



Administrative Approval Action

SR-48-18, South Street Condos
Transaction # 555667, AA # 3915

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of W South Street, and west side of S Saunders Street. The site is addressed at 601 & 611 W South St, which is inside City limits.

REQUEST: Development of two lots comprising a 1.75 acre site zoned NX-3-UL into two apartment buildings (one building on each lot). Gross floor area will be 40,455 square feet for the building on the west lot and 68,564 for the building on the east lot, for a total gross floor area of 109,019 square feet for the site.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by WithersRavenel, dated 12/18/18.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

2. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of a mass grading permit or other site permit, whichever comes first.
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.
4. In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.
5. The concurrent plans including the design for the box culvert through the site reviewed under T#569218 must be approved and permits issued prior to approval of any concurrent review or recorded plats for the site.

URBAN FORESTRY

6. Obtain required tree impact permits from the City of Raleigh.



Administrative Approval Action

SR-48-18, South Street Condos
Transaction # 555667, AA # 3915

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

1. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Right Of Way and/or Easement Dedications.
2. The area of greenway reservation for City of Raleigh acquisition as shown on the preliminary plan shall be shown on all plats for recording.
3. Condominium documents shall be prepared in accordance with G.S.-47C, and certification shall be made to the Zoning Inspector that the legal documents contain the required language, and common expenses include all expenditures such as maintenance, repair and insurance. Common expense shall also include the cost to maintain repair, restore, and/or reconstruct the approved stormwater control measures.
4. Next Step: Concurrent Review Plans for public infrastructure and site grading shall be approved by the City of Raleigh, including obtaining stub permits, tree impact permit and a street lighting plan, if applicable.
5. Provide fire flow analysis.

ENGINEERING

6. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on a map approved for recordation.
7. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on a map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within 14 days from authorization of lot recordation. If a recorded copy of the documents are not provided within this 14 day period, further recordings and building permit issuance may be withheld.
8. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents shall be provided to the Development Services Department within 14 days from authorization of lot recordation. If a recorded copy of the documents is not provided within this 14 day period, further recordings and building permit issuance may be withheld.
9. The 45' City of Raleigh Permanent Drainage Easement as shown on the preliminary plan shall be shown on all plats for recording.



Administrative Approval Action

SR-48-18, South Street Condos
Transaction # 555667, AA # 3915

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

10. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program.

STORMWATER

11. The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.
12. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
13. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with a note stating: “The areas shown on the recorded plat identified as Neuse River Riparian Buffer shall be maintained in their natural or mitigated condition, No person or entity shall fill, grade, excavate, or perform any other land-disturbing activities; nor cut, remove, or harm any vegetation; nor construct any structures nor add any additional impervious surface, nor allow animal grazing or water or any other agricultural use on such protected areas without written authorization from the state of North Carolina in accordance with the Riparian Buffer Protection Rules (15A NCAC 2B.0233 or .0259).”
14. In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.

URBAN FORESTRY

15. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

Prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Next Step: All street lights and street signs required as part of the development approval are installed.
4. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
5. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
6. Next Step: Final inspection of all required right of way tree plantings by Urban Forestry Staff.



Administrative Approval Action

SR-48-18, South Street Condos
Transaction # 555667, AA # 3915

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 1-2-2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 1/2/19

Staff Coordinator: Ryan Boivin

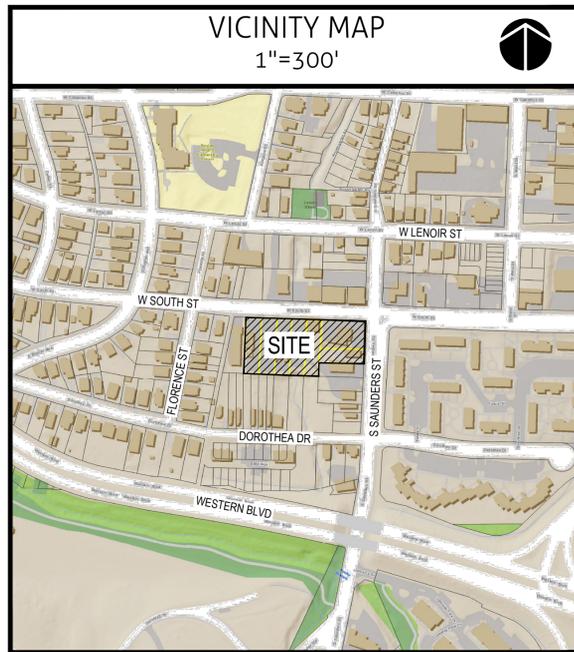
Administrative Site Review for SOUTH STREET CONDOS

611 W South Street, Raleigh, NC 27603

1st Submittal: May 18, 2018
2nd Submittal: July 5, 2018
3rd Submittal: September 26, 2018

4th Submittal: November 9, 2018
5th Submittal: December 18, 2018

ADMINISTRATIVE SITE REVIEW
PROJECT NO: 0218000400
TRANSACTION NO: 555667
SR-48-18



Administrative Site Review Application (for UDO Districts only)

Development Name: South St. Condos
Zoning District: NX-3-UL
Proposed Use: CONDOS

Property Address: 611 W. South St., 601 W. South St.
Major Street Location: W. South St.

Development Type & Site Data Table (Applicable to all developments)

Development Information		Building Information	
Zoning District: NX-3-UL	Existing Building(s) sq. ft. gross: 0	Proposed Building(s) RES. CONDOS	
Existing Building(s) no. ft. gross: 0	Proposed Building(s) no. ft. gross: 44,455	Lot: 60,964	
Total Site Area: Inside City Limits: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Total sq. ft. gross building & proposed: 44,455	Lot: 60,964	
Off street parking, Required Lot: 18 Lot: 30 Proposed: 44	Proposed height of building(s): 44.75' Lot: 44.75' Lot: 44.87'		
COA (Certificate of Appropriateness) case #	# of stories: 4 Lot: 3 Lot: 3		
BOA (Board of Adjustment) case # A:	CEILING HEIGHT OF 1 ST FLOOR: 9'3" Lot: 9'3" Lot: 9'3"		
CUD (Conditional Use District) case # Z:			

FOR RESIDENTIAL DEVELOPMENTS

1. Total # of Apartment, Condominium or Residential Units: 0	5. Bedroom Units: 2sr 50 2sr 31 3sr 4sr or more
2. Total # of Congregate Care or Life Care Dwelling Units: 0	6. Infill Development: 2,2,7
3. Total Number of Hotel Units: 0	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (1-6 Above) Lot: 55 Lot: 32	8. Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK (Applicable to all developments)

I, hereby designate **DAVID BROWN/ROB CAUDLE** as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

Signature: *[Signature]* Date: 11/2/18
Printed Name: **Kerry Berman**
Title: **V.P.**

Sheet List Table	
Sheet Number	Sheet Title
C0.0	Cover
-	Recorded Plat
C1.0	Existing Conditions
-	Mass Grading Permit
C2.0	Site Plan
C2.1	Recombination Plan
C2.2	Build-to Exhibit
C3.0	Grading and Drainage Plan
C4.0	Utility Plan
C5.0	Stormwater Management Plan
C5.1	SCM1 & SCM2 - Design & Detail
C5.2	SCM3 & SCM4 - Design & Detail
L1.0	Landscape Plan
L1.1	Landscape Details
PD100	Parking Level Conceptual Plan
PD101	Level 1 and Level 2 Conceptual Plans
PD102	Level 3 and Mezz/Roof Conceptual Plans
PD200	Exterior Elevations
PD201	Exterior Elevations
PD300	Sections

- ### GENERAL NOTES
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
 - IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE DEVELOPMENT SERVICES DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
 - FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
 - ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH, NORTH CAROLINA OFFICE BY CARY, NORTH CAROLINA OFFICE IN DIGITAL FORMAT AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS.
 - ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
 - ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS.
 - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
 - UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
 - ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
 - CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 - HANDICAP PARKING SPACES AND HC ACCESS ASSESS SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
 - PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
 - ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
 - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 50 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR MIXED-USE/COMMERCIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCRACH ON THIS MINIMUM CORNER CLEARANCE.
 - WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH DEVELOPMENT SERVICES DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
 - ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
 - ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOUSING, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
 - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT DEVELOPMENT SERVICES DEPARTMENT FOR FURTHER GUIDANCE.
 - PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF DEVELOPMENT SERVICES DEPARTMENT / LAND DEVELOPMENT ENGINEERING INSPECTION STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919-996-2680 TO SET UP THE MEETING.
 - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
 - ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
 - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.

DEVELOPER/OWNER

LAMBERT DEVELOPMENT SOUTH STREET LLC
5 HANOVER SQUARE 14TH FLOOR
NEW YORK, NEW YORK 10004
CONTACT: KERRY A. BERMAN
PHONE: (212) 785-0090 ext. 225
EMAIL: KBERMAN@LAMBERTDEVELOPMENT.COM

ARCHITECTS

THE RALEIGH ARCHITECTURE COMPANY 502 S. WEST ST. RALEIGH, NORTH CAROLINA 27601 CONTACT: ROBBY JOHNSTON PHONE: 919-831-2955 EMAIL: ROBBY@RALEIGH-ARCHITECTURE.COM	MHA WORKS 501 WASHINGTON ST., SUITE G DURHAM, NORTH CAROLINA 27701 CONTACT: JARED MARTINSON PHONE: 919-682-2870 EMAIL: JMARTINSON@MHAWORKS.COM
--	--

PREPARED BY:

WithersRavenel
Engineers | Planners

137 S Wilmington Street | Suite 200 | Raleigh, NC 27601 | t: 919.469.3340 | license #: C-0832 | www.withersravenel.com

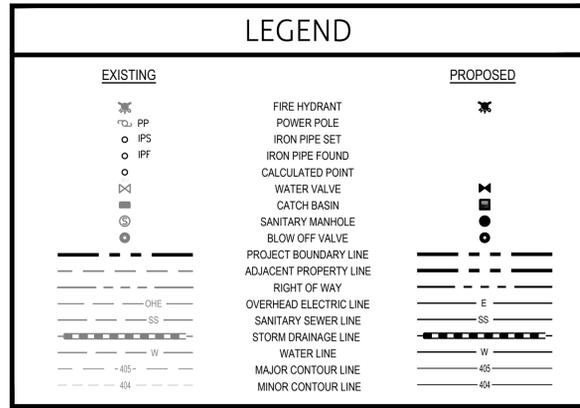
PLANNER: DAVID BROWN, PLA DBROWN@WITHERSRAVENEL.COM	CIVIL ENGINEER: ROB CAUDLE, PE RCAUDLE@WITHERSRAVENEL.COM
---	---

SOLID WASTE INSPECTION STATEMENT

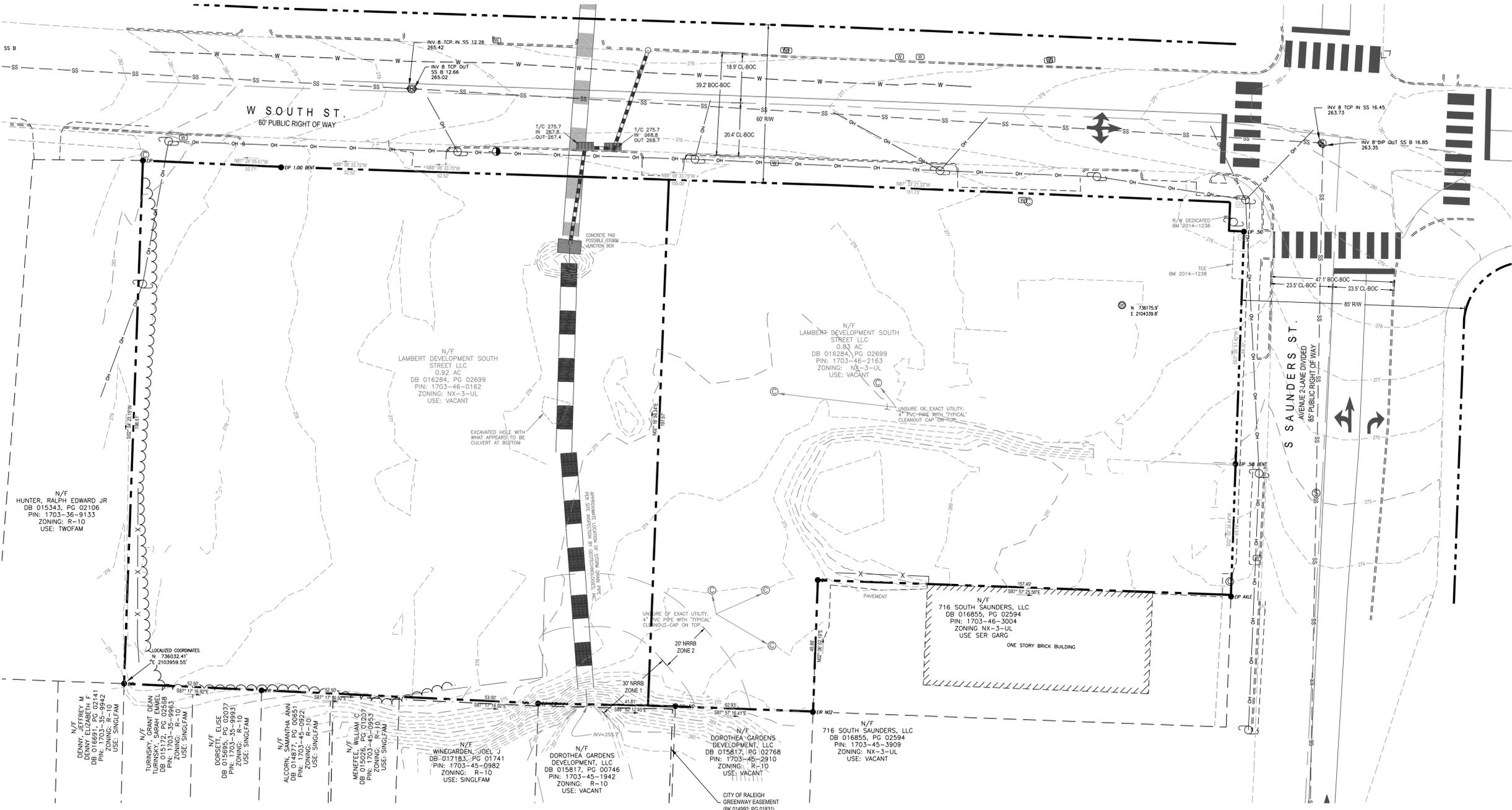
- SOLID WASTE SERVICES ARE TO BE PROVIDED BY A PRIVATE CONTRACTOR.
- THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
- THIS PROJECT HAS APPROXIMATELY 9 ROLL-OUT CARTS FOR RECYCLING. THIS PROJECT HAS MINI MAC ROLLING CONTAINERS FOR SOLID WASTE WHICH WILL BE STORED IN THE PARKING GARAGES AND ROLLED OUT TO THE STREET ON PICK UP DAYS.
- PICKUP LOCATIONS WILL BE ADJACENT TO THE PROPOSED DRIVEWAYS FOR EACH SITE.
- A LETTER OF CONFIRMATION FROM THE VENDOR IS ON FILE WITH THE CITY OF RALEIGH.

FIRE DEPARTMENT NOTES

- THE APPARATUS ACCESS LANE IS REQUIRED TO BE WITHIN 200 FEET OF ALL PORTIONS OF THE FIRST FLOOR EXTERIOR WALL. NFPA 13R SPRINKLER SYSTEM IS PROPOSED.
- FIRE HYDRANT SHALL BE LOCATED WITHIN 300' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1).
- ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
- FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2012 NCFC, SECTION 507.3.



Revisions		
1	COR COMMENTS	07/05/18
2	COR COMMENTS	09/26/18
3	COR COMMENTS	11/09/18
4	COR COMMENTS	12/18/18



EXISTING CONDITIONS AND DEMOLITION NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER PRIOR TO COMMENCING WORK.
- SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES, INCLUDING BELOW GROUND, NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORE TO ORIGINAL CONDITION AS OF START OF WORK.
- NO DEMOLITION DEBRIS IS TO BE STORED ON SITE. ALL DEMOLITION MATERIAL TO BE PROMPTLY REMOVED FROM THE SITE OR PLACED IN APPROPRIATE CONTAINERS.
- TRAFFIC CONTROL IS CONTRACTOR'S RESPONSIBILITY.
- SAWCUT EXISTING ASPHALT AT LOCATION SHOWN ON PLANS.
- SITE DEMOLITION SEQUENCE TO BE PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK IN THE RIGHT-OF-WAY. THE CONTRACTOR SHALL OBTAIN AN OBSTRUCTION PERMIT FOR ANY WORK THAT REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO 'CITY OF RALEIGH STREET DESIGN MANUAL' AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH DEVELOPMENT SERVICES DEPARTMENT AND LAND DEVELOPMENT ENGINEERING INSPECTION STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2690 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- CONTRACTOR IS EXPLICITLY ADVISED TO FIELD LOCATE AND VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS IS APPROXIMATE BASED ON BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE.
- CONTRACTOR TO REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT/CIVIL ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NO ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- ALL SURVEY INFORMATION PROVIDED BY BATEMAN CIVIL SURVEY COMPANY, APEX, NORTH CAROLINA OFFICE IN DIGITAL FORMAT IN APRIL, 2018, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN APRIL, 2018.

EXISTING SITE DATA:

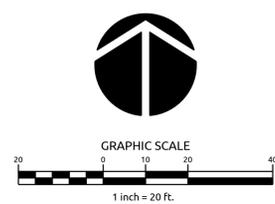
SITE ADDRESSES: 611 W. SOUTH ST., 601 W. SOUTH ST.
PINS: 1703-46-0162; 1703-46-2163
DEED BOOKS: DB 16284 PG 2699; DB 16284 PG 2699
ZONING: NX-3-UL
OVERLAY DISTRICT: NONE
GROSS ACREAGE: 1.74 AC
VACANT USE:
EXISTING IMPERVIOUS AREA: 1.17 AC
FLOOD HAZARD AREA: N/A
FEMA MAP: MAP 8-3720170300J
EFFECTIVE DATE 05/02/2006
ALLUVIAL SOILS: N/A

LEGEND:

	EX. FIRE HYDRANT
	EX. POWER POLE
	IRON PIPE SET
	IRON PIPE FOUND
	CALCULATED POINT
	EX. WATER VALVE
	EX. CATCH BASIN
	EX. SANITARY MANHOLE
	PROJECT BOUNDARY LINE
	ADJACENT PROPERTY LINE
	EX. RIGHT OF WAY
	EX. OVERHEAD ELECTRIC LINE
	EX. FIBER OPTIC LINE
	EX. CABLE LINE
	EX. PHONE LINE
	EX. GAS LINE
	EX. SANITARY SEWER LINE
	EX. STORM DRAINAGE LINE
	EX. WATER LINE
	EX. UNKNOWN UNDERGROUND UTILITY
	EX. MAJOR CONTOUR LINE
	EX. MINOR CONTOUR LINE

NOTE:

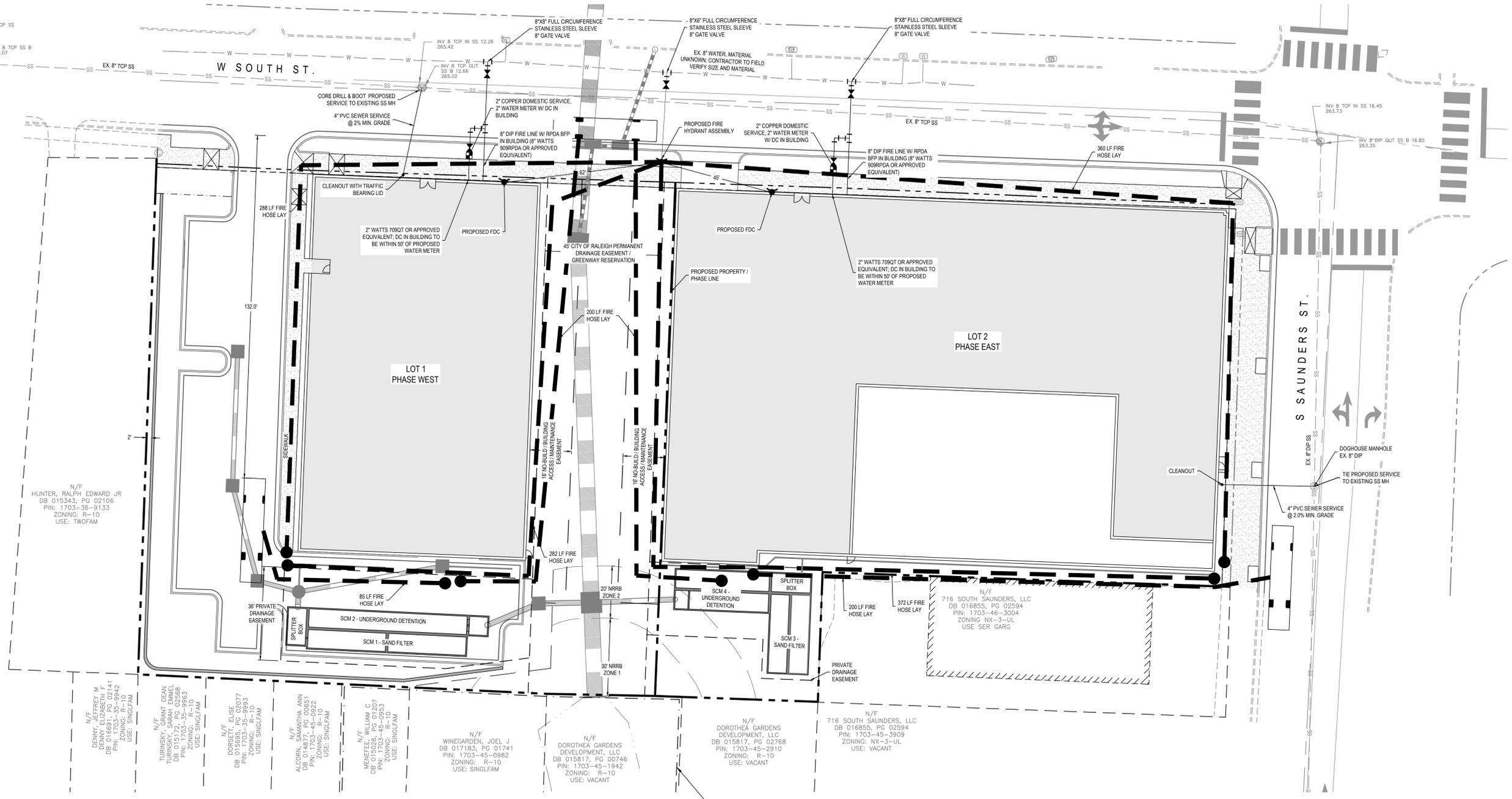
- A MASS GRADING PERMIT WAS ISSUED ON 09/14/2016. THE PERMIT NUMBER IS #393400.
- PRE-DEVELOPMENT GRADES SHOWN ON THIS SUBMITTAL REFLECT GRADES SHOWN ON THE MASS GRADING PERMIT.



Job No.	02180084.00	Drawn By	WR
Date	05/18/18	Designer	WR

PRELIMINARY
NOT APPROVED FOR
CONSTRUCTION

Revisions		
1	COR COMMENTS	07/05/18
2	COR COMMENTS	09/26/18
3	COR COMMENTS	11/09/18
4	COR COMMENTS	12/18/18

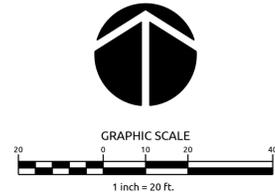


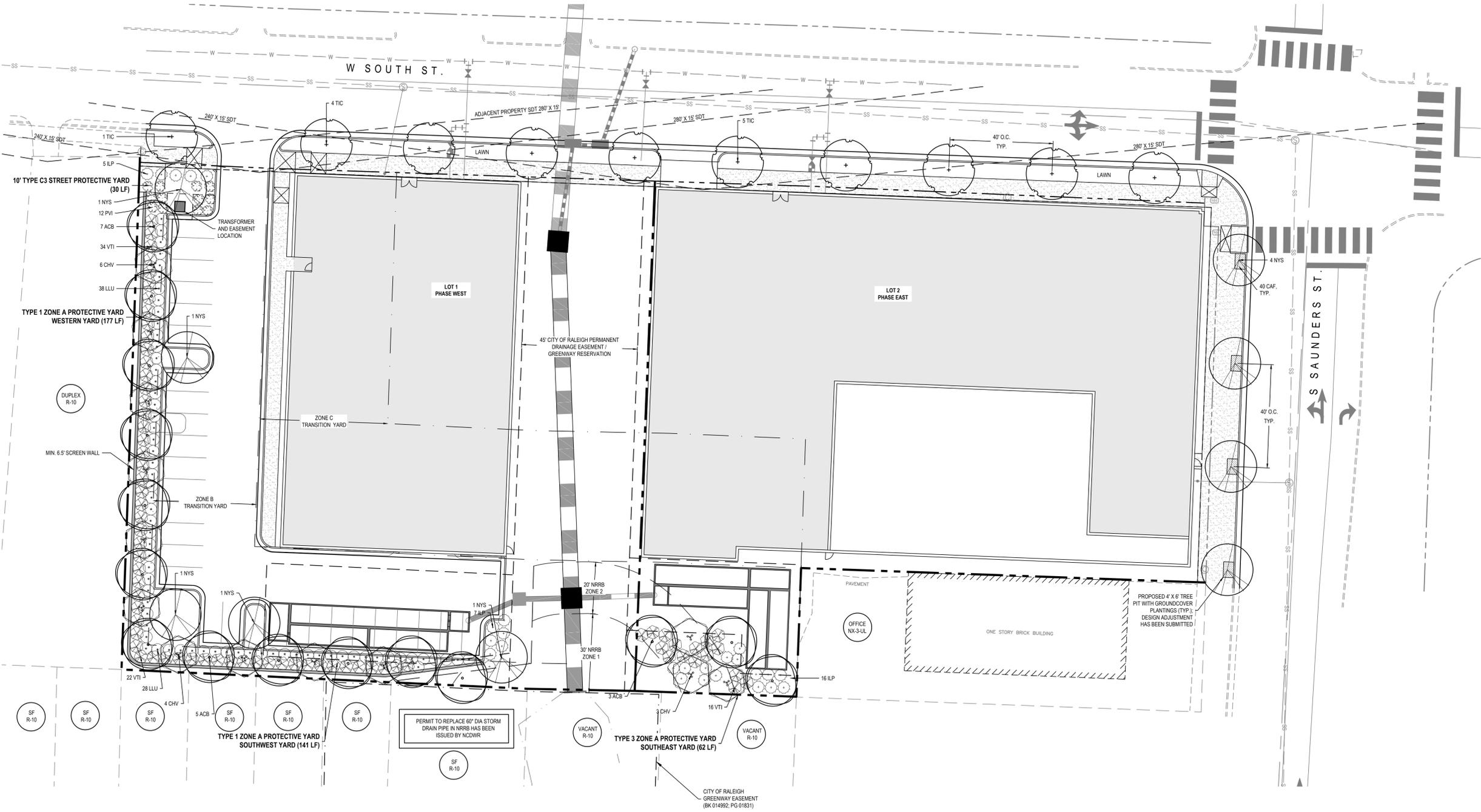
STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPES SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 12". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE WATER MAIN & SEWER MAINS SHALL BE INSTALLED IN SEPARATE TRENCHES WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR.
 - ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR WHERE A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 12" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 52" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS; WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-4 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 32" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 40" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 2% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 12" ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWM, USACE & OR FEMA FOR ANY REPARATION BUFFER, WETLAND & RCP FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- 11' X 20' RAILROAD EASEMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR OR WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD POG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF BUILDING PERMIT. CONTACT TM BEASLEY AT (919) 996-2314 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

NOTES:

- ANY EXISTING WATER OR SEWER TAPS NOT BEING RETAINED FOR USE IN REDEVELOPMENT OF SITE SHALL BE ABANDONED AT MAIN AND SERVICE, REMOVED FROM ROW AND EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- ALL WELL & SEPTIC SYSTEM ABANDONMENT SHALL BE IN ACCORDANCE WITH WAKE COUNTY STANDARDS.





GENERAL LANDSCAPE NOTES:

- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING GRADING, WALL, ETC., REFER TO THE SITE AND GRADING PLANS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE.
- NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO LANDSCAPING, GRADING, BUILDING ELEVATIONS (ESPECIALLY COLOR), LIGHTING, OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING MUNICIPALITY.
- THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
- ALL ABOVE-GROUND HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW-DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- ALL PLANTS AND PLANTING PROCEDURES SHALL MEET OR EXCEED AN/LA STANDARDS AS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", 2004 OR LATER EDITION.
- ALL TREES AND SHRUB SHALL BE FULL, WELL-BRANCHED PLANTS WHICH ARE CHARACTERISTIC TO THE SPECIES.
- ALL PLANT BEDS TO BE MULCHED WITH A MINIMUM OF 3" DOUBLE SHREDDED HARDWOOD MULCH; DYED BROWN; 2" MAXIMUM PARTICLE SIZE. NO PINE STRAW PERMITTED. ALL PLANT GROUPING SHALL BE MULCHED AS ONE BED.
- APPLY PER-EMERGENT HERBICIDE TO ALL NEW PLANTING BEDS AT MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
- TOPSOIL SHALL BE SPREAD OVER THE ENTIRE LANDSCAPE AREA TO A DEPTH OF AT LEAST 4 INCHES IN LAWN AREAS AND 6 INCHES IN SHRUB AND GROUNDCOVER BEDS.
- FINAL LOCATION OF ALL TURF AREAS SHALL BE APPROVED OWNER OR/LANDSCAPE ARCHITECT.
- LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- VERIFICATION OF PLANT QUANTITIES SHOWN ON THIS PLAN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED UTILITIES PRIOR TO INSTALLATION OF ANY PLANT MATERIAL. IF CONFLICTS OCCUR, PLANT LOCATIONS SHOULD BE ADJUSTED AND APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT BEFORE ANY HOLE IS DUG.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOULAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.

NUMBER OF PLANTS PER 100 SF

SPACING 'D'	ROW 'A'	PLANTS/S.F.
6' o.c.	5'2"	4.61
8' o.c.	4'8"	2.60
10' o.c.	8'6"	1.66
12' o.c.	10'4"	1.15
15' o.c.	13'0"	0.73
18' o.c.	15'6"	0.51
24' o.c.	20'8"	0.29
30' o.c.	26'0"	0.18
36' o.c.	31'30"	0.12
4' o.c.	3'46"	7.25
5' o.c.	4'33"	4.81
6' o.c.	5'2"	3.20
8' o.c.	6'93"	1.80
10' o.c.	8'66"	1.16

PLANT SPACING CHART

NOTES:
1. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
2. CITY OF RALEIGH WILL NOT BE RESPONSIBLE FOR MAINTENANCE NOR REPLACEMENT OF GROUNDCOVER PLANTS IN RIGHT-OF-WAY

CITY OF RALEIGH PERIMETER LANDSCAPE REQUIREMENTS

TRANSITIONAL PROTECTIVE YARD REQUIREMENTS

ZONE A - TYPE 1 PROTECTIVE YARD (WEST)
10' WIDE X 175' LONG
REQUIRED SHADE TREES 4 PER 100' = 7 PROVIDED 7
REQUIRED UNDERSTORY TREES 3 PER 100' = 5.3 PROVIDED 6
REQUIRED SHRUBS 40 PER 100' = 70.8 PROVIDED 72

ZONE A - TYPE 1 PROTECTIVE YARD (SOUTHWEST)
10' WIDE X 141' LONG
REQUIRED SHADE TREES 4 PER 100' = 4.6 PROVIDED 5
REQUIRED UNDERSTORY TREES 3 PER 100' = 4.2 PROVIDED 5
REQUIRED SHRUBS 40 PER 100' = 56.4 PROVIDED 57

ZONE A - TYPE 3 PROTECTIVE YARD (SOUTHEAST)
10' WIDE X 62' LONG
REQUIRED SHADE TREES 4 PER 100' = 3.1 PROVIDED 3
REQUIRED UNDERSTORY TREES 3 PER 100' = 2.6 PROVIDED 3
REQUIRED SHRUBS 40 PER 100' = 30.6 PROVIDED 31

MIXED USE STREETSCAPE PER SEC. 8.5.2.B UDO

W. SOUTH STREET 387' OF FRONTAGE
REQUIRED STREET TREE @ 40' O.C. = 9.5 PROVIDED 10

S. SAUNDERS STREET 155' OF FRONTAGE
REQUIRED STREET TREE @ 40' O.C. = 3.9 PROVIDED 4

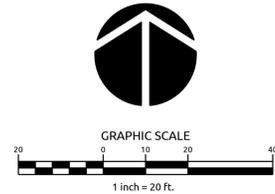
VEHICLE PARKING LOT LANDSCAPING SEC. 7.1.7.B.3 UDO

TREE ISLAND SPACING AND SHADE COVERAGE
REQUIRED TREE ISLANDS 1 PER 10 SPACES PROVIDED 2
REQUIRED TREE COVERAGE 1 PER 4000 SF OF LOT PROVIDED 3
PARKING LOT AREA = 8600 SF/4000 = 2.15 PROVIDED 3

10' TYPE C3 STREET PROTECTIVE YARD SEC. 7.1.7.B.4
REQUIRED 30 SHRUBS PER 100' = 9 PROVIDED 12

SOUTH STREET CONDOS PLANT SCHEDULE

PLANT TYPE	QTY	KEY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	HEIGHT	NOTES
SHADE TREES	15	ACB	Acer barbatum	Florida Maple	B&B	3" CAL. MIN.	10' HT. MIN.	MATCHED
	10	TIC	Tilia cordata 'Corinthian'	Corinthian Littleleaf Linden	B&B	3" CAL. MIN.	10' HT. MIN.	MATCHED
	9	NYS	Nyssa sylvatica	Black Gum	B&B	3" CAL. MIN.	10' HT. MIN.	MATCHED
UNDERSTORY TREES	13	CHV	Chionanthus virginicus	White Fringe Tree	B&B	1.5" CAL. MIN.	6' HT. MIN.	MATCHED
	67	LLU	Lyonia lucida	Fetterbush	CONT.	3 GAL. MIN.	18" HT. MIN.	MATCHED
SHRUBS	27	ILP	Illicium parviflorum	Anise Tree	CONT.	5 GAL. MIN.	18" HT. MIN.	MATCHED
	72	VTI	Viburnum tinus 'Compactum'	Spring Bouquet Viburnum	CONT.	5 GAL. MIN.	18" HT. MIN.	MATCHED
GRASSES	12	PVI	Panicum virgatum 'Cloud Nine'	Tall Switchgrass	CONT.	5 GAL. MIN.	18" HT. MIN.	MATCHED
	160	CAF	Carex flacca	Blue Sedge	CONT.	85#4	10' O.C.	



K:\18\180084\000084-01\611 W South Street\CAD\ASSETS\LANDSCAPE\PL\611 W South Street\051818.dwg Tuesday, December 18, 2018 10:46:49 AM - BIRMAN, HANLEY

GENERAL CONSTRUCTION NOTES:

1. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT FOR DIRECTION.
3. INTERIOR PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHED WALL MATERIAL WHEN LAYING OUT WALLS. REFER TO INTERIOR FINISH INFORMATION FOR WALL FINISH.
4. ALL INTERIOR DOORS TO BE LOCATED 6" OFF PERPENDICULAR WALL, UNQ. DIMENSION TO INCLUDE INTERIOR FINISH MATERIALS. ALL DOOR CLEARANCES TO MEET ANSI A117.1 2009 ACCESSIBLE CLEARANCES.
5. REFER TO THE OWNER FURNISHED OWNER INSTALLED LIST FOR EQUIPMENT TO BE INSTALLED BY OWNER'S CONTRACTOR. PROVIDE CONCEALED BLOCKING AS REQUIRED FOR WORK BY OWNER'S OTHER CONTRACTORS. COORDINATE WITH THE OWNER'S CONTRACTORS THE SIZE, LOCATION, AND BLOCKING REQUIREMENTS.
6. PLUMBING AND ELECTRICAL UTILITY SERVICES SHOWN IN THE P AND E SERIES ONLY EXTENDS 5'-0" OUTSIDE OF THE BUILDING. GC RESPONSIBLE FOR FINAL COORDINATION OF THESE ELEMENTS IF SITE CONDITIONS VARY FROM THE CIVIL / LANDSCAPE DESIGN DOCUMENTS. NOTIFY ARCHITECT WITH ANY DISCREPANCIES OR ALTERATIONS TO THE DESIGN DOCUMENTS THAT RESULT FROM SITE CONDITIONS.
7. REFER TO CIVIL / LANDSCAPE DRAWINGS FOR FINAL GRADE ELEVATIONS AROUND BUILDING. FINISH GRADE TO BE A MINIMUM OF 6" BELOW FINISH FLOOR LEVEL UNLESS NOTED OTHERWISE.

DRAWING REFERENCES:

1. REFER TO G006 FOR TYPICAL INTERIOR MOUNTING HEIGHTS FOR TOILET ROOM ACCESSORIES, ELECTRICAL OUTLETS, DATA OUTLETS, FIRE ALARM, FIRE STROBE, THERMOSTATS, ETC.
2. REFER TO SHEET G200 FOR EXTERIOR WALL TYPE INFORMATION
3. REFER TO SHEET G200 FOR INTERIOR WALL TYPE INFORMATION. UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS TO BE B2.

SHEET NOTES - ELEVATIONS

#	SHEET NOTES - ELEVATIONS
E001	ELEVATION SHEET NOTE

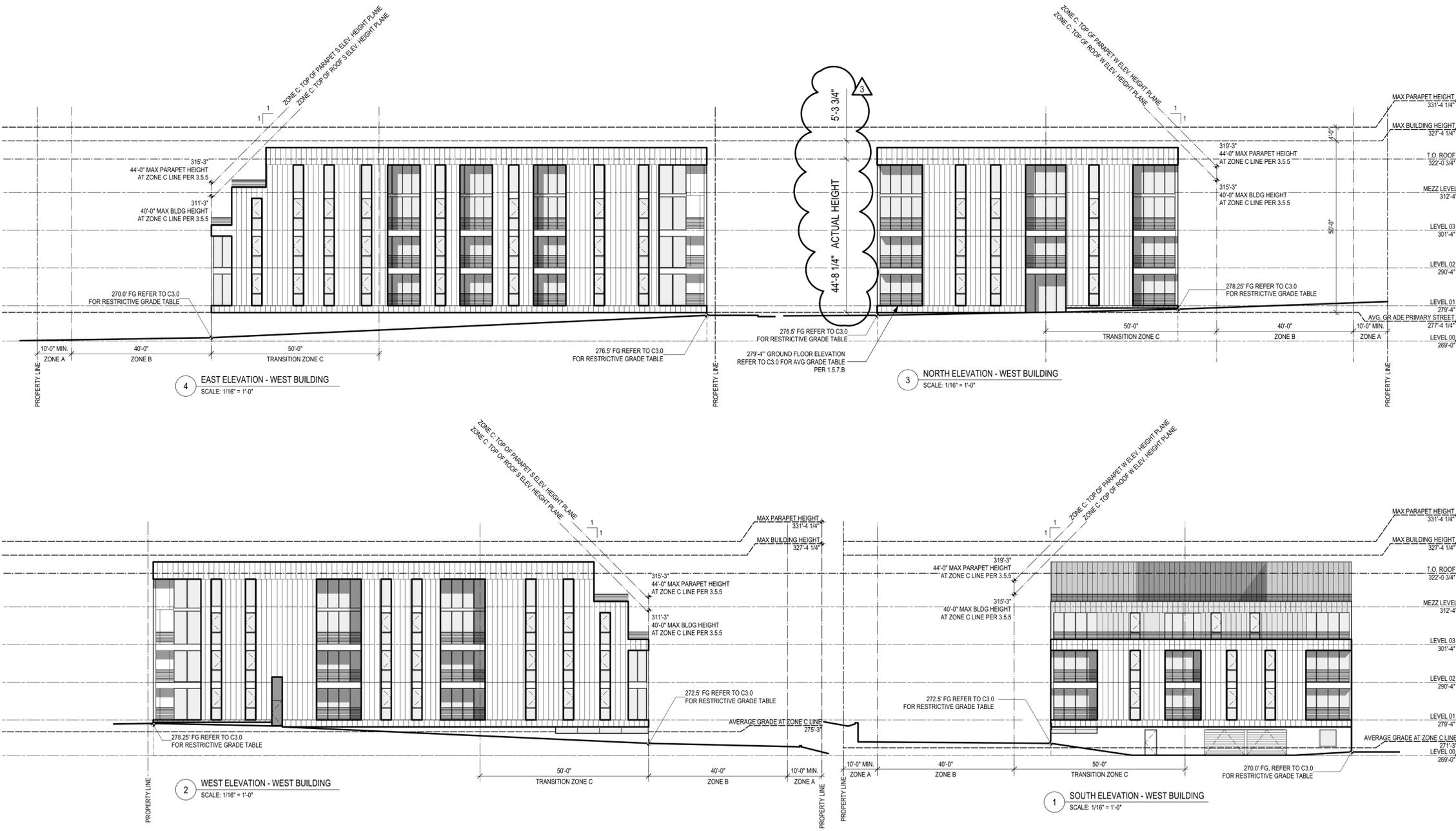
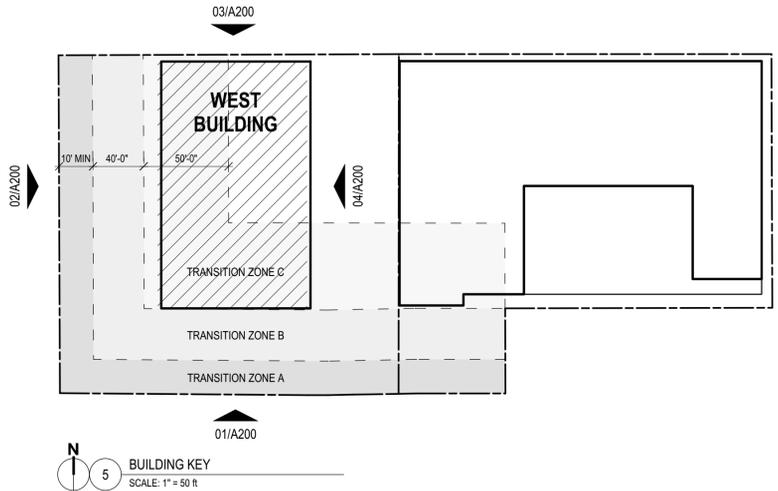
KEYNOTES

#	DESCRIPTION
---	-------------

TRANSPARENCY & BLANK WALL CALCULATIONS

ELEVATION	TRANSPARENCY - GROUND FLOOR		TRANSPARENCY - UPPER FLOORS		BLANK WALL AREA	
	REQUIRED (MIN)	SHOWN	REQUIRED (MIN)	SHOWN	MAX ALLOWABLE AREA	SHOWN (SF)
NORTH	NONE	NONE	NONE	NONE	35' (1,225 SF)	8'-0"
EAST	NONE	NONE	NONE	NONE	35' (1,225 SF)	7'-4"
SOUTH	NONE	NONE	NONE	NONE	35' (1,225 SF)	8'-0"
WEST	NONE	NONE	NONE	NONE	35' (1,225 SF)	11'-2"

- ELEVATION NOTES:
 1. ZONING NX-3-LIL
 2. NO TRANSPARENCY REQUIREMENTS ON EXTERIOR ELEVATIONS (RESIDENTIAL USE)
 3. BLANK WALL REQUIREMENTS ON ALL ELEVATIONS FACING PROPERTY LINE PER UDO 1.5.10



WEST SOUTH STREET
 CONDOMINIUMS
 601 & 611 W. SOUTH STREET
 RALEIGH, NC 27603

FOR REVIEW ONLY
 NOT FOR CONSTRUCTION

THESE DRAWINGS AND THE ACCOMPANYING SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THEY HAVE BEEN PREPARED FOR A SPECIFIC PROJECT AND SHALL NOT BE USED IN CONJUNCTION WITH ANY OTHER PROJECTS WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT.
 © MHAworks 2016

EXTERIOR ELEVATIONS

PHASE:
 DESIGN DEVELOPMENT

REVISIONS:

12-11-2018: CITY COMMENTS, ASR
 REVIEW CYCLE #4

11/08/18
 PROJECT #: RA 1803
 DRAWN BY: RJ

RJ

PD200

GENERAL CONSTRUCTION NOTES:

1. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT FOR DIRECTION.
3. INTERIOR PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHED WALL MATERIAL WHEN LAYING OUT WALLS. REFER TO INTERIOR FINISH INFORMATION FOR WALL FINISH.
4. ALL INTERIOR DOORS TO BE LOCATED 6" OFF PERPENDICULAR WALL, UNO. DIMENSION TO INCLUDE INTERIOR FINISH MATERIALS. ALL DOOR CLEARANCES TO MEET ANSI A117.1 2009 ACCESSIBLE CLEARANCES.
5. REFER TO THE OWNER FURNISHED OWNER INSTALLED LIST FOR EQUIPMENT TO BE INSTALLED BY OWNER'S CONTRACTOR. PROVIDE CONCEALED BLOCKING AS REQUIRED FOR WORK BY OWNER'S OTHER CONTRACTORS. COORDINATE WITH THE OWNER'S CONTRACTORS THE SIZE, LOCATION, AND BLOCKING REQUIREMENTS.
6. PLUMBING AND ELECTRICAL UTILITY SERVICES SHOWN IN THE P AND E SERIES ONLY EXTENDS 5'-0" OUTSIDE OF THE BUILDING. GC RESPONSIBLE FOR FINAL COORDINATION OF THESE ELEMENTS IF SITE CONDITIONS VARY FROM THE CIVIL / LANDSCAPE DESIGN DOCUMENTS. NOTIFY ARCHITECT WITH ANY DISCREPANCIES OR ALTERATIONS TO THE DESIGN DOCUMENTS THAT RESULT FROM SITE CONDITIONS.
7. REFER TO CIVIL / LANDSCAPE DRAWINGS FOR FINAL GRADE ELEVATIONS AROUND BUILDING. FINISH GRADE TO BE A MINIMUM OF 6" BELOW FINISH FLOOR LEVEL UNLESS NOTED OTHERWISE.

DRAWING REFERENCES:

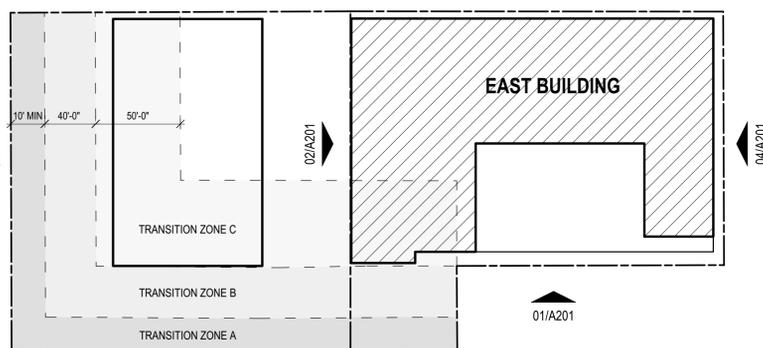
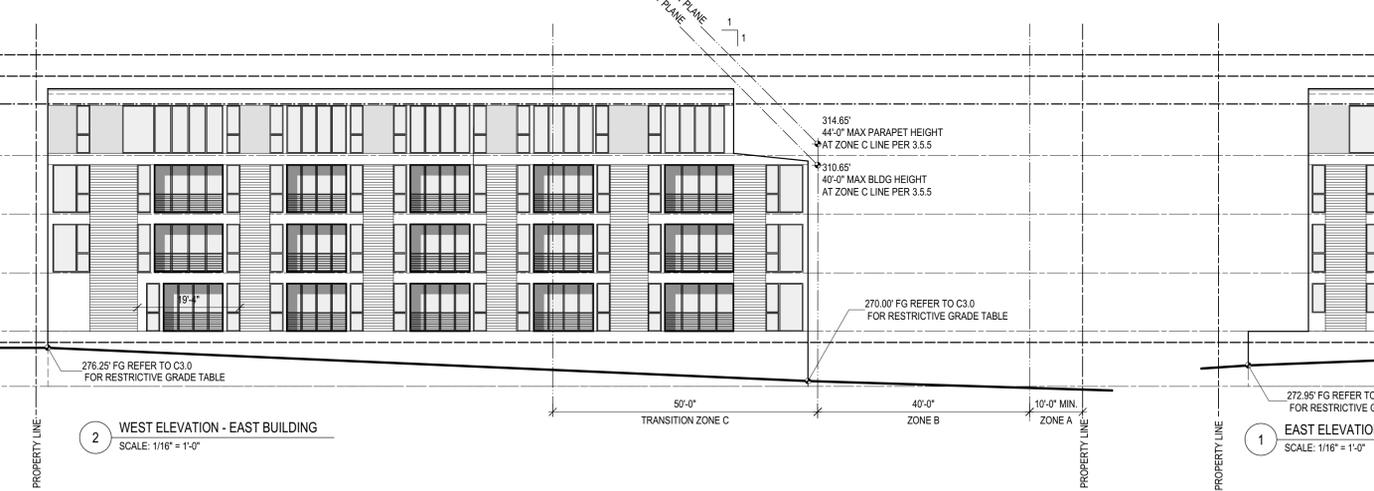
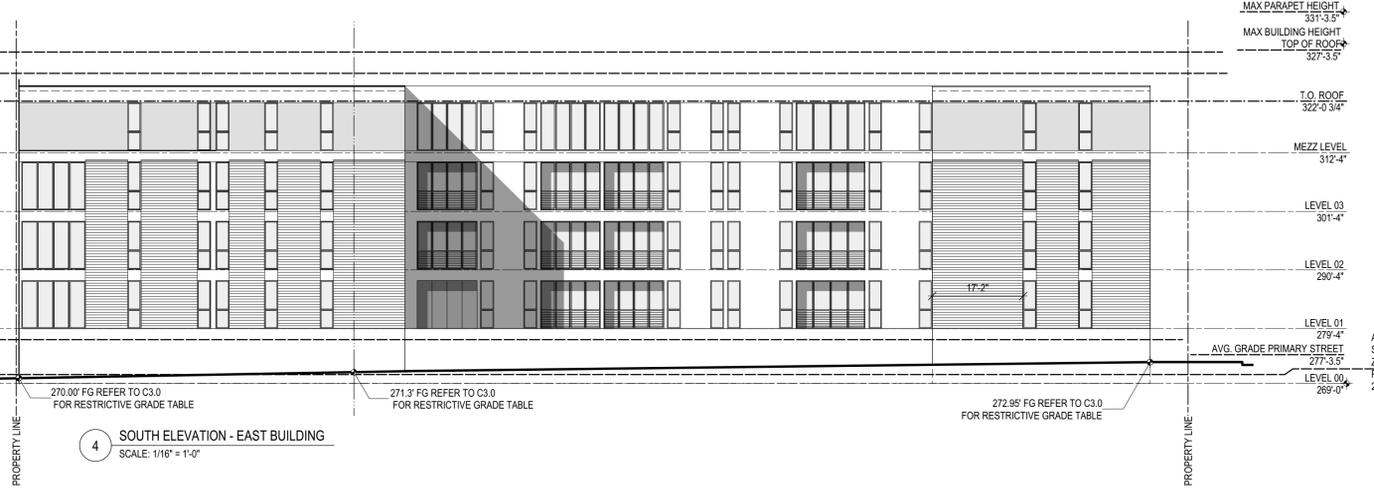
1. REFER TO G006 FOR TYPICAL INTERIOR MOUNTING HEIGHTS FOR TOILET ROOM ACCESSORIES, ELECTRICAL OUTLETS, DATA OUTLETS, FIRE ALARM, FIRE STROBE, THERMOSTATS, ETC.
2. REFER TO SHEET G200 FOR EXTERIOR WALL TYPE INFORMATION
3. REFER TO SHEET G200 FOR INTERIOR WALL TYPE INFORMATION. UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS TO BE B2.

SHEET NOTES - ELEVATIONS

#	SHEET NOTES - ELEVATIONS
E001	ELEVATION SHEET NOTE

KEYNOTES

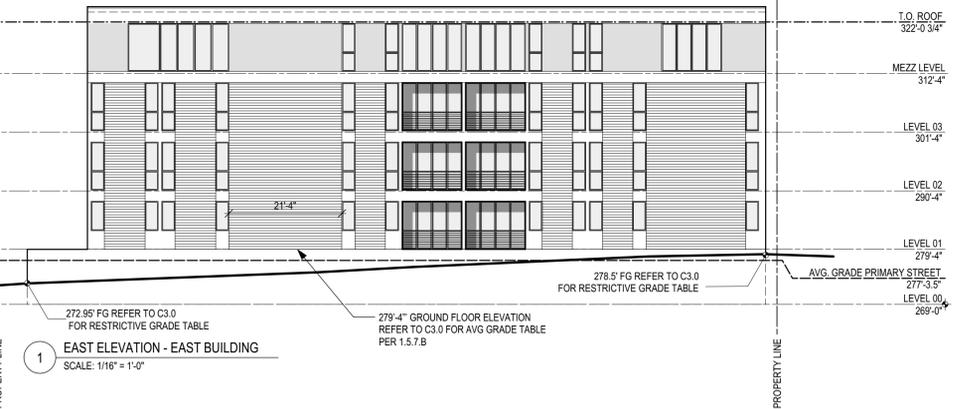
#	DESCRIPTION
---	-------------



TRANSPARENCY & BLANK WALL CALCULATIONS

ELEVATION	TRANSPARENCY - GROUND FLOOR		TRANSPARENCY - UPPER FLOORS		BLANK WALL AREA	
	REQUIRED (MIN)	SHOWN	REQUIRED (MIN)	SHOWN	MAX ALLOWABLE AREA	SHOWN (SF)
NORTH	NONE	NONE	NONE	NONE	35' (1,225 SF)	7'-4"
EAST	NONE	NONE	NONE	NONE	35' (1,225 SF)	21'-4"
SOUTH	NONE	NONE	NONE	NONE	35' (1,225 SF)	17'-2"
WEST	NONE	NONE	NONE	NONE	35' (1,225 SF)	19'-4"

- ELEVATION NOTES:**
1. ZONING MX-3-UL
 2. NO TRANSPARENCY REQUIREMENTS ON EXTERIOR ELEVATIONS (RESIDENTIAL USE)
 3. BLANK WALL REQUIREMENTS ON ALL ELEVATIONS FACING PROPERTY LINE PER UDO 1.5.10



**WEST SOUTH STREET
CONDOMINIUMS
601 & 611 W. SOUTH STREET
RALEIGH, NC 27603**

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS

PHASE:
DESIGN DEVELOPMENT

REVISIONS:

12-11-2018: CITY COMMENTS, ASR
REVIEW CYCLE #4

11/08/18
PROJECT #: RA 1803
DRAWN BY: RJ

PD201

**SOUTH STREET
 CONDOMINIUMS**
 611 W. SOUTH STREET
 RALEIGH, NC 27603

FOR REVIEW ONLY
 NOT FOR CONSTRUCTION

THESE DRAWINGS AND THE ACCOMPANYING SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THEY HAVE BEEN PREPARED FOR A SPECIFIC PROJECT AND SHALL NOT BE USED IN CONJUNCTION WITH ANY OTHER PROJECTS WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT.
 ©MHAworks 2018

SHEET NAME:
SECTIONS

PHASE:
DESIGN DEVELOPMENT

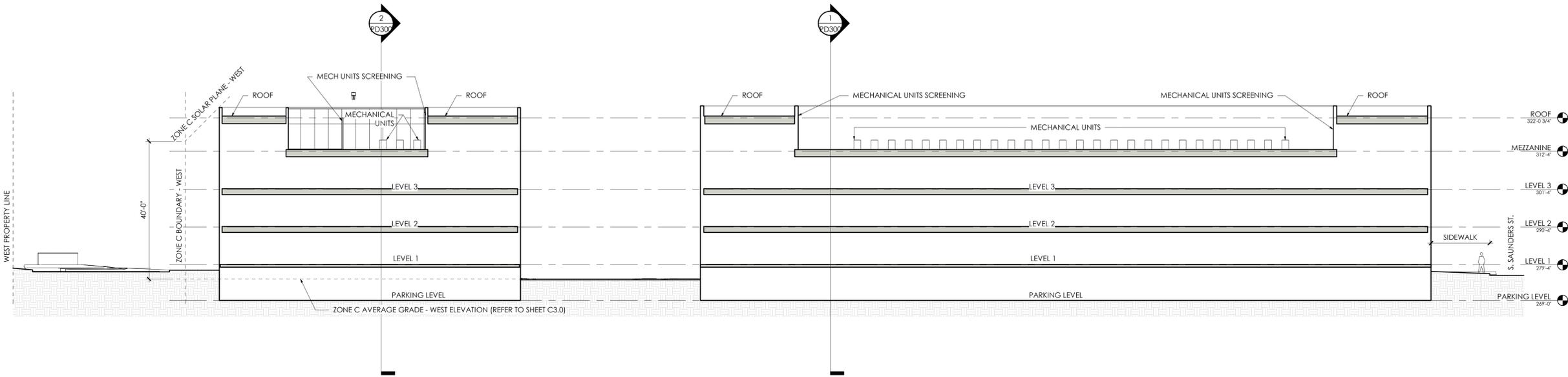
REVISIONS:

#	DESC:	DATE

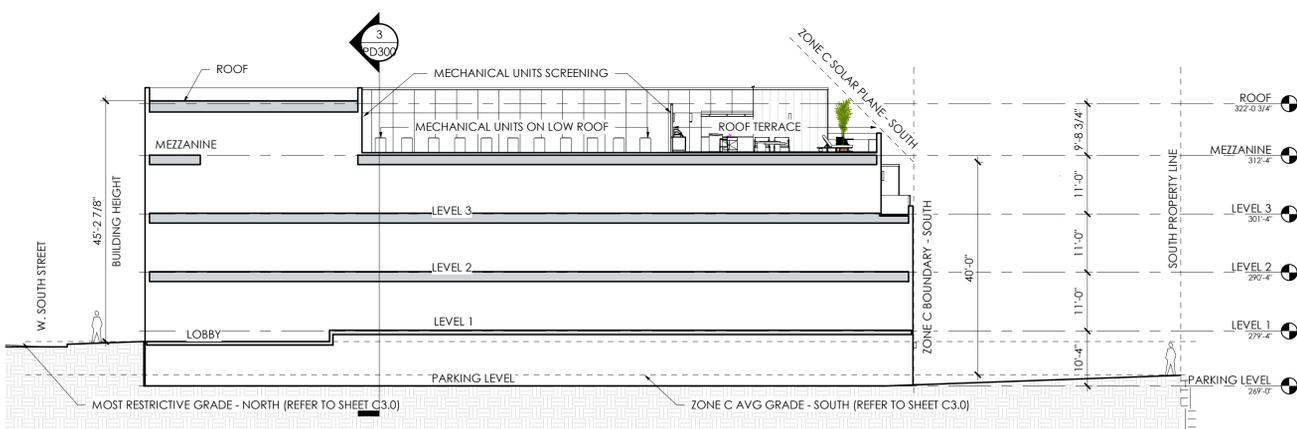
ISSUE DATE: **11/08/18**
 PROJECT #: **17179**
 DRAWN BY: **Author**

SHEET NUMBER

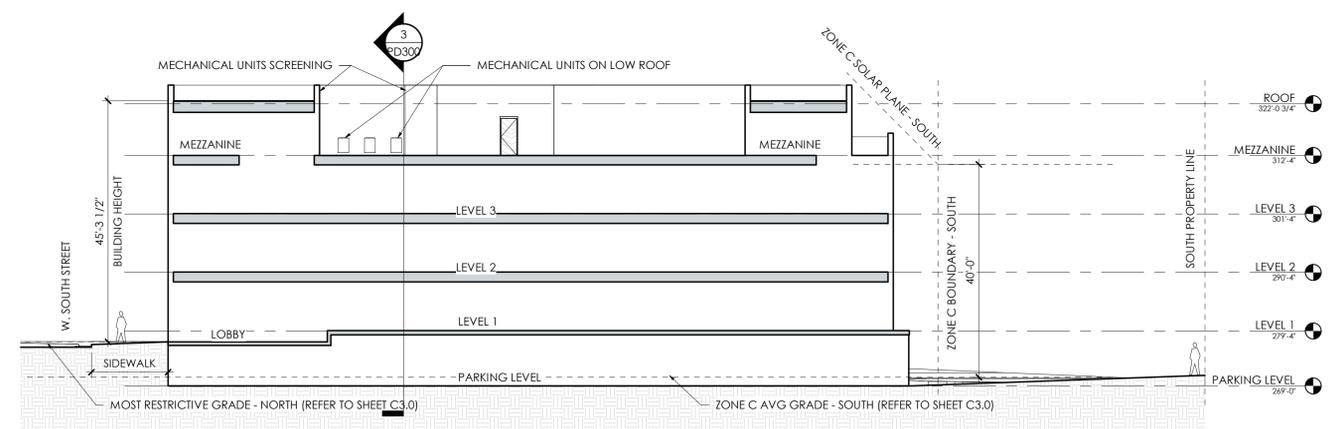
PD300



EAST & WEST BUILDINGS - EW SECTION 3
 1/16" = 1'-0"



WEST BUILDING NS SECTION 2
 1/16" = 1'-0"



EAST BUILDING NS SECTION 1
 1/16" = 1'-0"