

TRI-LIFT NC, INC SR-48-2017



0 300 600 Feet

Zoning: **IX-3, SHOD-1**
CAC: **South**
Drainage Basin: **Big Branch**
Acreage: **1.74**
Sq. Ft.: **10,000**

Planner: **Daniel Stegall**
Phone: **(919) 996-2712**
Applicant: **BK Investments, LLC**
Phone: **(919) 691-1511**





Administrative Action Administrative Site Review

City of Raleigh
Development Plans Review Center
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
www.raleighnc.gov

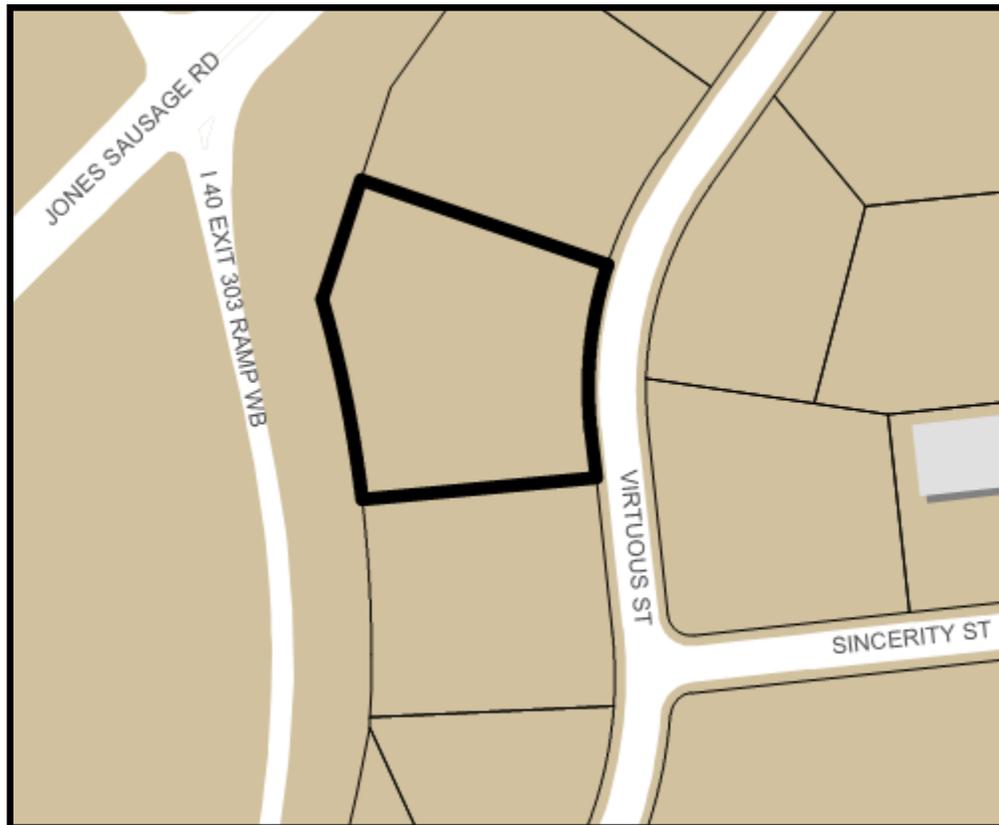
Case File / Name: SR-48-17 / Tri-Lift NC, Inc.

General Location: This site is located west of Virtuous Street and south of the intersection of Virtuous Street and Generosity Court. This site is located inside the city limits.

CAC: South

Request: Construction of a 10,000 square light industrial general building, located on a 1.74 acre parcel. The building height is 2-stories at 28' feet. The property is zoned Industrial Mixed Use, 3 stories (IX-3) with SHOD-1.

Cross-Reference: SR-48-17, Transaction# 513926



SR-48-17 Location Map

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name Tri-Lift NC, Inc.	Date completed Application received 7/13/2017
	Case Number SR-8-2017	Transaction Number 513926

DEPARTMENT RESPONSE/RECOMMENDATION	Staff SUPPORTS the Design Adjustment based upon the findings in these applicable code:																						
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access		<input type="checkbox"/> UDO Art. 8.4 New Streets																				
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets		<input checked="" type="checkbox"/> Raleigh Street Design Manual <input type="checkbox"/> Other																				
	<table border="1"> <thead> <tr> <th>DEPARTMENT</th> <th>REPRESENTATIVE SIGNATURE</th> <th>DEPARTMENT</th> <th>REPRESENTATIVE SIGNATURE</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Dev. Services Planner</td> <td></td> <td><input type="checkbox"/> City Planning</td> <td></td> </tr> <tr> <td><input checked="" type="checkbox"/> Development Engineering</td> <td><i>Kathryn Beard</i></td> <td><input type="checkbox"/> Transportation</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Engineering Services</td> <td></td> <td><input type="checkbox"/> PRCR</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Public Utilities</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>				DEPARTMENT	REPRESENTATIVE SIGNATURE	DEPARTMENT	REPRESENTATIVE SIGNATURE	<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning		<input checked="" type="checkbox"/> Development Engineering	<i>Kathryn Beard</i>	<input type="checkbox"/> Transportation		<input type="checkbox"/> Engineering Services		<input type="checkbox"/> PRCR		<input type="checkbox"/> Public Utilities		
DEPARTMENT	REPRESENTATIVE SIGNATURE	DEPARTMENT	REPRESENTATIVE SIGNATURE																				
<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning																					
<input checked="" type="checkbox"/> Development Engineering	<i>Kathryn Beard</i>	<input type="checkbox"/> Transportation																					
<input type="checkbox"/> Engineering Services		<input type="checkbox"/> PRCR																					
<input type="checkbox"/> Public Utilities																							
<p>Findings: The Southeast 40 Centre Subdivision, S-41-2006, recorded lots fronting on commercial streets with 41' b-b streets on a 60' right-of-way. The streets have been constructed and as more development occurs, the decision to maintain the right-of-way and shoulder consisting of a 3.5' grass strip and 5' sidewalks is requiring design adjustments be approved for each of the sites. These design adjustments provide consistency within the development which was developed prior to the UDO.</p> <p>Staff is supportive of the following design adjustments: Right-of-way remains at 60' wide; no 5' general utility placement easement required; a fee-in-lieu for 5 street trees and 1' sidewalk (width) to supplement the 5' sidewalk to meet the 6' requirement is required to be paid prior to building permit.</p>																							

Development Services Director or Designee Action: Approve Approval with Conditions Deny


 Authorized Signature KENNETH W. RITCHIE, PE 8/15/2017
 ENGINEERING MANAGER Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.

CONDITIONS	
-------------------	--

Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Code Conformance:		Code Section(s)
Zoning District:	Industrial Mixed Use -3 (IX-3)	2.1 , 3.1
Overlay District:	SHOD-1: A 50 foot wide Tree Conservation Area of 0.926 acres at the rear of the site abuts the Interstate-40 West Ext Ramp. This area runs the entire length of the site in the rear.	5.1
Parking:	3,542 sqft of office space requires 6 spaces; 6,458 sqft of warehouse space requires 3 spaces; 5 long term bicycle spaces.	7.1.2
Street Type(s):	Virtuous Street is classified as an Industrial Street. A design adjustment was approved to keep consistency with other properties along virtuous street which have 60' of right of way width. No right-of-way will be required.	8.4
Streetscape:	Virtuous Street is a City of Raleigh maintained street. 5 Street trees are provided for 185 feet of road frontage. A fee-in-lieu of will be required for 1' of sidewalk along the entire frontage of Virtuous Street to meet the 6' sidewalk requirement per the Unified Development Ordinance.	8.5
Setbacks/Frontage:	Minimum Building Setbacks: Primary Street = 3' Side Street = 3' Side = 6' Rear = 6'	3.4 , 3.2 , 2.2
Neighborhood Transitions:	Neighborhood transitions are not required in at this site.	3.5
Transitional Protective Yards:	Transitional protective yards are not required in at this site.	7.2.4
Stormwater:	A proposed bioretention area will be used for both peak runoff rate control and nitrogen reduction with a onetime buydown payment. There are no flood hazards or Neuse Riparian Buffer areas located on site. The parcel is not located within a water supply protected watershed area.	9.2
Tree Conservation:	This site is 1.74 acres in size and therefore exempt from Article 9.1, Tree Conservation. This site is providing 0.926 acres of primary tree conservation area in place of the SHOD-1 yard required on site.	9.1

<p>Variances, Design Adjustments, Administrative Alternates:</p>	<p>A Design Adjustment waiving dedication of right of way in order to maintain 60 feet of right of way without a general utility placement easement throughout the development.</p> <p>A Design Adjustment permitting the required street trees for Virtuous Street in a planting strip less than 6' in width. (UDO Section 8.5.2 D.)</p>	
<p>Other:</p>	<p>0.21 acres of the site has been designated as amenity area.</p>	

OFFICIAL ACTION: Approval with conditions

CONDITIONS OF APPROVAL:

Prior to issuance of a mass land disturbing permit for the site:

1. That prior to issuance of a grading permit, in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;
2. That tree protection fencing protecting all tree conservation areas, be installed and inspected on site;

Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable:

3. That prior to Site Permitting, a stormwater control plan with a stormwater operations & maintenance manual & budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance;
4. That prior to Site Permitting, a nitrogen offset payment must be made to a qualifying mitigation bank;
5. That a cross access agreement between lot 4 (PIN #1721480269) owned by APSE40 LLC and lot 3 (PIN#1721480269) owned by Claud R. Bond of BK Investments of Southeast 40 Centre (BM2008 PG1624) subdivision is approved by the Development Services Department for recording in the Wake County Registry, and that a copy of the recorded cross access easement must be returned to the City after recordation;

Prior to issuance of building permits:

6. That prior to Issuance of a building permit, in accordance with UDO 9.2.2, a surety equal to 125% of the cost of construction of a stormwater device shall be paid to the City;
7. That prior to Issuance of a building permit, in accordance with UDO 9.2.2, the developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities;
8. A fee-in-lieu will be required for 1' sidewalk along the entire frontage on Virtuous Street to meet the 6' sidewalk requirement per the UDO;

9. That a surety be paid to the City for all required street trees;
10. That a tree impact permit be approved and obtained from the City;

Prior to issuance of building occupancy permit:

11. That in accordance with Part 10A Section 9.2.2, an as-built plan and certification for any stormwater control device shall be reviewed and accepted by the City.
-

I hereby certify this administrative decision.

Signed: (Planning Dir.) Kenneth Boncus Date: 8/30/2017
(287)

Staff Coordinator: Daniel L. Stegall

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.

FINDINGS: City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated July 11, 2017, submitted by Jeff Carter of Stocks Engineering.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 8-30-2020

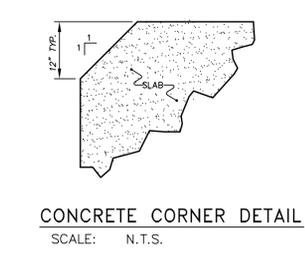
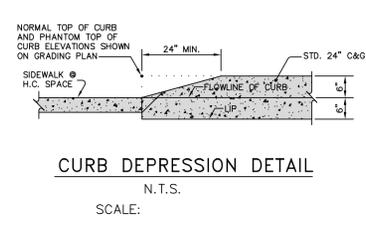
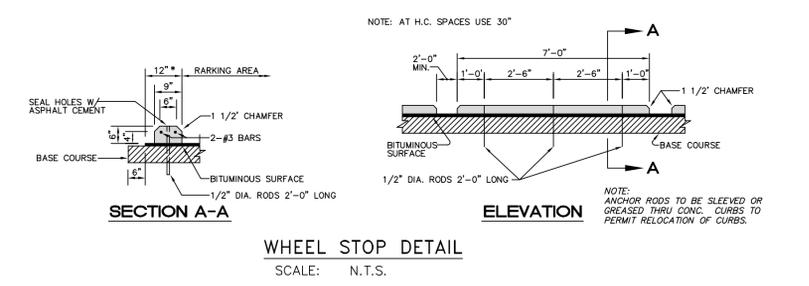
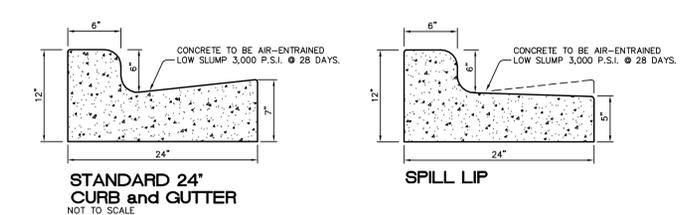
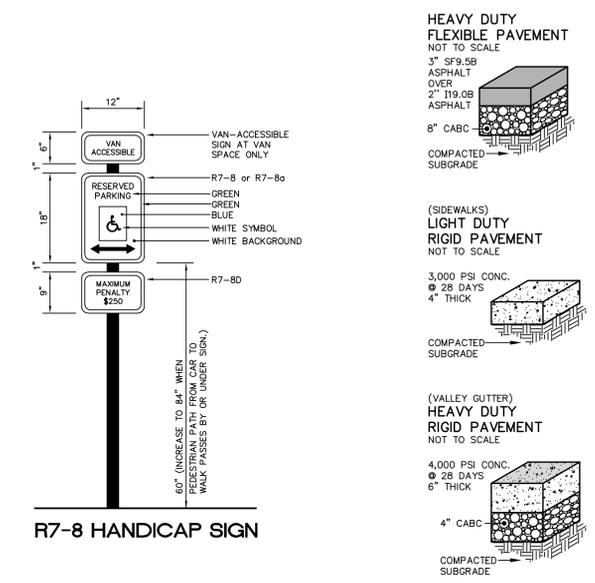
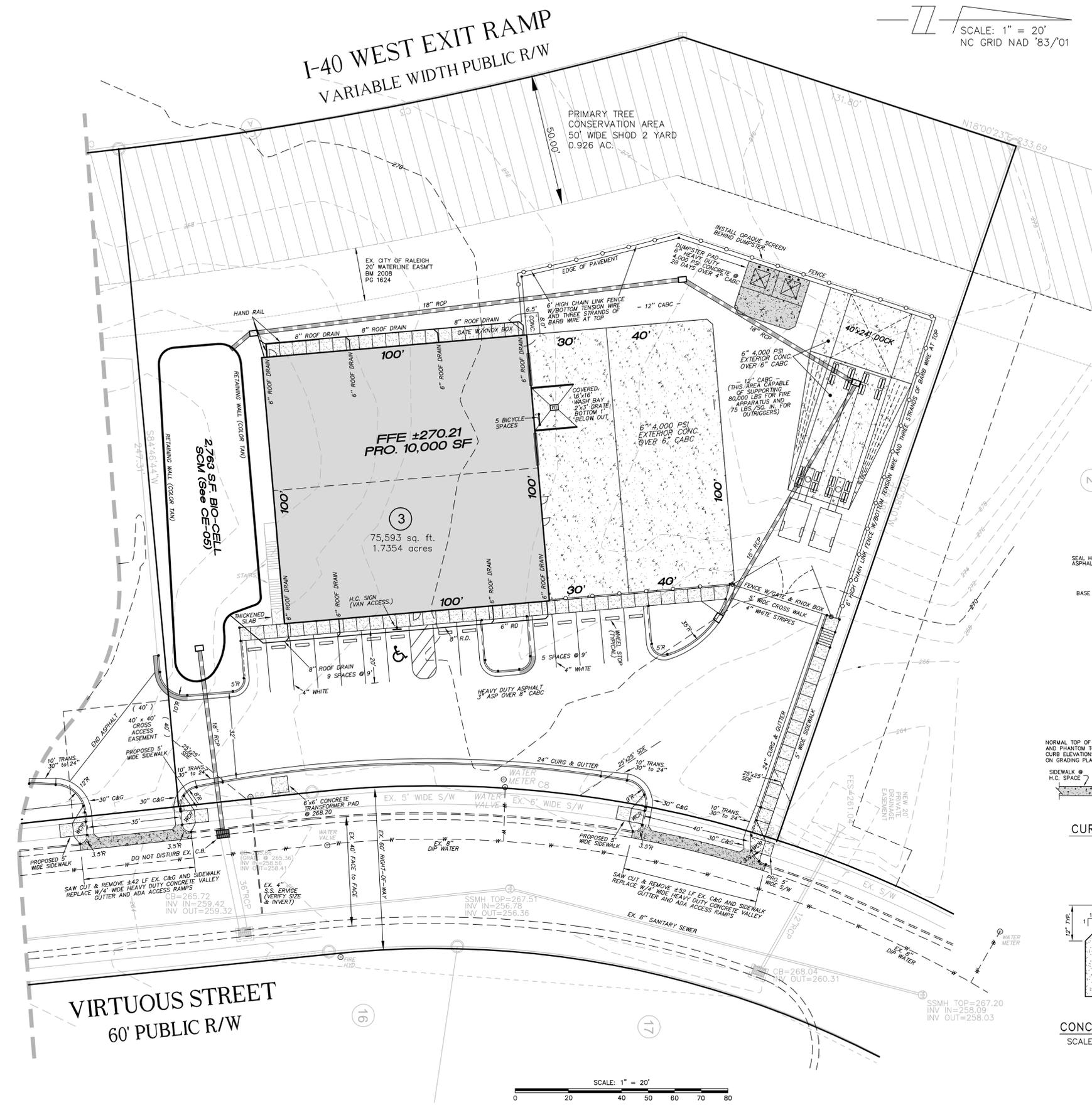
Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

WHAT NEXT?:

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.



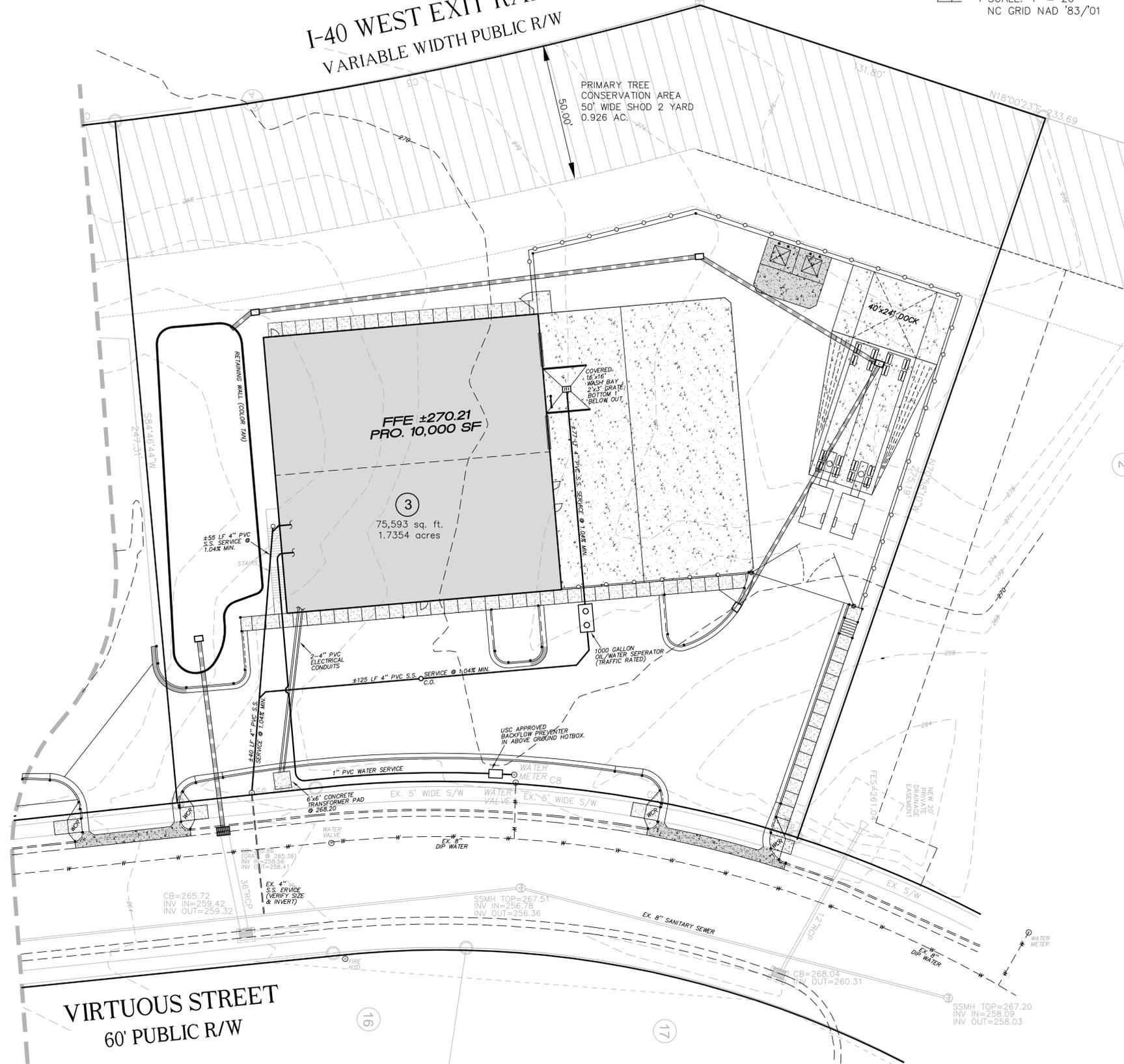
SITE INFORMATION	
LOCATION:	4116 VIRTUOUS ST RALEIGH, NC 27529
COUNTY:	WAKE COUNTY
SIZE AREA:	1.74 ACRES
PHN:	1721480269
REAL ESTATE ID:	0371467
DEED BOOK/PAGE NUMBER:	16536/1136
TOWNSHIP:	ST. MARYS
ZONING:	IX-3
OVERLAY DISTRICT:	SHOD-1
TYPE OF CONSTRUCTION:	II-B
MINIMUM BUILDING SETBACKS:	
PRIMARY ST	3'
SIDE STREET	3'
SIDE	6'
REAR	6'
PARKING SETBACKS:	
PRIMARY ST	10'
SIDE STREET	10'
SIDE	3'
REAR	3'
PARKING REQUIREMENTS:	
3,342 SF OFFICE SPACE (1 PARK/600 SF)	6
6,458 SF WAREHOUSE SPACE (1 PARK/3,000 SF)	3
TOTAL PARKING REQUIRED:	9
PARKING PROVIDED:	
REGULAR 9' X 18'	13
H.C. (VAN ACCESSIBLE)	1
TOTAL PARKING PROVIDED:	14
IMPERVIOUS AREA:	
EXISTING IMPERVIOUS	0 SF (0.00%)
PROPOSED IMPERVIOUS	46,609 SF (61.49%)
DISTURBED AREA	1.55 AC

I lift up my eyes to the mountains, where does my help come from? My help comes from the Lord, the Maker of heaven and earth. PSALM 121: 1-2



I-40 WEST EXIT RAMP
VARIABLE WIDTH PUBLIC R/W

SCALE: 1" = 20'
NC GRID NAD '83/01



SCALE: 1" = 20'

VIRTUOUS STREET
60' PUBLIC R/W

STOCKS ENGINEERING
801 EAST WASHINGTON STREET
NASHVILLE, N.C. 27656
PHONE: (252) 499-6196
WWW.STOCKSENGINEERING.COM

BLN-C-1874

TRI-LIFT NC, INC.
4116 VIRTUOUS STREET - LOT 3
SE 40 CENTRE, RALEIGH, NORTH CAROLINA

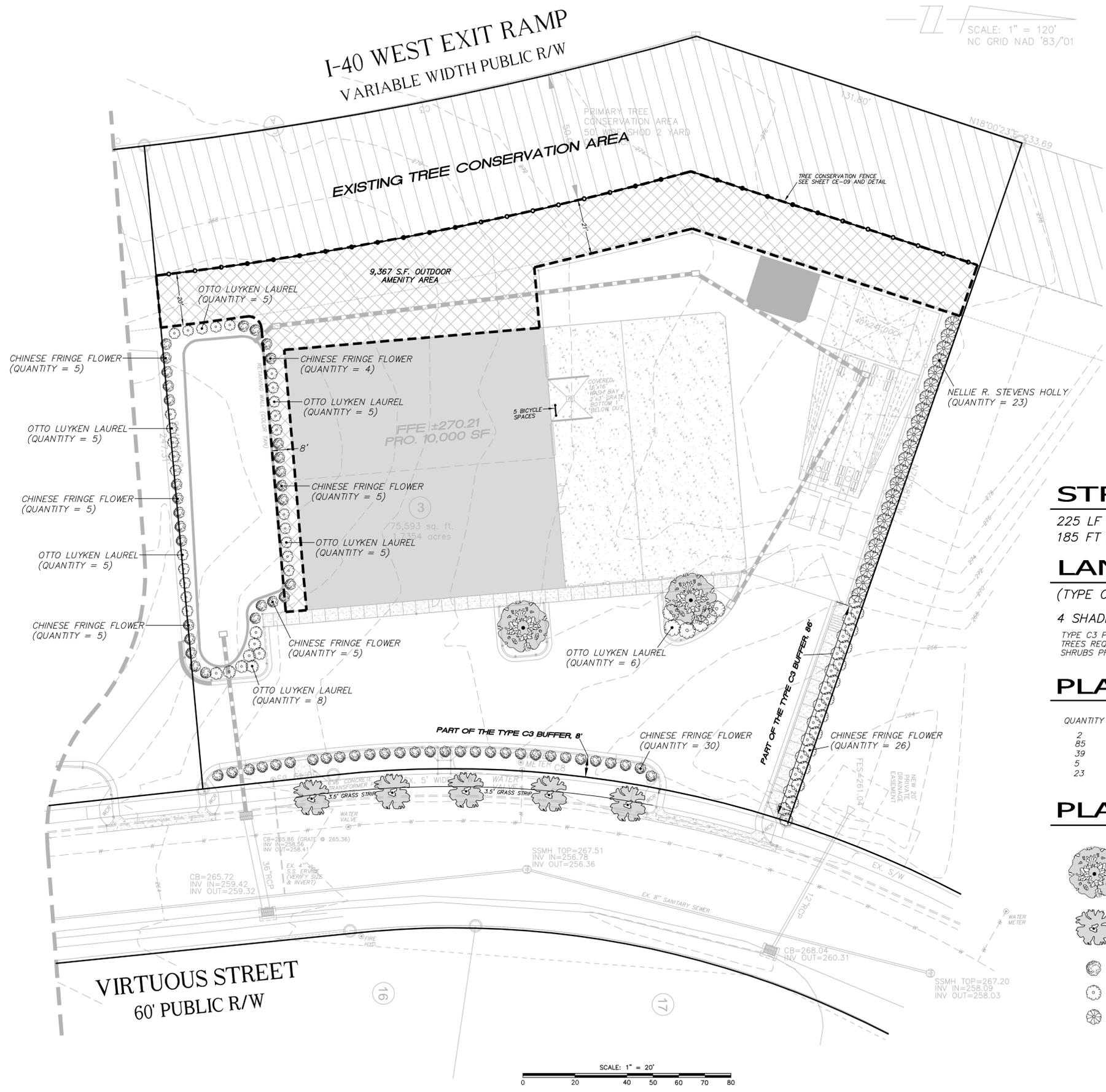
UTILITY PLAN

REVISIONS
6-12-17 COR COMMENTS
7-11-17 COR COMMENTS

FILE NO. 2017-016
HORZ. SCALE: 1"=20'
VERT. SCALE: NONE

CE-03

I lift up my eyes to the mountains, where does my help come from? My help comes from the Lord, the Maker of heaven and earth. PSALM 121: 1-2



SCALE: 1" = 120'
 NC GRID NAD '83/01

SCALE: 1" = 20'

NOTE: PLANT STREET TREES IN ACCORDANCE WITH THE PRCR-03 DETAIL ON SHEET D-05.

STREET TREE CALCULATION

225 LF FRONTAGE - 40' DRIVE = 185 FT
 185 FT / 40 LF = 4.6 TREES (5 TREES PROVIDED)

LANDSCAPE REQUIREMENTS

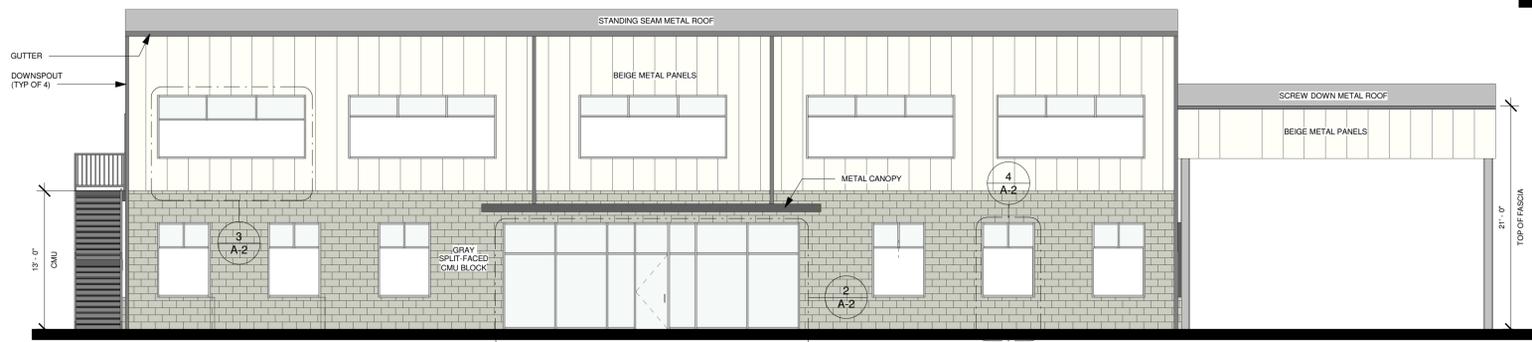
(TYPE C3 STREET PROTECTIVE YARD)
 4 SHADE TREES PER 100LF OF STREET FRONTAGE
 TYPE C3 PROTECTIVE YARD AVG. WIDTH = 10' = 165 LF @ 8' + 4.5 LF @ 86'
 TREES REQUIRED = 0
 SHRUBS PROVIDED = 56

PLANTING SCHEDULE

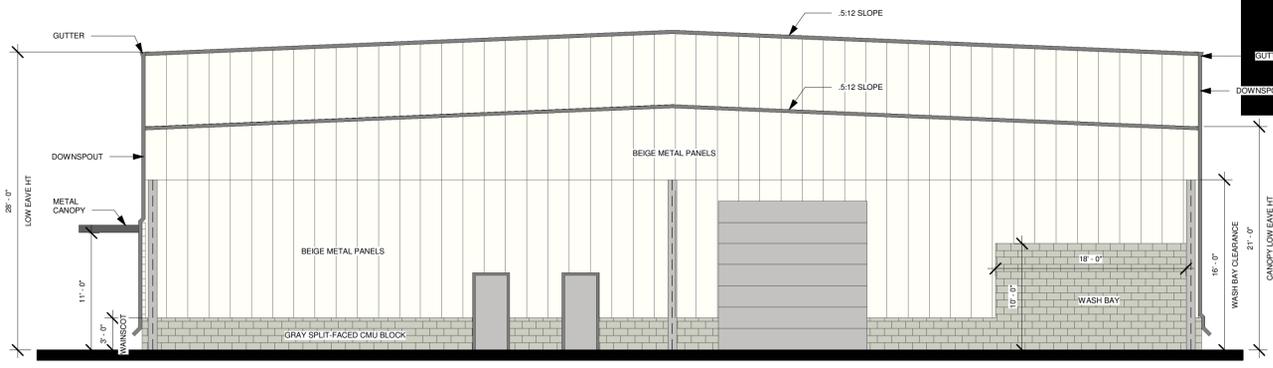
QUANTITY	COMMON NAME	LATIN NAME	SIZE @ PLANTING
2	LIVE OAK	Quercus virginiana	3" CALIPER AND 10' TALL
85	CHINESE FRINGE FLOWER	Loropetalum chinensis "ruby"	36" TALL (3 GAL.), 5' O.C.
39	OTTO LUYKEN LAUREL	Prunus laurocerasus "otto luyken"	18" TALL (3 GAL.)
5	TRIDENT MAPLE	Acer buergerianum	3" CALIPER AND 10' TALL
23	NELLIE R. STEVENS HOLLY	Ilex 'NELLIE R. STEVENS HOLLY'	18" TALL (1 GAL.) 5' O.C.

PLANTING LEGEND

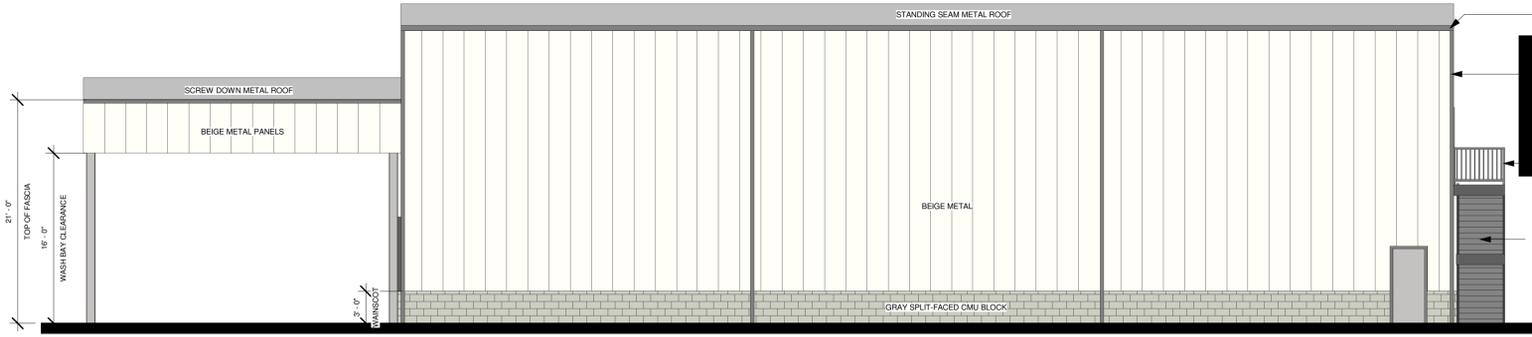
- CANOPY TREE (30'-40' MATURE HEIGHT)
3" CALIPER AND 10' TALL @ PLANTING
(LIVE OAK, EVERGREEN)
- MEDIUM MATURING TREE
3" CALIPER AND 10' TALL @ PLANTING
(TRIDENT MAPLE)
- CHINESE FRINGE FLOWER
- OTTO LUYKEN LAUREL
- NELLIE R. STEVENS HOLLY



1 SOUTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

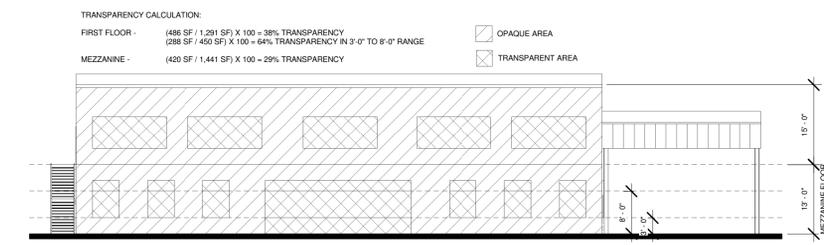


3 NORTH ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"

- LOW EAVE HT 28' - 0"
- SECOND FLOOR CH 22' - 0"
- SECOND FLOOR PLAN 13' - 0"
- FIRST FLOOR CH 10' - 0"
- FIRST FLOOR PLAN 0' - 0"
- WASH BAY LOW EAVE HT 21' - 0"
- WASH BAY CLEARANCE 16' - 0"
- TOP OF FASCIA 21' - 0"



5 TRANSPARENCY DIAGRAM
1/16" = 1'-0"



6 BLANK WALL AREA DIAGRAM
1/16" = 1'-0"

TRANSPARENCY CALCULATION:
 FIRST FLOOR - (486 SF / 1,291 SF) X 100 = 38% TRANSPARENCY
 (288 SF / 450 SF) X 100 = 64% TRANSPARENCY IN 3'-0" TO 8'-0" RANGE
 MEZZANINE - (420 SF / 1,441 SF) X 100 = 29% TRANSPARENCY

BLANK WALL AREA CALCULATION:
 (684 SF / 2,732 SF) / 100 = 25% BLANK WALL AREA

REVISIONS

06.19.17	1
----------	---

TRI-LIFT INC.

ALEXANDER
DESIGN BUILD

919-550-7717
 TLARCH@AOL.COM
 2008 ELIZABETH COURT
 CLAYTON, NC 27520
 TONYJOHNSONARCHITECT.COM

TONY JOHNSON
ARCHITECT

DATE 06.12.17

SHEET A-1