOR CONTOUR LINE

RIGHT OF WAY DEDICATION

SIDEWALK & GENERAL UTILITY PLACEMENT EASEMENT

SITE DATA FOR SE RALEIGH YMCA/K-5 SCHOOL (WR Project Number: 170083)

DATE: 08/15/2017

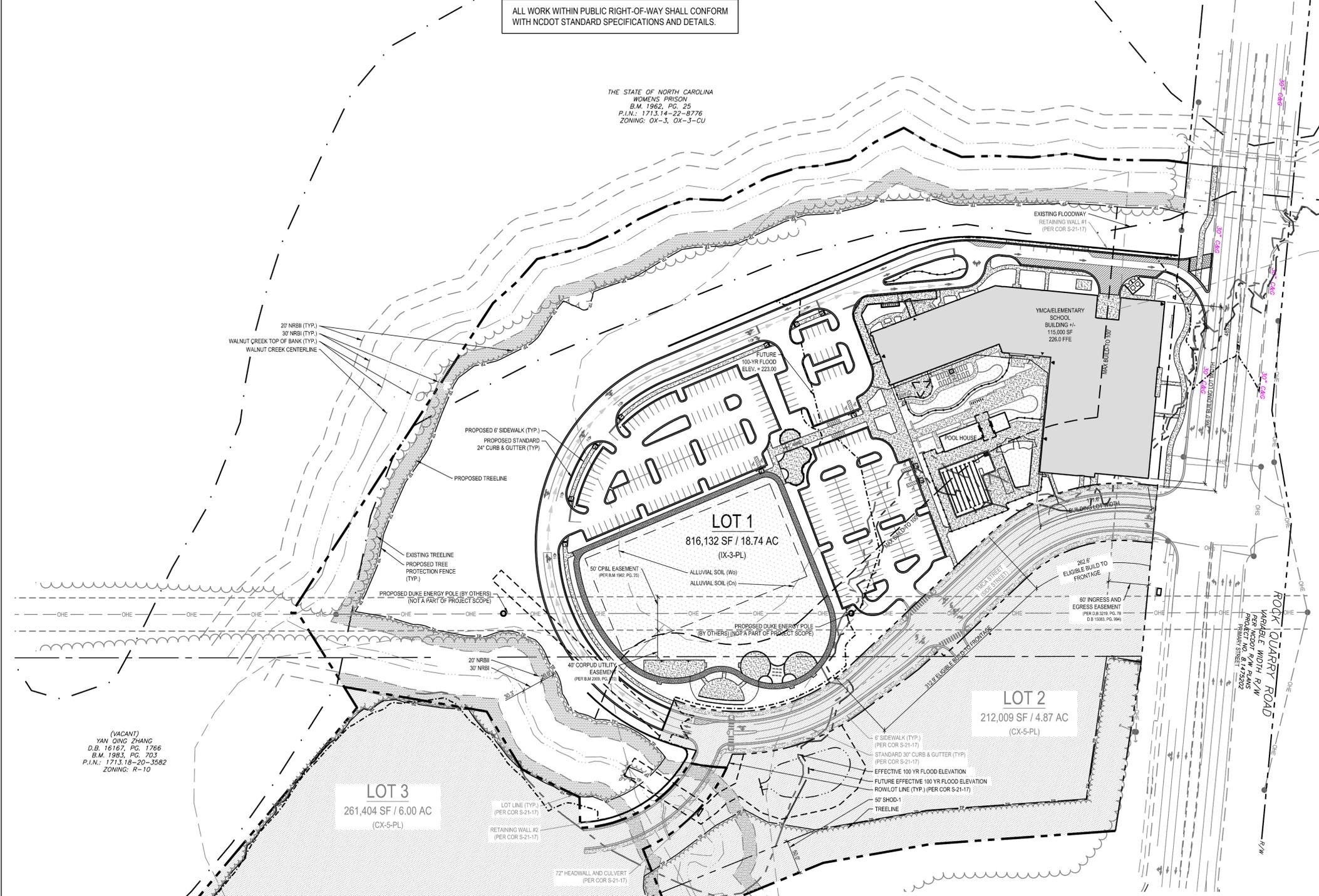
ITEM	MIN. REQUIRED OR MAX. ALLOWED	PROVIDED
UDO Art. 3.2.5 General Building		
UDO Sec. 3.2.5 General Building		
A LOT DIMENSIONS		
A1 OUTDOOR AMENITY AREA (MIN)	18.74 x 10% = 1.87 AC	3.12 AC
B BUILDINGS/STRUCTURE SETBACKS		
B1 FROM PRIMARY STREET (MIN) - 1X	3 FT	35 FT
B2 FROM SIDE STREET (MIN) - 1X	3 FT	5 FT
B3 FROM SIDE LOT LINE (MIN) - 1X	0 FT OR 6 FT	35 FT
B4 FROM REAR LOT LINE (MIN) - 1X	0 FT OR 6 FT	GREATER THAN 500 FT
C PARKING SETBACKS		
C1 FROM PRIMARY STREET (MIN)	30 FT	N/A FT
C2 FROM SIDE STREET (MIN)	30 FT	30 FT
D MAX HEIGHT		
D1 PRINCIPAL BUILDING HEIGHT (MAX STORIES)	3 ST	2 ST
D2 ACCESSORY STRUCTURE HEIGHT (MAX FEET)	25 FT	34 FT
E FLOOR HEIGHTS		
E1 GROUND FLOOR ELEVATION (MIN)	0 FT	0 FT
E2 GROUND STORY HEIGHT, FLOOR TO FLOOR (MIN)	13 FT	14'8" FT
E3 UPPER STORY HEIGHT, FLOOR TO FLOOR (MIN)	9 FT	14'8" FT
F TRANSPARENCY		
F1 GROUND STORY (MIN)	20 %	32 %
F2 UPPER STORY (MIN)	20 %	46 %
F3 BLANK WALL AREA (MAX)	50 FT	57 FT
G ALLOWED BUILDING ELEMENTS		
G1 BALCONY		
G2 GALLERY AWKING		
UDO Art. 7.1.3 PARKING		
UDO Sec. 7.1.3 REQUIRED PARKING		
VEHICLE PARKING (MIN)		
SCHOOL PUBLIC PRE K - 5		
1 SPACE PER 5 SEATS IN LARGEST ASSEMBLY ROOM	500 / 5 x 1 = 100 SP	
SUBTOTAL		100 SP
YMCA (INDOOR RECREATION)		
1 SPACE PER 300 SF OF GROSS FLOOR	35,689 / 300 = 119.0 SP	
SUBTOTAL		119.0 SP
YMCA (OUTDOOR RECREATION)		
1 SPACE PER 100 SF OF GROSS FLOOR (POOL HOUSE)	2,320 / 100 = 23.2 SP	
1 SPACE PER 1000 SF OF OUTDOOR REC. (POOL AREA)	15,000 / 1,000 = 15.0 SP	
SUBTOTAL		38.2 SP
TOTAL VEHICLE PARKING REQUIRED (MIN)		242 SP
SHORT TERM BICYCLE PARKING (MIN)		
SCHOOL PUBLIC PRE K - 5		
1 SPACE PER 2 CLASSROOMS	23 / 2 x 1 = 12 SP	
SUBTOTAL		12 SP
YMCA (INDOOR RECREATION)		
1 SPACE PER 1,000 SF OF INDOOR GROSS FLOOR	35,689 / 1,000 = 35.7 SP	
YMCA (OUTDOOR RECREATION)		
1 SPACE PER 1000 SF OF OUTDOOR REC. (POOL AREA)	15,000 / 1,000 = 15.0 SP	
SUBTOTAL		50.7 SP
TOTAL SHORT TERM BICYCLE PARKING REQUIRED (MIN)		22 SP
LONG TERM BICYCLE PARKING (MIN)		
SCHOOL PUBLIC PRE K - 5		
3 SPACES PER CLASSROOM	23 x 3 = 69 SP	
SUBTOTAL		69 SP
YMCA (INDOOR, OUTDOOR RECREATION)		
NONE	N/A SP	
SUBTOTAL		69 SP
TOTAL LONG TERM BICYCLE PARKING REQUIRED (MIN)		69 SP
TOTAL BICYCLE PARKING REQUIRED (MAX)*		80 SP
*PER UDO SECTION 7.1.3 BICYCLE PARKING FACILITIES A MAXIMUM OF 30 BICYCLE PARKING ARE REQUIRED PER SINGLE LOT.		30 SP

K:\1717-0861\17083-SE-YMCA-School\CAD\Main Site Plan\03-0-08P Cover.dwg - Wednesday, September 20, 2017 6:57:43 PM - TOWNSEND, CHARLIE

ALL WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL CONFORM WITH NCDOT STANDARD SPECIFICATIONS AND DETAILS.

THE STATE OF NORTH CAROLINA
WOMENS PRISON
B.M. 1962, PG. 25
P.L.N.: 1713.14-22-8776
ZONING: OX-3, OX-3-CU

(VACANT)
YAN QING ZHANG
D.B. 16167, PG. 1766
B.M. 1983, PG. 703
P.L.N.: 1713.18-20-3582
ZONING: R-10



- GENERAL NOTES:**
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
 - IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
 - FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
 - ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH, NORTH CAROLINA OFFICE BY WITHERSRAVENEL, CARY, NORTH CAROLINA OFFICE IN DIGITAL FORMAT IN FEBRUARY, 2016, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN FEBRUARY, 2016.
 - ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
 - ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS.
 - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
 - UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
 - TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
 - ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
 - CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 - HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
 - PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
 - ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
 - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 50 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR MIXED-USE/COMMERCIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCRUSH ON THIS MINIMUM CORNER CLEARANCE.
 - WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
 - ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
 - ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
 - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
 - PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
 - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
 - ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
 - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
 - ALL ROOF TOP UTILITIES MUST BE SCREENED FROM VIEW.

- OPEN SPACE NOTES:**
- LAND AREA ON EITHER LOT 1, LOT 2, OR LOT 3 MAY BE UTILIZED FOR OPEN SPACE REQUIREMENTS FOR ANY FUTURE DEVELOPMENT LOCATED ON THESE PROPERTIES OR FOR PROPERTY THAT IS RECOMBINED WITH EITHER OF THESE LOTS.

- NCDOT NOTES:**
- AT TIME OF CONSTRUCTION FOR PUBLIC ROW IMPROVEMENTS, THE CONTRACTOR FOR THE OWNER SHALL COORDINATE WORK WITH CITY OF RALEIGH AND NCDOT.
 - AT TIME OF CONSTRUCTION FOR PUBLIC ROW IMPROVEMENTS, THE CONTRACTOR FOR THE OWNER SHALL THE NEW WORK TO STREET NETWORK THAT IS IN PLACE AT TIME OF CONSTRUCTION.

- SITE PLAN NOTES:**
- PROPOSED PUBLIC RIGHT-OF-WAY IS SHOWN FOR REFERENCE ONLY AND IS NOT PART OF THIS PLAN SUBMITTAL. PLEASE REFER TO CITY OF RALEIGH PRELIMINARY SUBDIVISION PLAN CASE # S-21-17.
 - PROPOSED PUBLIC LOT LINES ARE SHOWN FOR REFERENCE ONLY. PLEASE REFER TO CITY OF RALEIGH PRELIMINARY SUBDIVISION PLAN CASE # S-21-17.

- SCHOOL USE STANDARDS (UDO SEC. 6.3.1.D2):**
- THE PROPOSED PUBLIC SCHOOL WILL COMPLY WITH ALL NC STATE BOARD OF EDUCATION REQUIREMENTS.
 - THE LOT WILL PROVIDE A MINIMUM OF 500 SF OF AREA FOR EACH PUPIL ENROLLED IN THE SCHOOL AT ANY ONE TIME. PROPOSED NUMBER OF STUDENTS APPROXIMATELY 500. PROPOSED SITE AREA 816,132 SF.
 - A TRAFFIC IMPACT ANALYSIS HAS BEEN PERFORMED TO ENSURE THAT NEARBY ROADWAYS AND INTERSECTIONS MAINTAIN LEVEL-OF-SERVICE.
 - TRANSITIONAL PROTECTIVE YARDS HAVE BEEN INCORPORATED AS REQUIRED BY THE UDO.
- PAVEMENT SCHEDULE:** 1.5" S9.5A 2.5" I19.0B, 8" ABC PER GEOTECH REPORT

SUBDIVISION IMPERVIOUS DATA:

SITE GROSS ACREAGE:	30.89 AC
EXISTING IMPERVIOUS:	551,034 SF / 12.65 AC
PROPOSED MAX IMPERVIOUS:	
LOT 1:	315,810 SF / 7.20 AC
LOT 2:	108,903 SF / 2.50 AC
LOT 3:	173,240 SF / 3.90 AC
R/W DEDICATION:	54,450 SF / 1.25 AC
TOTAL:	659,934 SF / 15.15 AC

BUILD-TO SITE DATA:

PARKING LIMITED (PL)

PRIMARY STREET:
ROCK QUARRY RD
PERCENT LOT WIDTH MIN. (50%): 266 / 485.8' = 54.7%

SIDE STREET:
YWCA STREET
PERCENT LOT WIDTH MIN. (25%): 171.6' / 575.5' = 29.8%*

*NOTE: THE ELIGIBLE LOT WIDTH FRONTAGE HAS BEEN DETERMINED CONSIDERING THE NEW PROPOSED FLOODPLAIN ELEVATION THAT WILL BE ESTABLISHED WITH THIS PROJECT. SINCE BUILDINGS CANNOT BE CONSTRUCTED IN THE FLOODPLAIN, STREET FRONTAGE IN THE FUTURE PROPOSED FLOODPLAIN HAS BEEN EXCLUDED.

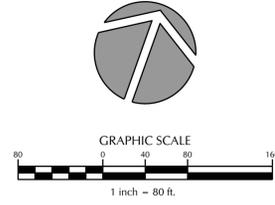
AMENITY REQUIREMENT:

SITE GROSS ACREAGE:	18.74 AC / 816,132 SF
REQUIREMENT:	10% OF SITE AREA 816,132 SF x .10 = 81,613 SF
PROVIDED:	
PLAY FIELD AREA:	85,844 SF / 1.97 AC
COURTYARD AREA:	45,885 SF / 1.05 AC
TOTAL:	131,729 SF / 3.02 AC

MSTA SCHOOL REQUIREMENTS:

PROPOSED STUDENTS	500
INTERNAL STACKING REQUIRED	1,076 FEET*
INTERNAL STACKING PROVIDED	1,140 FEET

*MSTA SCHOOL TRAFFIC CALCULATOR INDICATES A MAXIMUM HIGH DEMAND INTERNAL STACKING NEED FOR 1,076 FEET FOR STUDENT PICK-UP AND DROP-OFF REQUIRED INTERNAL.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE.

Job No.	02170083	Drawn By	CDT
Date	05/05/17	Designer	CDT

Revisions

1	PER COR COMMENTS	08.15.17
2	PER COR COMMENTS	09.21.17

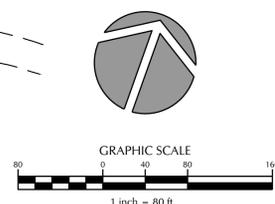
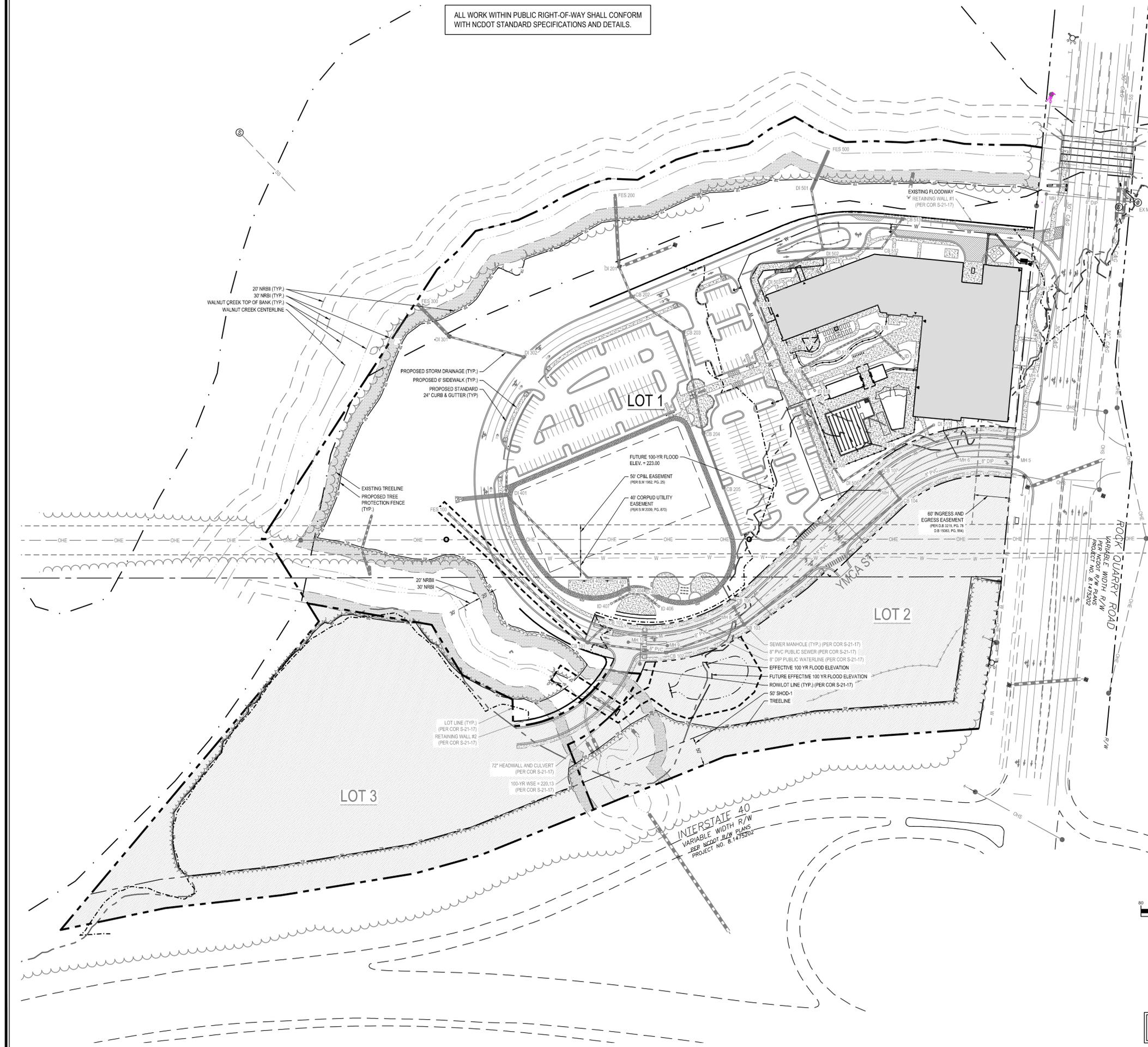
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ALL WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL CONFORM WITH NCDOT STANDARD SPECIFICATIONS AND DETAILS.

- STANDARD UTILITY NOTES (AS APPLICABLE):**
1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
 2. UTILITY SEPARATION REQUIREMENTS:
 - a) A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - b) WHEN INSTALLING WATER & RCP SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR.
 3. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
 4. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
 5. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
 6. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE GRADE HAVING 2" MIN. CLEARANCE. (PER CORPUD DETAILS 9-41 & 9-49)
 7. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
 8. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN & PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
 9. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
 10. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
 11. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
 12. INSTALL 2" COPPER WATER SERVICE WITH METER LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
 13. INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM
 14. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 12' ABOVE THE NEXT UPSTREAM MANHOLE
 15. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOT, USACE, S&R FEMA FOR AN RIPARIAN BUFFER, WETLANDS & FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
 16. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK, INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
 17. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD P&E PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION
 18. CROSS CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-6923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

NOTE:
ANY EXISTING WATER OR SEWER TAPS NOT BEING RETAINED FOR USE IN REDEVELOPMENT OF SITE SHALL BE ABANDONED AT MAIN AND SERVICE, REMOVED FROM ROW AND EASEMENT PER CORPUD HANDBOOK PROCEDURE.

NOTE:
ALL SEWER MANHOLES LOCATED WITHIN THE FLOODPLAIN ARE TO BE SEALED/VENTED.



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Job No.	02170083	Drawn By	CDT
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