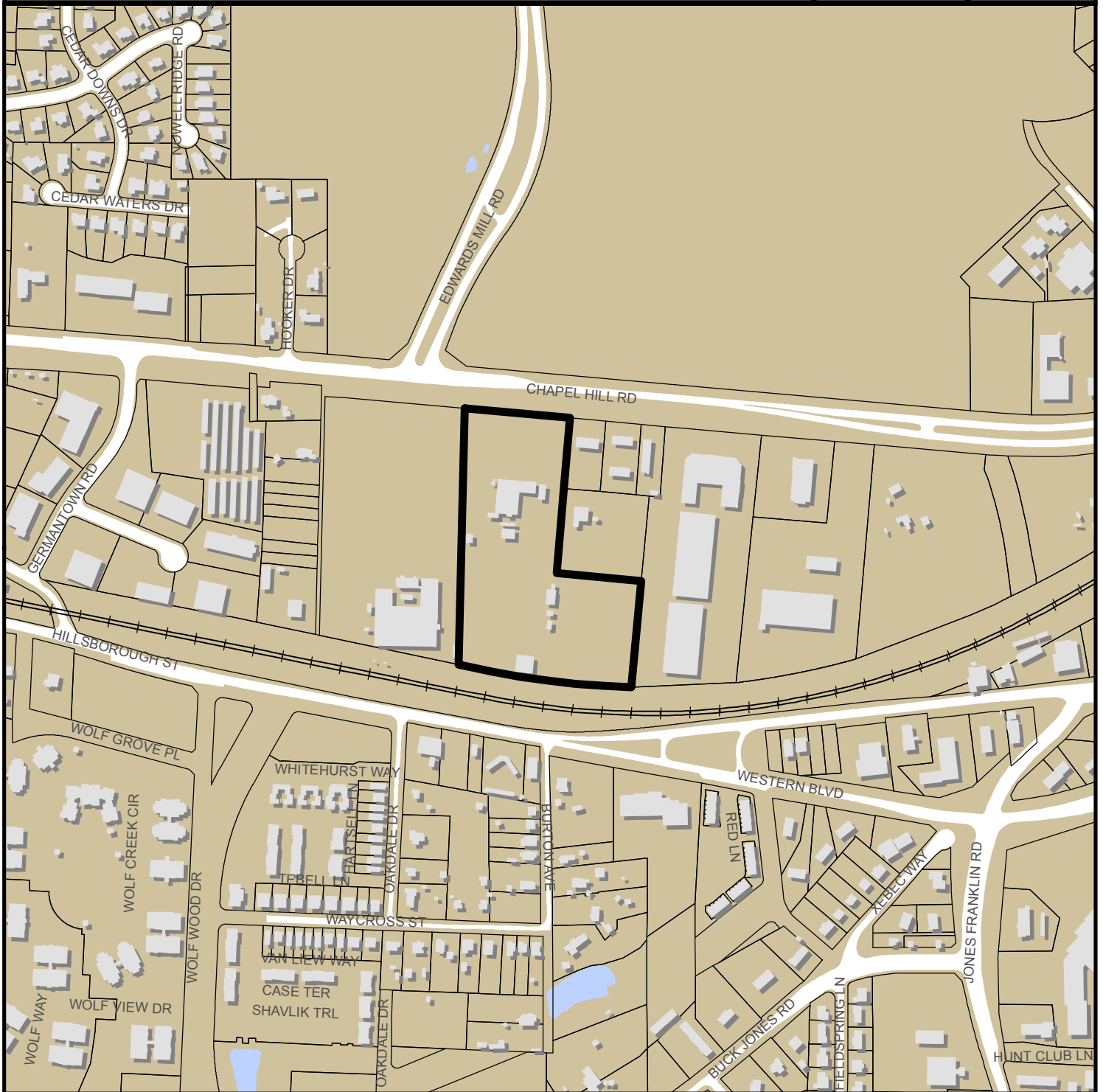


FRED SMITH OFFICE

SR-48-2016



0 300 600 1,200 Feet

Zoning: **IX-3-PL**

CAC: **West**

Drainage Basin: **Richland Creek**

Acreage: **9.97**

Units: **44,759**

Planner: **Meade Bradshaw**

Phone: **(919) 996-2664**

Applicant: **FJule Smith**

Phone: **919-422-3213**



Administrative Site Review Application (for UDO Districts only)

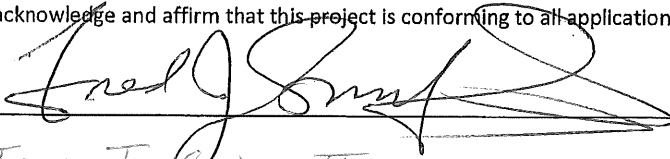


**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY	
☐ Detached ☐ Attached ☐ Apartment ☐ Townhouse	☒ General ☐ Mixed Use ☐ Open Lot	Transaction Number 478963 Assigned Project Coordinator Assigned Team Leader <i>Bradshaw</i> SC-48-16	
Has your project previously been through the <i>Due Diligence or Sketch Plan Review</i> process? If yes, provide the transaction #			
GENERAL INFORMATION			
Development Name FRED SMITH OFFICE			
Zoning District IX-3-PL	Overlay District (if applicable)	Inside City Limits? ☒ Yes ☐ No	
Proposed Use OFFICE			
Property Address(es) 6105 CHAPEL HILL RD		Major Street Locator:	
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:			
P.I.N. 0784018842	P.I.N.	P.I.N.	P.I.N.
What is your project type? ☐ Apartment ☐ Elderly Facilities ☐ Hospitals ☐ Hotels/Motels ☒ Office ☐ Mixed Residential ☐ Non-Residential Condo ☐ School ☐ Shopping Center ☐ Banks ☐ Industrial Building ☐ Duplex ☐ Telecommunication Tower ☐ Religious Institutions ☐ Residential Condo ☐ Retail ☐ Cottage Court ☐ Other: If other, please describe: _____			
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. OFFICE AND SITE IMPROVEMENTS		
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE		
CLIENT/DEVELOPER/ OWNER	Company FSC II, LLC		Name (s) JULE SMITH
	Address 6105 CHAPEL HILL RD		
	Phone 422-3213	Email fjs3@fredsmithcompany.com	Fax
CONSULTANT (Contact Person for Plans)	Company JAECO		Name (s) JOHNNY EDWARDS
	Address 333 WADE AVE, RALEIGH 27605		
	Phone 828-4428	Email johnny@jaeco.com	Fax

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)			
Zoning Information		Building Information	
Zoning District(s) IX-3-PL		Proposed building use(s) OFFICE	
If more than one district, provide the acreage of each:		Existing Building(s) sq. ft. gross 20,142	
Overlay District		Proposed Building(s) sq. ft. gross 32,467	
Total Site Acres Inside City Limits ☒ Yes ☐ No 9.95 AC		Total sq. ft. gross (existing & proposed) 44,759	
Off street parking: Required 144 Provided 196		Proposed height of building(s) 38'	
COA (Certificate of Appropriateness) case #		# of stories 3	
BOA (Board of Adjustment) case # A-		Ceiling height of 1 st Floor 11'	
CUD (Conditional Use District) case # Z-			
Stormwater Information			
Existing Impervious Surface 7.37 AC acres/square feet		Flood Hazard Area ☐ Yes ☒ No	
Proposed Impervious Surface 7.37 AC acres/square feet		If Yes, please provide: Alluvial Soils Flood Study FEMA Map Panel #	
Neuse River Buffer ☐ Yes ☒ No Wetlands ☐ Yes ☒ No			
FOR RESIDENTIAL DEVELOPMENTS			
1. Total # Of Apartment, Condominium or Residential Units		5. Bedroom Units: 1br 2br 3br 4br or more	
2. Total # Of Congregate Care Or Life Care Dwelling Units		6. Infill Development 2.2.7	
3. Total Number of Hotel Units		7. Open Space (only) or Amenity	
4. Overall Total # Of Dwelling Units (1-6 Above)		8. Is your project a cottage court? ☐ Yes ☐ No	
SIGNATURE BLOCK (Applicable to all developments)			
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City. I hereby designate <u>JOHNNY EDWARDS</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application. I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use. Signed <u></u> Date <u>7-6-16</u> Printed Name <u>FRED J. SMITH, III</u> Signed _____ Date _____ Printed Name _____			

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
General Requirements	YES	N/A	YES	NO	N/A
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to the City of Raleigh	☒		✓		
2. Administrative Site Review Application completed and signed by the property owner(s)	☒				
3. Client must complete and adhere page 1 and 2 of the Administrative Site Review Application to the plan cover sheet	☒		✓		
4. I have referenced the Administrative Site Review Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	☒		✓		
5. Provide the following plan sheets:	☒		✓		
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	☒		✓		
b) Existing Conditions Sheet, including, but not limited to, structures, buildings, utilities, infrastructure, and vegetation	☒		✓		
c) Proposed Site Plan	☒		✓		
d) Proposed Grading Plan	☒		✓		
e) Proposed Stormwater Plan, including preliminary stormwater quantity and quality summary and calculations package. If not required, provide City Code section on front cover.	☒	☐	✓		
f) Proposed Utility Plan, including Fire	☒	☐	✓		
g) Proposed Tree Conservation Plan – For secondary Tree Conservation Areas, include two copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina register forester. If not required, provide City Code section on front cover.	☒	☐			✓
h) Proposed Landscape Plan	☒	☐	✓		
i) Building elevations that show existing and/or proposed building height. If demolition, do not include buildings to be demolished.	☒	☐	✓		
j) Transportation Plan	☒	☐			✓
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. <u>For re-submittals – include all revision dates</u>	☒		✓		
7. Minimum plan size 18"x24" not to exceed 36"x42"	☒		✓		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	☒		✓		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	☒		✓		
10. Digital copy of only the plan and elevations. Label the CD or flash drive with the plan name, case file number, and indicate the review cycle #.	☒		✓		
11. Wake County School Form, if dwelling units are proposed	☐	☒			✓
12. If applicable, zoning conditions adhered to the plan cover sheet	☐	☒			✓

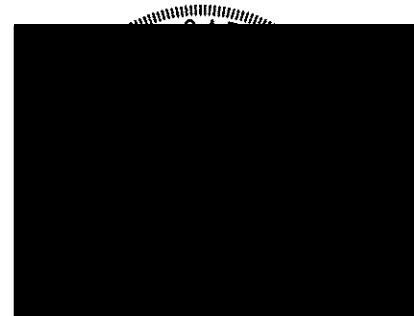


JOHN A. EDWARDS & COMPANY
Consulting Engineers
and Land Surveyors

NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

www.jaeco.com

Architect



Project

**FRED SMITH
COMPANY
OFFICE BUILDING**

Client



FSC II LLC
6105 CHAPEL HILL ROAD
RALEIGH, NC 27607

Approvals

ATTENTION CONTRACTORS:

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for coordinating the PUBLIC WORKS DEPARTMENT at (919) 996-2600 and the PUBLIC UTILITIES DEPARTMENT at (919) 996-2600 at least 14 days before beginning any of their construction. FAILURE to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require relocation of any water or sewer facilities not inspected as a result of this notification failure. FAILURE to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other violation of CITY OF RALEIGH STANDARDS will result in a \$200 and \$20000 fine, excluding from future work in the CITY OF RALEIGH.

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH CITY OF RALEIGH
AND / OR STANDARDS AND
SPECIFICATIONS.

Drawing

Title

EXISTING CONDITIONS

Revisions

Number	Description	Date

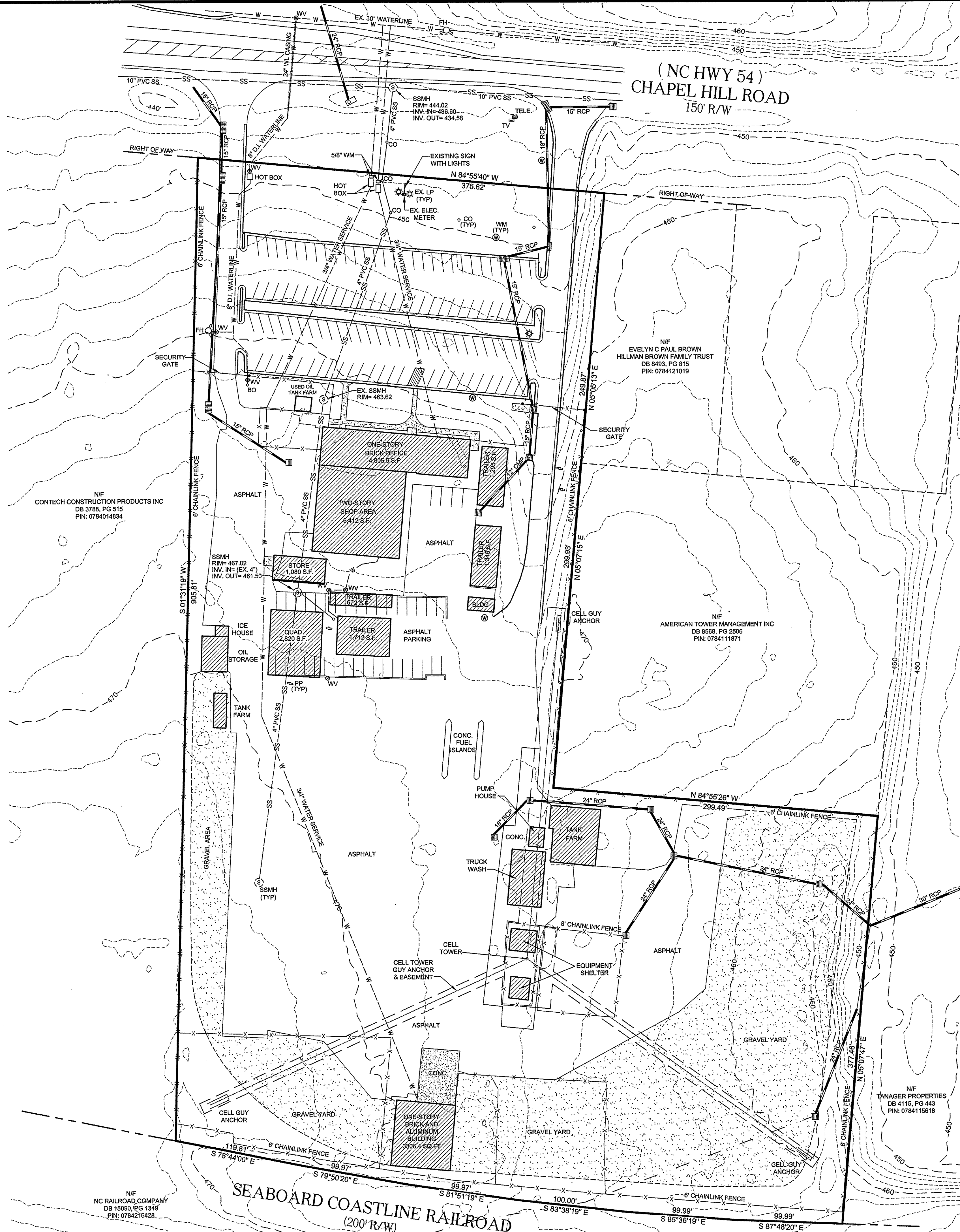
Drawing Scale 1"=50'

Drawn By BF

Checked By JAE

Date Issued 6/20/16

CE-1



LEGEND

BM BOOK OF MAPS
DB DEED BOOK
PG PAGE
N/F NOW OR FORMERLY
R/W RIGHT OF WAY
EP EXISTING IRON PIPE
EMAG EXISTING MAG NAIL
EPK EXISTING PK NAIL
ERRS EXISTING RAILROAD SPIKE
ENAIL EXISTING NAIL FOUND
ERF EXISTING RAIL FOUND
ECM EXISTING CONCRETE MONUMENT
IPS IRON PIPE SET
MAG MAG NAIL SET
CP COMPUTED POINT
RCP REINFORCED CONCRETE STORM PIPE
PP POWER POLE
GUY GUY ANCHORS

EXISTING LIGHT POLE
EXISTING BLOW OFF
EXISTING WATER MAN HOLE
EXISTING MONITORING WELL
EXISTING CLEAN OUT
EXISTING FIRE HYDRANT
PROPOSED FIRE HYDRANT
EXISTING WATER VALVE
PROPOSED WATER VALVE
EXISTING WATER REDUCER
PROPOSED WATER REDUCER
EXISTING WATER METER
PROPOSED WATER METER
EXISTING HOT BOX
PROPOSED HOT BOX
EXISTING MANHOLE
PROPOSED MANHOLE
EXISTING CATCH BASIN
PROPOSED CATCH BASIN
EXISTING DROP INLET
PROPOSED DROP INLET
EXISTING FLARED END SECTION
PROPOSED FLARED END SECTION
EXISTING CABLE TV PEDESTAL
EXISTING TELEPHONE VAULT

BOUNDARY LINE
RIGHT OF WAY LINE
LINES NOT SURVEYED
EASEMENT LINES
OVERHEAD ELECTRICAL LINES
EXISTING WATER LINE
PROPOSED WATER LINE
EXISTING SANITARY SEWER LINE
PROPOSED SANITARY SEWER LINE
EXISTING STORM DRAINAGE LINE
PROPOSED STORM DRAINAGE LINE

SITE DATA

OWNER: FSC II LLC
6105 CHAPEL HILL ROAD
RALEIGH, NC 27607-5111

LOT ADDRESS: 6105 CHAPEL HILL ROAD
RALEIGH, NC 27607-5111

PIN: 0784.17-01-8842

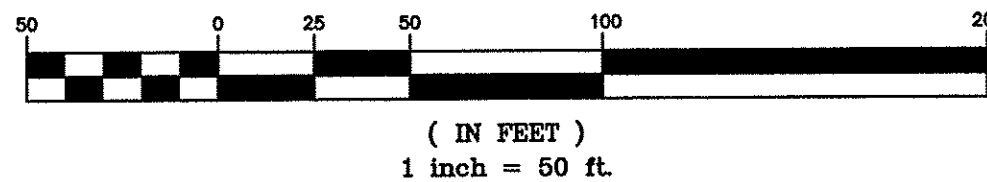
LOT AREA: 433,311 S.F. (9.9475 AC.)

ZONING: IX-3-PL

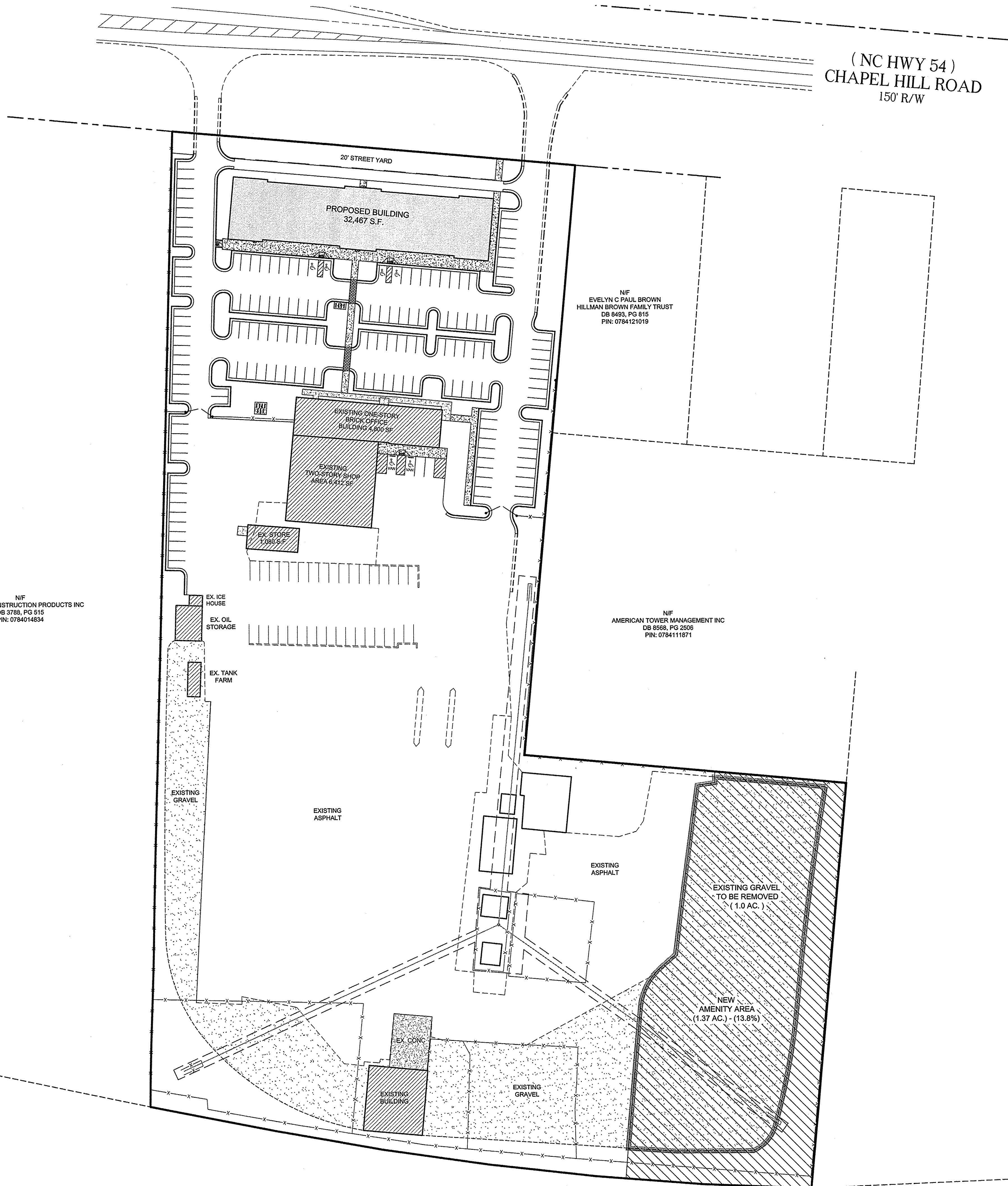
LAND USE: COMMERCIAL

REFERENCE: DB 14579, PG 523
WAKE COUNTY REGISTRY

GRAPHIC SCALE



X:\dwg\2016\Fred Smith Company\1 PRELIMINARY\Proposed Overall Site Plan.dwg, 7/6/2016 8:40:25 AM

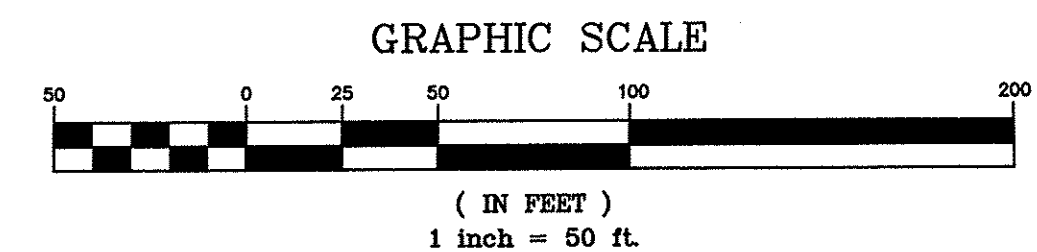


NF
CONTECH CONSTRUCTION PRODUCTS INC
DB 3789, PG 515
PIN: 0784014834

NF
EVELYN C PAUL BROWN
HILLMAN BROWN FAMILY TRUST
DB 8493, PG 815
PIN: 0784121019

NF
AMERICAN TOWER MANAGEMENT INC
DB 8568, PG 2508
PIN: 0784111871

- = EX. GRAVEL AREA
- = EX. GRAVEL AREA (TO BE REMOVED)
- = NEW AMENITY AREA



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RALEIGH, NC 27607



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

SITE PLAN - OVERALL

Number	Description	Date

Drawing Scale 1" = 50'
Drawn By BF
Checked By JAE, JR.
Date Issued 5/16/16

CE-2

