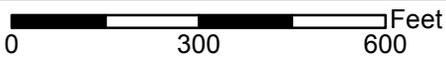
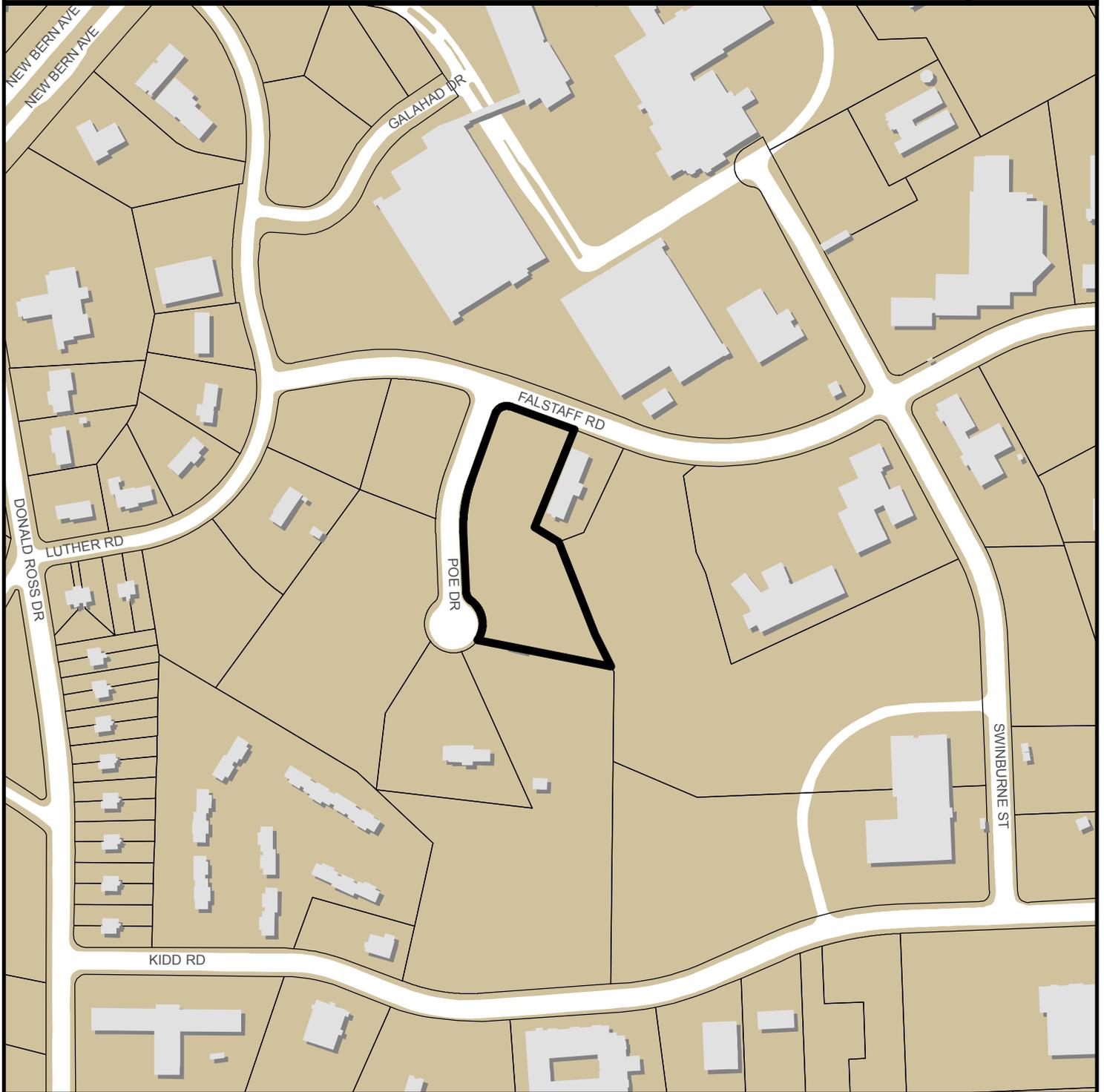


LONGVIEW APARTMENTS SR-51-2017



Zoning: **OX-5-CU**
CAC: **East Raleigh**

Drainage Basin: **Crabtree Basin**
Acreage: **2.39**
Sq. Ft.: **161,332**

Planner: **Michael Walters**
Phone: **(919) 996-2636**

Applicant: **Longview Partners,
LLC**





Administrative Approval Action

Longview Apartments: SR-51-17, AA # 3679
Transaction # 515670

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Falstaff Road, on the southeast corner of the intersection of Falstaff Road and Poe Drive. The site's address is 101 Poe Drive.

REQUEST: Development of a 176 unit apartment complex comprised of two buildings totaling 250,083 square feet size on a 2.39 acre tract zone OX-5-CU with associated clubhouse and outdoor amenity areas. Note this site has already received preliminary subdivision approval (case S-38-17) to create a public street thru the tract.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:**

A design exception has been approved by the City of Raleigh Solid Waste Director allowing an alternative solid waste plan as per the approved plan.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by John A. Edwards and Company (dated 10/24/17).

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

GENERAL

1. The conditions required by the solid waste design exception approval letter shall be added to the concurrent plan set.

STORMWATER

2. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.
3. In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeded a site, shall be paid to the City.

URBAN FORESTRY

4. Obtain required stub and tree impact permits from the City of Raleigh. *(used with new streets and infrastructure)*
5. Next Step: Prior to the issuance of a mass grading permit or other site permit, whichever comes first, submit a final tree conservation plan with a permit approved by Urban Forestry staff that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required.
6. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.



Administrative Approval Action

Longview Apartments: SR-51-17, AA # 3679
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PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

1. Comply with all conditions of Z-50-08.
2. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Subdivisions (S-38-17), Right Of Way and/or Easement Dedications (Transit easement, Z-50-08 c), and Tree Save Areas.

STORMWATER

3. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund.
4. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office.
5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
6. In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department

ENGINEERING

7. A 15' x 20' transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within 14 days from authorization of lot recording. If a recorded copy of the documents is not provided within this 14 day period, further recordings and building permit issuance may be withheld.
8. An encroachment agreement for any stormwater drainage systems that carry private drainage to be located within the public right-of-way must be approved by the City Council by separate action. An application for encroachment into the public right of way for the private stormwater system located within the right of way as indicated on the preliminary plan, shall be submitted to the City's Encroachment Coordinator in the Development Services Department for review, and the City Council must approve the encroachment request. Following City Council approval of the encroachment, an encroachment agreement, prepared in accordance with Raleigh City Code Sections 12-1001 and 12-1021(a), shall be filed with the Development Services Department, and the encroachment agreement is to be recorded with the Wake County Register of Deeds. Maintenance of the encroachment shall be the responsibility of the owner;
9. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

PUBLIC UTILITIES

10. A Final Plat must be recorded at the Wake County Register of Deeds office for all necessary Subdivisions / Recombinations, Right-of-Way, Utility / Stormwater, Public Utility Easement Dedications, and/or Tree Save Areas



Administrative Approval Action

Longview Apartments: SR-51-17, AA # 3679
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11. Infrastructure construction plans must be approved by the City of Raleigh Public Utilities Department for the public water extension.

URBAN FORESTRY

12. A tree conservation map in compliance with Chapter 9 of the Unified Development Ordinance shall be recorded with metes and bound showing the designated Tree Conservation Areas.

PRIOR TO ISSUANCE OF BUILDING OCCUPANCY PERMIT:

19. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
20. Required public right-of-way infrastructure improvements are reviewed and accepted by the City of Raleigh Development Services and as-built drawings provided to City of Raleigh Development Services, Development Engineering program.
21. As-built drawings and associated forms for all Stormwater devices must be accepted by the Engineering Services Department.
22. Final inspection of all required Tree Conservation and/or right of way tree protection areas by Urban Forestry Staff must be completed.
23. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
24. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
25. Next Step: All street lights and street signs required as part of the development approval are installed.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 12-8-2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Planning Dir./Designee) Angie Billy Date: 12/8/2017

Staff Coordinator: Michael Walters



VICINITY MAP
(NOT TO SCALE)

LONGVIEW APARTMENTS

ADMINISTRATIVE SITE REVIEW

SR-51-17

TRANS. #515670

RALEIGH, NORTH CAROLINA

MAY 24, 2017

REVISED: JUNE 23, 2017

REVISED: AUGUST 18, 2017

REVISED: OCTOBER 24, 2017

OWNER/DEVELOPER:

LONGVIEW PARTNERS, LLC
7101 CREEDMOOR ROAD, SUITE 142
RALEIGH, NC 27612

ARCHITECT:

WINSTEAD WILKINSON ARCHITECTS, PLLC
1848 WAKE FOREST ROAD
RALEIGH, NC 27608

CIVIL ENGINEER:

JOHN A. EDWARDS & COMPANY
CONSULTING ENGINEERS
NC LICENSE F-0289
333 WADE AVENUE, RALEIGH NC 27605
PHONE: (919) 828-4428
FAX: (919) 828-4711
EMAIL: INFO@JAECO.COM



SITE DATA	
PROPERTY OWNER:	LONGVIEW PARTNERS, LLC 7101 CREEDMOOR ROAD, SUITE 142 RALEIGH, NC 27612
SITE ADDRESS:	101 POE DRIVE
WAKE COUNTY PIN #:	1723290377
ZONING DISTRICT:	OX-5-CU
TOTAL ONSITE ACREAGE:	2.39 AC.
EXISTING USE:	VACANT
PROPOSED USE:	RESIDENTIAL
PROPOSED BUILDING AREA:	B1 - 145,669 SF B2-104,414 SF TOTAL GSF-250,083 SF
PROPOSED MAX BUILDING HEIGHT:	B1 - 73'-6" B2 - 71'-6"
EXISTING IMPERVIOUS AREA:	0.08 AC.
PROPOSED IMPERVIOUS AREA:	1.71 AC.
REQUIRED SETBACKS:	FRONT: 5' BUILDING / 10' PARKING FRONT: 5' BUILDING / 10' PARKING REAR: 0' OR 6'
RESIDENTIAL APARTMENT BUILD-TO REQUIREMENTS:	70% BUILDING WIDTH IN PRIMARY BUILD TO 10-55' (FALSTAFF & MULTIFAMILY ST)
PROVIDED BUILD TO:	BUILDING 1 (FALSTAFF) 151'/170' = 89% BUILDING 2 (MULTIFAMILY) 174'/219' = 79%
RESIDENTIAL APARTMENT BUILD-TO REQUIREMENTS:	35% BUILDING WIDTH IN SECONDARY BUILD TO 10-55' (POE)
PROVIDED BUILD TO:	198' BLDG 1 + 108' BLDG 2 / 533' FRONTAGE = 57%
PROPOSED REQUIRED PARKING PER PARKING STUDY:	227 SPACES REQUIRED TOTAL ACCESSIBLE PARKING = 12 SPACES SHORT TERM BICYCLE PARKING = 12 SPACES

INDEX

C-1.0	EXISTING CONDITIONS
C-2.0	SITE PLAN
C-2.1	PARKING LAYOUT PLAN
C-2.2	SIGHT DISTANCE AND EASEMENT PLAN
C-2.3	FIRE APPARATUS PLAN
C-3.0	UTILITY PLAN
C-4.0	GRADING PLAN
C-4.1	STORMWATER PLAN
C-5.0	STORMWATER MANAGEMENT DETAILS
LA-1 - LA-2	TREE CONSERVATION PLAN
LA-3	LANDSCAPE PLAN
A100 - A102	FLOOR PLAN

SOLID WASTE INSPECTIONS STATEMENT
DEVELOPER TO CONTRACT WITH PRIVATE
COLLECTION SERVICE FOR RECYCLING
AND SOLID WASTE REMOVAL.

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH CITY OF RALEIGH
STANDARDS AND SPECIFICATIONS.

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

Ordinance: 534 ZC 631
Effective: February 3, 2009

Z-50-08 - Conditional Use, Falstaff Road - located on the southeast quadrant of the intersection of Falstaff Drive and Luther Road, extending south to Kidd Road being, various Wake County PINs. Approximately 18.46 acres to be rezoned to Office and Institution -2 Conditional Use District.

Conditions Dated: 01-28-08

Narrative of conditions being requested:

As used herein, the "Property" refers to all of those certain tracts or parcels of land containing an aggregate of approximately 18.46 acres located at the southeastern quadrant of the intersection of Luther Road and Falstaff Road, and having Wake County PINs 1723-19-4205 (lot 2 as shown in Book of Maps 1989, Page 728), 1723-19-6662 (lot 12, BM 1989, PG 728), 1723-19-8650 (lot 100, BM 1989, PG 728), 1723-19-7363 (lot 101, BM 1989, PG 728), 1723-18-9891 (lot 102, BM 1992, PG 34), 1723-29-0362 (lot 103, BM 1989, PG 728), 1723-29-0574 (lot 104, BM 1989, PG 728), 1723-19-5472 (lot 11, BM 1989, PG 728).

(a) The following uses shall be prohibited upon the Property:

- Cemetery
- Utility services and substation
- Airfield landing strip and heliport
- Manufacturing - specialized
- Fraternity house
- Sorority house
- Funeral parlor

(b) Reimbursement for any required right-of-way dedication for the three parcels fronting Luther Road, with Wake County PINs 1723-19-6662 (lot 12, BM 1989, PG 728), 1723-19-5472 (lot 11, BM 1989, PG 728), 1723-19-4205 (lot 2, BM 1989, PG 728), shall be at the current R-6 rate. Reimbursement for any required right-of-way dedication for the remaining five parcels, with Wake County PINs 1723-19-8650 (lot 100, BM 1989, PG 728), 1723-29-0574 (lot 104, BM 1989, PG 728), 1723-19-7363 (lot 101, BM 1989, PG 728), 1723-29-0362 (lot 103, BM 1989, PG 728), 1723-18-9891 (lot 102, BM 1992, PG 34), shall be at the current O&I-1 rate.

(c) Prior to subdivision approval or the issuance of any building permit, whichever shall first occur, the owner of the Property shall deed to the City two transit easements measuring twenty (20) feet long adjacent to the right-of-way by fifteen (15) feet wide to support bus stops for future bi-directional transit services in the area. The locations of the transit easements shall be approved by the Transit Division of the City, and the City Attorney or his Associate shall approve the transit easements deed prior to recording.

(d) The maximum height for any building, including any parking structure, constructed upon the Property shall be the lesser of ninety-five (95) feet or five (5) stories in height, as determined pursuant to Section 10-2076 of the Raleigh City Code.

(e) The existing exterior of the Clarence Poe House shall be maintained using building materials that are compatible with the existing facade treatment, including but not limited to wood and masonry. In the event of the Clarence Poe House is damaged or partially destroyed as a result of the exercise of eminent domain; man-made acts, such as riot, fire, accident, explosion; or flood, lightning, wind, or other calamity or natural act, the owner shall be obligated to rebuild and/or reconstruct the Clarence Poe House only in the event that the cost of rebuilding, reconstructing or restoring the house is less than fifty (50) per cent of the tax value of the house. No vinyl siding shall be used on the Clarence Poe House, or any addition attached thereto. Any addition attached to the Clarence Poe House shall use building materials that are compatible with the existing facade treatment, including but not limited to wood and masonry. Subject to the foregoing, the existing +/- 5,000 square foot Clarence Poe House shall not be torn down.

(f) Any freestanding addition, to be used in conjunction with the Clarence Poe House or with uses located within the Clarence Poe House, will be compatible in scale and mass, utilizing forms, materials, and fenestration patterns appropriate as part of the Poe House compound.

(g) Except for any freestanding addition to be used in conjunction with the Clarence Poe House or with uses located on the Property within the Clarence Poe House (as described in Condition (f)), there shall be no buildings located within thirty (30) feet of the Clarence Poe House.

(h) Any renovations, additions, or other physical changes to the exterior of the Clarence Poe House, as well as any removal of trees greater than 10 caliper inches and located within 35 feet of the Clarence Poe House shall be presented to the Raleigh Appearance Commission and Raleigh Historic Districts Commission for advisory comments. Further, any site plan or plot plan involving renovations, additions, or other physical changes to the exterior of the Clarence Poe House shall be presented to the Raleigh Planning Commission for approval, unless the City Code requires approval by the Raleigh City Council.

(i) Any building containing an office use constructed on the three (3) parcels of the Property with frontage along Luther Road, with Wake County PINs 1723-19-6662 (lot 12, BM 1989, PG 728), 1723-19-5472 (lot 11, BM 1989, PG 728), 1723-19-4205 (lot 2, SM 1989, PG 728), shall have a minimum roof pitch of 4:12.

(j) The exterior facade of any building containing an office use constructed on the three (3) parcels of the Property with frontage along Luther Road, as described above in condition (h) shall be constructed using a minimum of eighty percent (80%) brick or masonry materials, excluding the area of windows and door openings. The combined area of front windows and doors shall represent no less than fifteen percent (15%) and no greater than sixty percent (60%) of the front facade of any building containing an office use constructed on the three (3) parcels of the Property with frontage along Luther Road, as described above in condition (i).

(k) There shall be a minimum building setback from the existing fifty (50) foot right-of-way of Luther Road of one hundred and twenty (120) feet. The maximum height for any building located within one hundred and fifty (150) feet of the existing fifty (50) foot right-of-way of Luther Road shall be the lesser of thirty-eight (38) feet or two (2) stories, as determined pursuant to Section 10-2076 of the Raleigh City Code.

(l) Any access to the Property from Luther Road shall be limited to serve structures located on the three (3) parcels of the Property with frontage along Luther Road, as described above in condition (i), and vehicular access to or from the balance of the Property shall be prohibited.

(m) Those portions of the Property abutting Luther Road shall exceed the opacity requirements of Section 10-2082.6(b) (1) (street yard vehicular surface plantings, density) by at least five percent (5%).

Administrative Site Review Application
(for UDO Districts only)

Development Name: Longview Apartments
Zoning District: OX-5-CU
Proposed Use: Apartment Buildings
Property Address(es): 101 Poe Drive
Major Street Location: Falstaff and Poe

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:
P.I.N. 1723290377

What is your project type?
 Single-Family Detached
 Attached
 Apartment
 Townhouse

FOR OFFICE USE ONLY
General
Mixed Use
Open Lot

Development Name: Longview Apartments
Zoning District: OX-5-CU
Proposed Use: Apartment Buildings
Property Address(es): 101 Poe Drive
Major Street Location: Falstaff and Poe

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:
P.I.N. 1723290377

What is your project type?
 General
 Mixed Use
 Open Lot

CLIENT/DEVELOPER/OWNER
Company: Longview Partners, LLC
Address: 7101 Creedmoor Road, Suite 142, Raleigh, NC 27612
Phone: _____ Email: _____ Fax: _____

CONSULTANT (Eminent Person for Plan)
Company: John A. Edwards & Company
Address: 333 Wade Ave., Raleigh, NC 27605
Phone: 919-828-4428 Email: jon_callahan@jaeco.com Fax: 919-828-4711

WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s): OX-5-CU	Proposed building use(s): Apartments
If more than one district, provide the acreage of each: 2.39 ac	Existing Building(s) sq. ft. gross: 0
Overlay District(s):	Proposed Building(s) sq. ft. gross: 250,083 SF
Total Site Area: 2.39 ac	Total sq. ft. gross (existing & proposed): 250,083 SF
Off-street parking: Required 220	Proposed height of building(s): 73'-6" / 71'-6"
COA (Certificate of Appropriateness) case #:	# of stories: 2
ROA (Board of Adjustment) case #:	Ceiling height of 1 st floor Bldg 1-12; Bldg 2-10'
CUD (Conditional Use District) case #:	
Existing Impervious Surface: 0.08 ac	Stormwater Information
Proposed Impervious Surface: 1.71 ac	Flood Hazard Area: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Net new Runoff: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Flood Study: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

FOR RESIDENTIAL DEVELOPMENTS

- Total # of Apartments, Condominiums or Residential Units: 176
- Total # of Congregate Care Or Life Care Dwelling Units: 0
- Total Number of Hotel Units: 0
- Overall Total # of Dwelling Units (1-6 Above): 176
- Bedroom Units: 136-160 (2) 16 3/4 or more 0
- Bedroom Development 2,2,2 F.L.S.
- Open Space (only) or Amenity
- Is your project a cottage court? Yes No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate Jon R. Callahan, P.E. to serve as my agent regarding this application, to receive and respond to administrative comments, to represent me in my behalf and to represent me in any public meeting regarding this application.

I have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: Jon R. Callahan, P.E. Date: 5-23-17

Printed Name: Jon R. Callahan, P.E.

Signed: Randy Robertson, Manager Longview Partners, LLC Date: _____

Printed Name: _____



JOHN A. EDWARDS & COMPANY
Consulting Engineers
and Land Surveyors

NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

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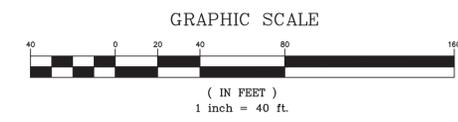
LONGVIEW APARTMENTS
101 POE DRIVE
RALEIGH, NC 27601
SR-51-17
TRANS# 515670

Client:
LONGVIEW PARTNERS, LLC
7107 CREEDMOOR RD.
SUITE 142
RALEIGH, NC 27613

LEGEND

BM	BOOK OF MAPS
DB	DEED BOOK
PG	PAGE
N/F	NOW OR FORMERLY
R/W	RIGHT OF WAY
EIP	EXISTING IRON PIPE
EMAG	EXISTING MAG NAIL
ECM	EXISTING CONCRETE MONUMENT
IPS	IRON PIPE SET
MAGS	MAG NAIL SET
CP	COMPUTED POINT
SS	SANITARY SEWER
CO	SANITARY SEWER CLEAN OUT
MH	MANHOLE
ST	STORM
GW	GUY ANCHOR
CB	STORM CATCH BASIN
WV	WATER VALVE
RCP	REINFORCED CONCRETE STORM PIPE
CONC	CONCRETE
SSMH	SANITARY SEWER
WM	WATER METER
LP	LIGHT POLE
GV	GAS VALVE
TP	TELEPHONE PEDESTAL
FH	FIRE HYDRANT
HB	HOT BOX
PP	POWER POLE
MW	MONITORING WELL
[Symbol]	DENOTES CONCRETE
[Symbol]	DENOTES ADDRESS
[Symbol]	PROPERTY LINE
[Symbol]	RIGHT OF WAY LINE
[Symbol]	PROP. LINE NOT SURVEYED
[Symbol]	STORM PIPE
[Symbol]	SEWER LINE
[Symbol]	OVERHEAD POWER
[Symbol]	GAS LINE
[Symbol]	EASEMENT LINE
[Symbol]	SSMH
[Symbol]	GW
[Symbol]	MW
[Symbol]	PP
[Symbol]	TP
[Symbol]	GV

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	95.69'	62.50'	087°43'35"	86.62'	S09° 47' 00"E
C2	22.23'	25.00'	050°56'59"	21.51'	S28° 02' 32"E
C3	65.41'	299.28'	012°31'17"	65.27'	S04° 12' 59"W
C4	50.99'	299.28'	009°45'44"	50.93'	S15° 20' 01"W
C5	39.30'	25.00'	090°04'48"	35.38'	S64° 46' 31"W
C6	44.23'	62.50'	040°32'40"	43.31'	N54° 22' 45"E

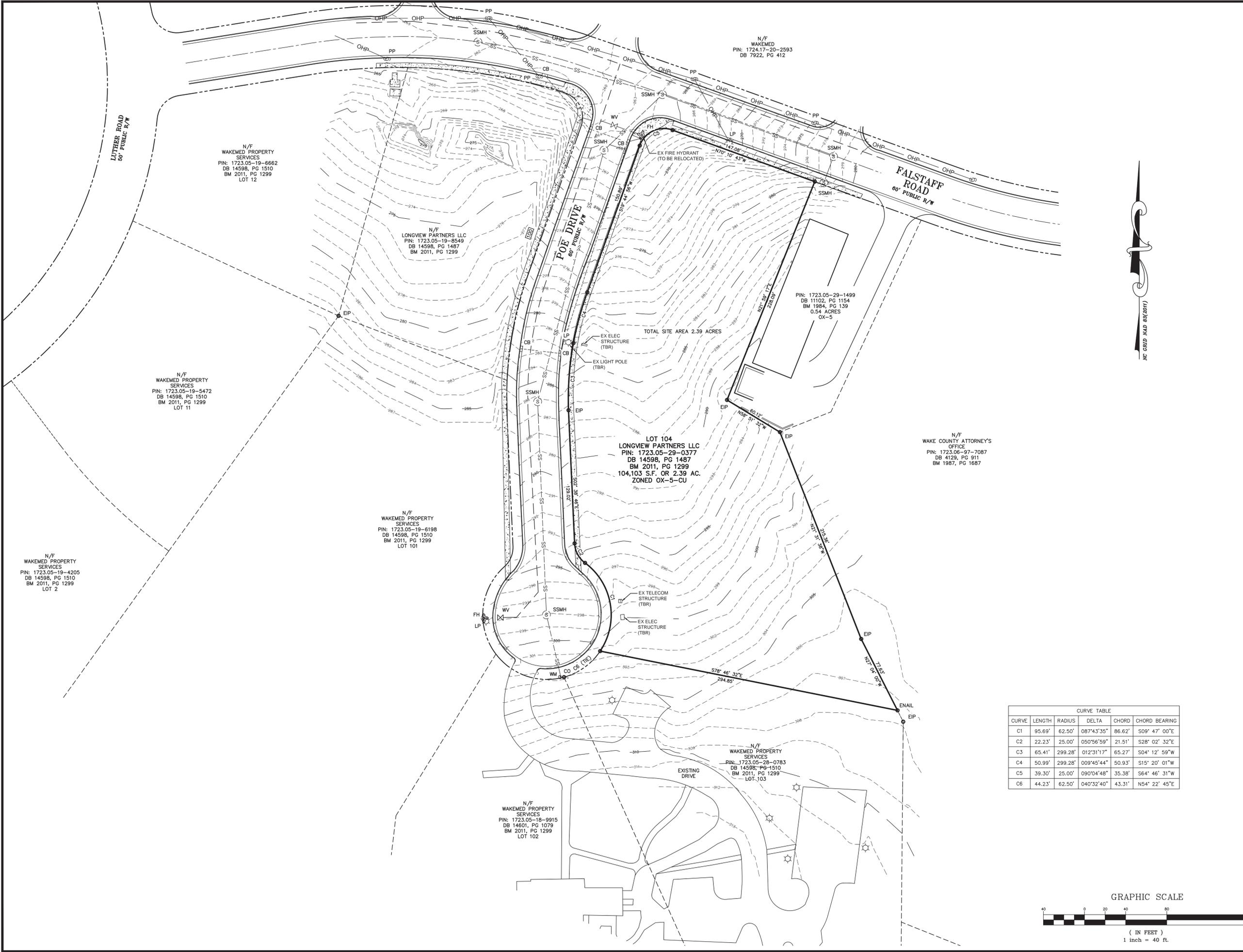


EXISTING CONDITIONS

Revisions

Number	Description	Date
1	PER COR COMMENTS	06/23/17
2	PER COR COMMENTS	08/18/17
3	PER COR COMMENTS	10/24/17

Drawing Scale 1" = 40'
Drawn By CS
Checked By JRC
Date Issued 05/24/17



NC CRID NAD 83(2011)



JOHN A. EDWARDS & COMPANY
Consulting Engineers
and Land Surveyors

NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
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Seals

Project
LONGVIEW APARTMENTS
101 POE DRIVE
RALEIGH, NC 27601
SR-51-17
TRANS# 515670

Client
LONGVIEW PARTNERS, LLC
7107 CREEDMOOR RD.
SUITE 142
RALEIGH, NC 27613

Approvals
LEGEND
BM DEED BOOK
DB PAGE
PG PAGE
N/F NOW OR FORMERLY
R/W RIGHT OF WAY
EIP EXISTING IRON PIPE
EMAG EXISTING MAG NAIL
ECM EXISTING CONCRETE MONUMENT
IP IRON PIPE SET
MAGS MAG NAIL SET
CP COMPUTED POINT
SS SANITARY SEWER
CS SANITARY SEWER CLEAN OUT
MH MANHOLE
ST STORM
GW GUY ANCHOR
CB STORM CATCH BASIN
WB WATER VALVE
RCP REINFORCED CONCRETE STORM PIPE
CONC CONCRETE
SSMH SANITARY SEWER
WM WATER METER
LP LIGHT POLE
GV GAS VALVE
TP TELEPHONE PEDESTAL
FH FIRE HYDRANT
HB HOT BOX
PP POWER POLE
MW MONITORING WELL
XXX DENOTES CONCRETE
XXX DENOTES ADDRESS

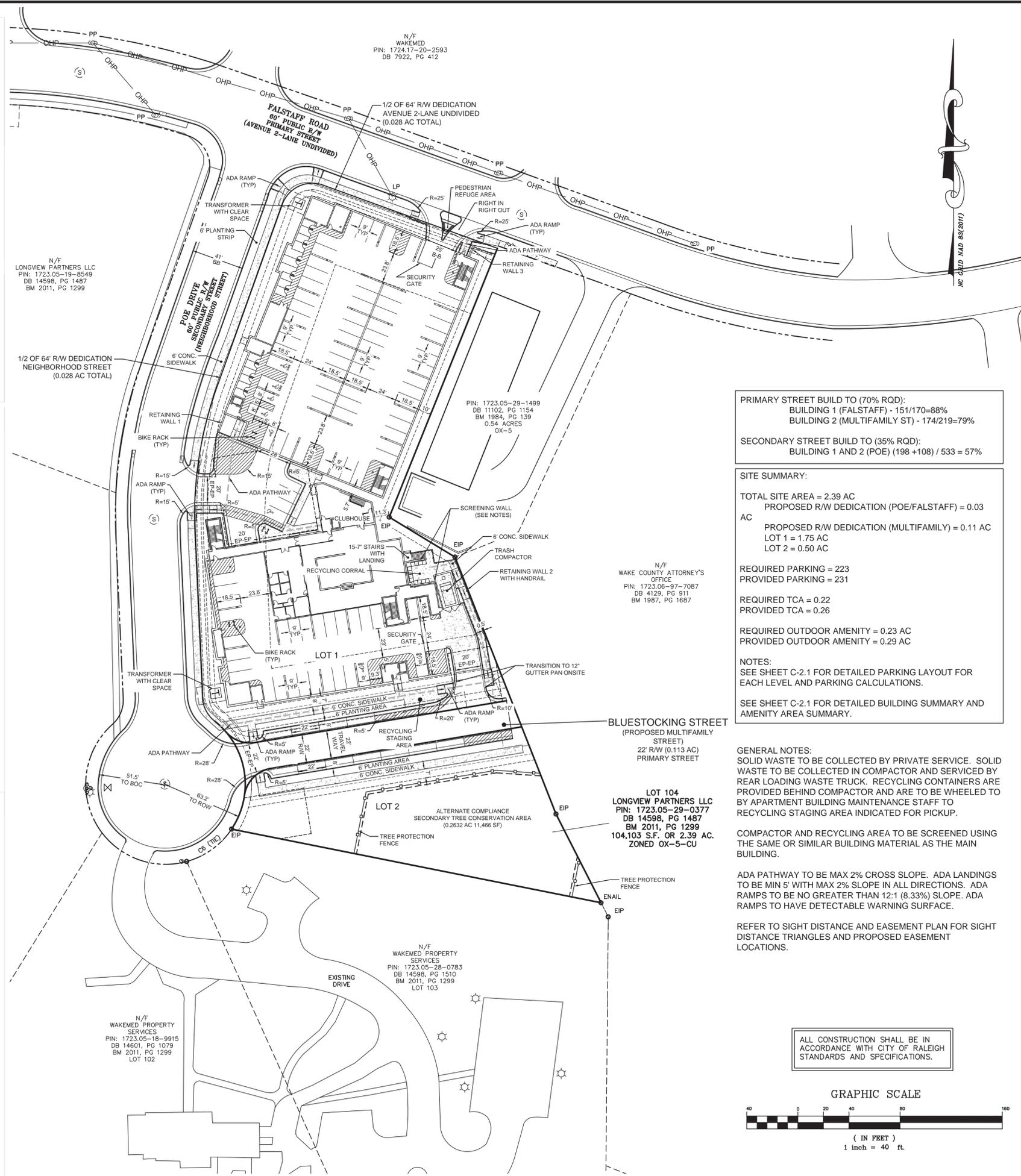
PROPERTY LINE
RIGHT OF WAY LINE
PROP. LINE NOT SURVEYED
SS STORM PIPE
SEWER LINE
OVERHEAD POWER
GAS GAS
GAS LINE
EASEMENT LINE
LP LP
SSMH
GW MW PP TP GV

SITE PLAN

Number	Description	Date
1	PER COR COMMENTS	06/23/17
2	PER COR COMMENTS	08/18/17
3	PER COR COMMENTS	10/24/17

Drawing Scale 1" = 40'
Drawn By CS
Checked By JRC
Date Issued 05/24/17

C-2.0



PRIMARY STREET BUILT TO (70% RQD):
BUILDING 1 (FALSTAFF) - 151/170=88%
BUILDING 2 (MULTIFAMILY ST) - 174/219=79%

SECONDARY STREET BUILT TO (35% RQD):
BUILDING 1 AND 2 (POE) (198+108) / 533 = 57%

SITE SUMMARY:
TOTAL SITE AREA = 2.39 AC
PROPOSED R/W DEDICATION (POE/FALSTAFF) = 0.03 AC
PROPOSED R/W DEDICATION (MULTIFAMILY) = 0.11 AC
LOT 1 = 1.75 AC
LOT 2 = 0.50 AC

REQUIRED PARKING = 223
PROVIDED PARKING = 231

REQUIRED TCA = 0.22
PROVIDED TCA = 0.26

REQUIRED OUTDOOR AMENITY = 0.23 AC
PROVIDED OUTDOOR AMENITY = 0.29 AC

NOTES:
SEE SHEET C-2.1 FOR DETAILED PARKING LAYOUT FOR EACH LEVEL AND PARKING CALCULATIONS.
SEE SHEET C-2.1 FOR DETAILED BUILDING SUMMARY AND AMENITY AREA SUMMARY.

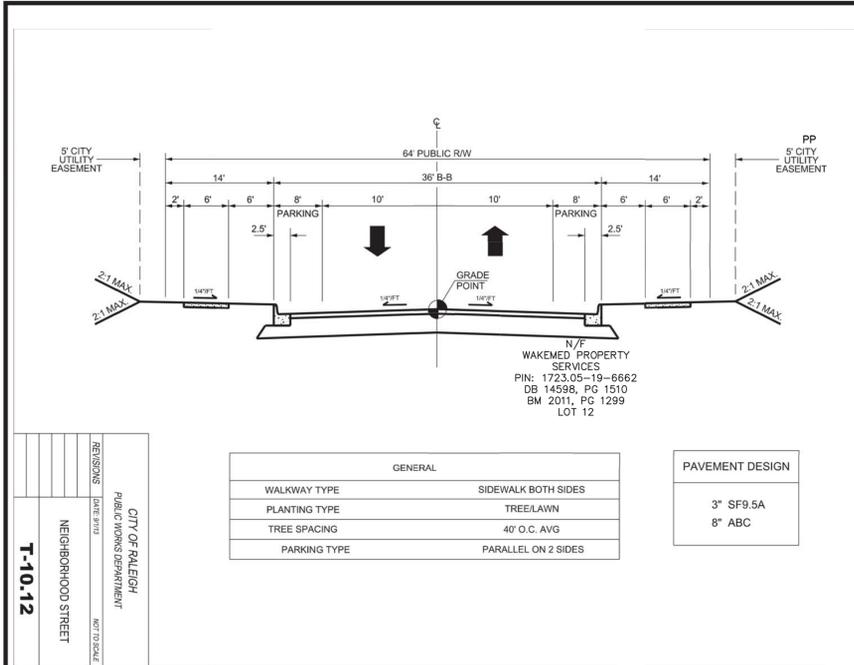
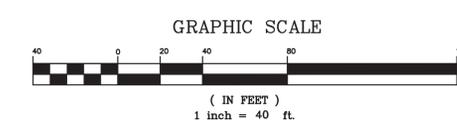
GENERAL NOTES:
SOLID WASTE TO BE COLLECTED BY PRIVATE SERVICE. SOLID WASTE TO BE COLLECTED IN COMPACTOR AND SERVICED BY REAR LOADING WASTE TRUCK. RECYCLING CONTAINERS ARE PROVIDED BEHIND COMPACTOR AND ARE TO BE WHEELED TO BY APARTMENT BUILDING MAINTENANCE STAFF TO RECYCLING STAGING AREA INDICATED FOR PICKUP.

COMPACTOR AND RECYCLING AREA TO BE SCREENED USING THE SAME OR SIMILAR BUILDING MATERIAL AS THE MAIN BUILDING.

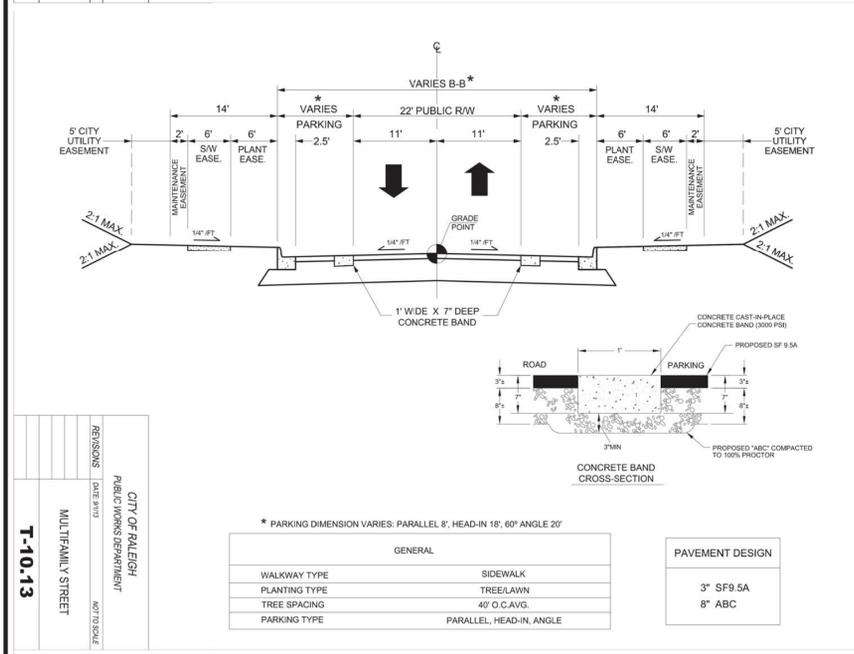
ADA PATHWAY TO BE MAX 2% CROSS SLOPE. ADA LANDINGS TO BE MIN 5' WITH MAX 2% SLOPE IN ALL DIRECTIONS. ADA RAMPS TO BE NO GREATER THAN 12:1 (8.33%) SLOPE. ADA RAMPS TO HAVE DETECTABLE WARNING SURFACE.

REFER TO SIGHT DISTANCE AND EASEMENT PLAN FOR SIGHT DISTANCE TRIANGLES AND PROPOSED EASEMENT LOCATIONS.

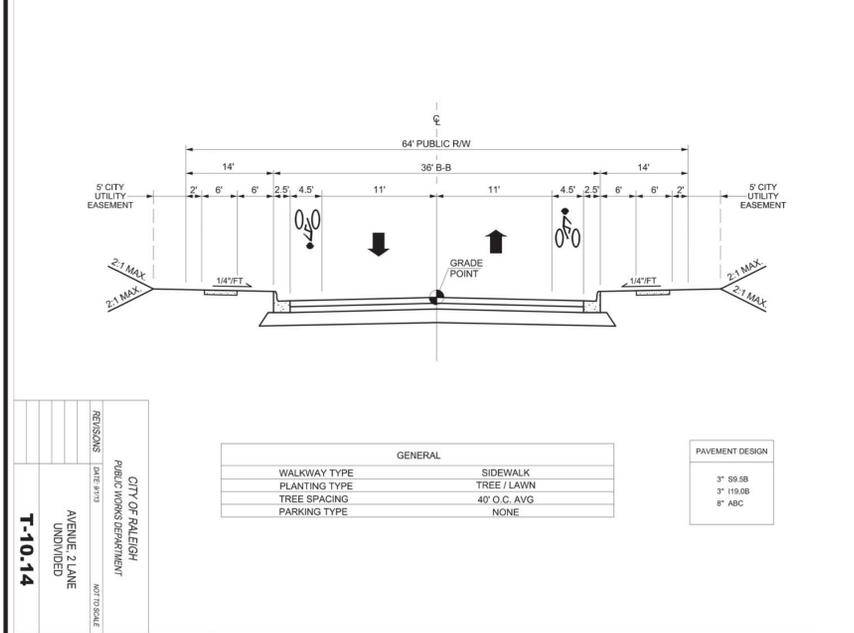
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.



GENERAL		PAVEMENT DESIGN
WALKWAY TYPE	SIDEWALK BOTH SIDES	3" SF9.5A
PLANTING TYPE	TREE/LAWN	8" ABC
TREE SPACING	40' O.C. AVG	
PARKING TYPE	PARALLEL ON 2 SIDES	



GENERAL		PAVEMENT DESIGN
WALKWAY TYPE	SIDEWALK	3" SF9.5A
PLANTING TYPE	TREE/LAWN	8" ABC
TREE SPACING	40' O.C. AVG	
PARKING TYPE	PARALLEL, HEAD-IN, ANGLE	



GENERAL		PAVEMENT DESIGN
WALKWAY TYPE	SIDEWALK	3" SB
PLANTING TYPE	TREE / LAWN	3" 110.0B
TREE SPACING	40' O.C. AVG	8" ABC
PARKING TYPE	NONE	

Revisions
DATE BY
CITY OF RALEIGH
PUBLIC WORKS DEPARTMENT
NOT TO SCALE
T-10.14
AVENUE 2 LANE UNDIVIDED

Revisions
DATE BY
CITY OF RALEIGH
PUBLIC WORKS DEPARTMENT
NOT TO SCALE
T-10.13
MULTIFAMILY STREET

Revisions
DATE BY
CITY OF RALEIGH
PUBLIC WORKS DEPARTMENT
NOT TO SCALE
T-10.12
NEIGHBORHOOD STREET

N/F LONGVIEW PARTNERS LLC
PIN: 1723.05-19-8549
DB 14598, PG 1487
BM 2011, PG 1299
LOT 12

1/2 OF 64' R/W DEDICATION NEIGHBORHOOD STREET (0.028 AC TOTAL)

N/F WAKEMED
PIN: 1724.17-20-2593
DB 7922, PG 412

PIN: 1723.05-29-1499
DB 11102, PG 1154
BM 1984, PG 139
0.54 ACRES
OX-5

N/F WAKE COUNTY ATTORNEY'S OFFICE
PIN: 1723.06-97-7087
DB 4129, PG 911
BM 1987, PG 1687

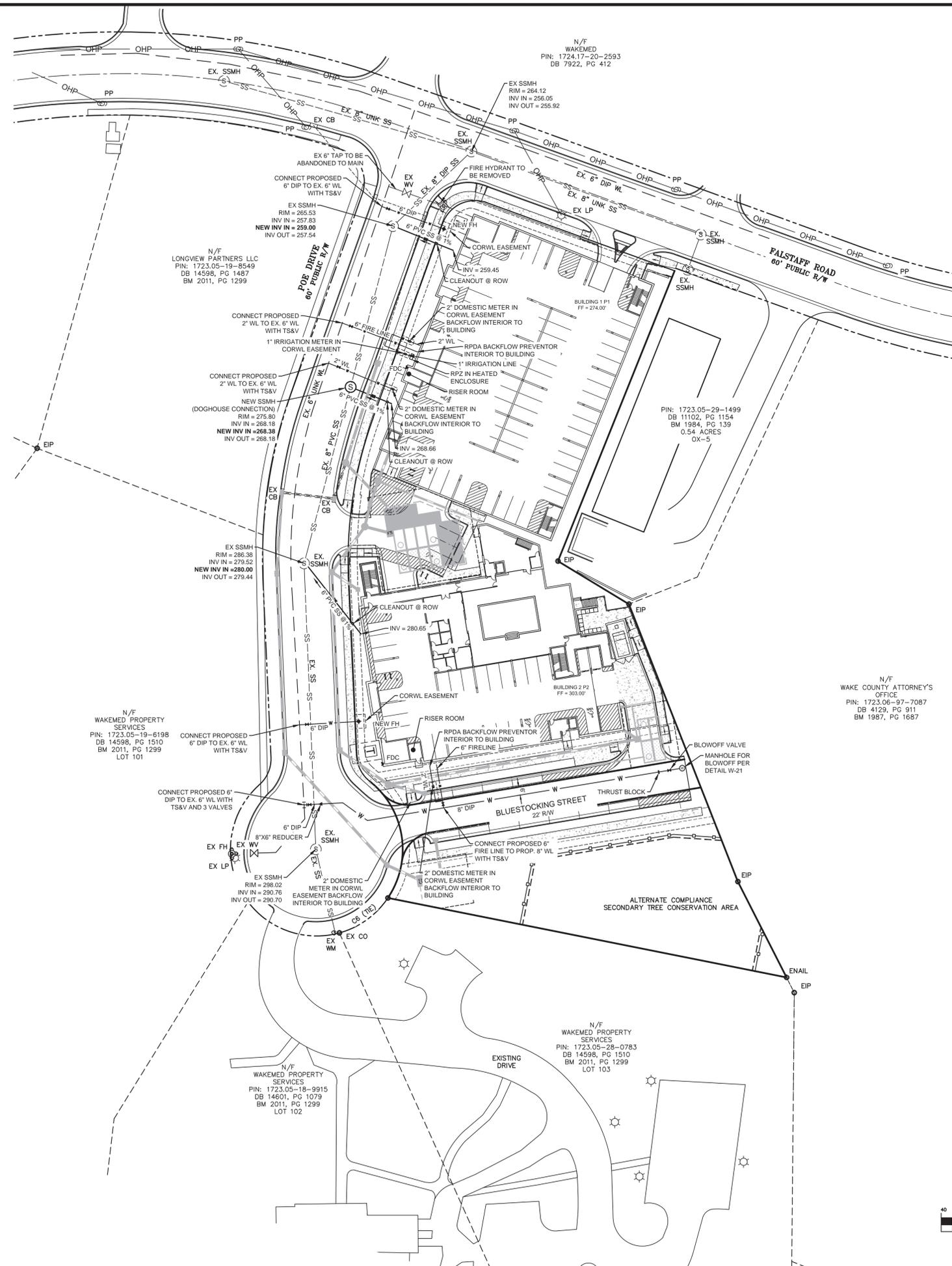
LOT 104
LONGVIEW PARTNERS LLC
PIN: 1723.05-29-0377
DB 14598, PG 1487
BM 2011, PG 1299
104,103 S.F. OR 2.39 AC.
ZONED OX-5-CU

N/F WAKEMED PROPERTY SERVICES
PIN: 1723.05-18-9915
DB 14801, PG 1079
BM 2011, PG 1299
LOT 102

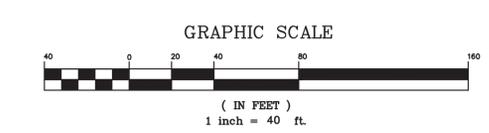
N/F WAKEMED PROPERTY SERVICES
PIN: 1723.05-28-0783
DB 14598, PG 1510
BM 2011, PG 1299
LOT 103

STANDARD UTILITY NOTES (as applicable):

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
- Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 3.0' minimum cover is required on all water mains & sewer forcemains. 4.0' minimum cover is required on all reuse mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
- Install 3/4" copper* water services with meters located at ROW or within a 2x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
- Install 4" PVC* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 996-2334 or timothy.beasley@raleighnc.gov for more information.
- Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.



JOHN A. EDWARDS & COMPANY
Consulting Engineers
and Land Surveyors

NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

www.jaeco.com

Seals

Project

LONGVIEW APARTMENTS
101 POE DRIVE
RALEIGH, NC 27601
SR-51-17
TRANS# 515670

Client

LONGVIEW PARTNERS, LLC
7107 CREEDMOOR RD.
SUITE 142
RALEIGH, NC 27613

Approvals

LEGEND

BM	BOOK OF MAPS
DB	DEED BOOK
PG	PAGE
N/F	NOW OR FORMERLY
R/W	RIGHT OF WAY LINE
EMAG	EXISTING IRON PIPE
ECM	EXISTING CONCRETE MONUMENT
IPS	IRON PIPE SET
MAGS	MAG NAIL SET
CP	COMPUTED POINT
SS	SANITARY SEWER
CO	SANITARY SEWER CLEAN OUT
MH	MANHOLE
ST	STORM
GW	GUY ANCHOR
CB	STORM CATCH BASIN
WV	WATER VALVE
RCP	REINFORCED CONCRETE STORM PIPE
CONC	CONCRETE
SSMH	SANITARY SEWER
WM	WATER METER
LP	LIGHT POLE
GV	GAS VALVE
TP	TELEPHONE PEDESTAL
FH	FIRE HYDRANT
HB	HOT BOX
PP	POWER POLE
MW	MONITORING WELL
[Hatched Box]	DENOTES CONCRETE
[XXX]	DENOTES ADDRESS

--- PROPERTY LINE
--- RIGHT OF WAY LINE
--- PROP. LINE NOT SURVEYED
--- STORM PIPE
--- SEWER LINE
--- OVERHEAD POWER
--- GAS LINE
--- EASEMENT LINE

CB (X) FH (X) LP (X) MW (X) PP (X) TP (X) GV (X)

Drawing Title

UTILITY PLAN

Revisions

Number	Description	Date
1	PER COR COMMENTS	06/23/17
2	PER COR COMMENTS	08/18/17
3	PER COR COMMENTS	10/24/17

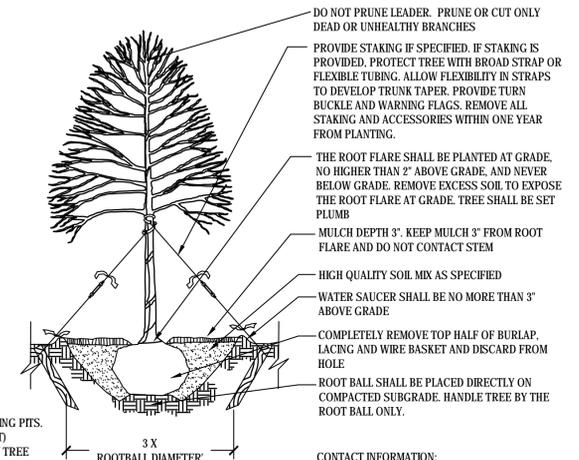
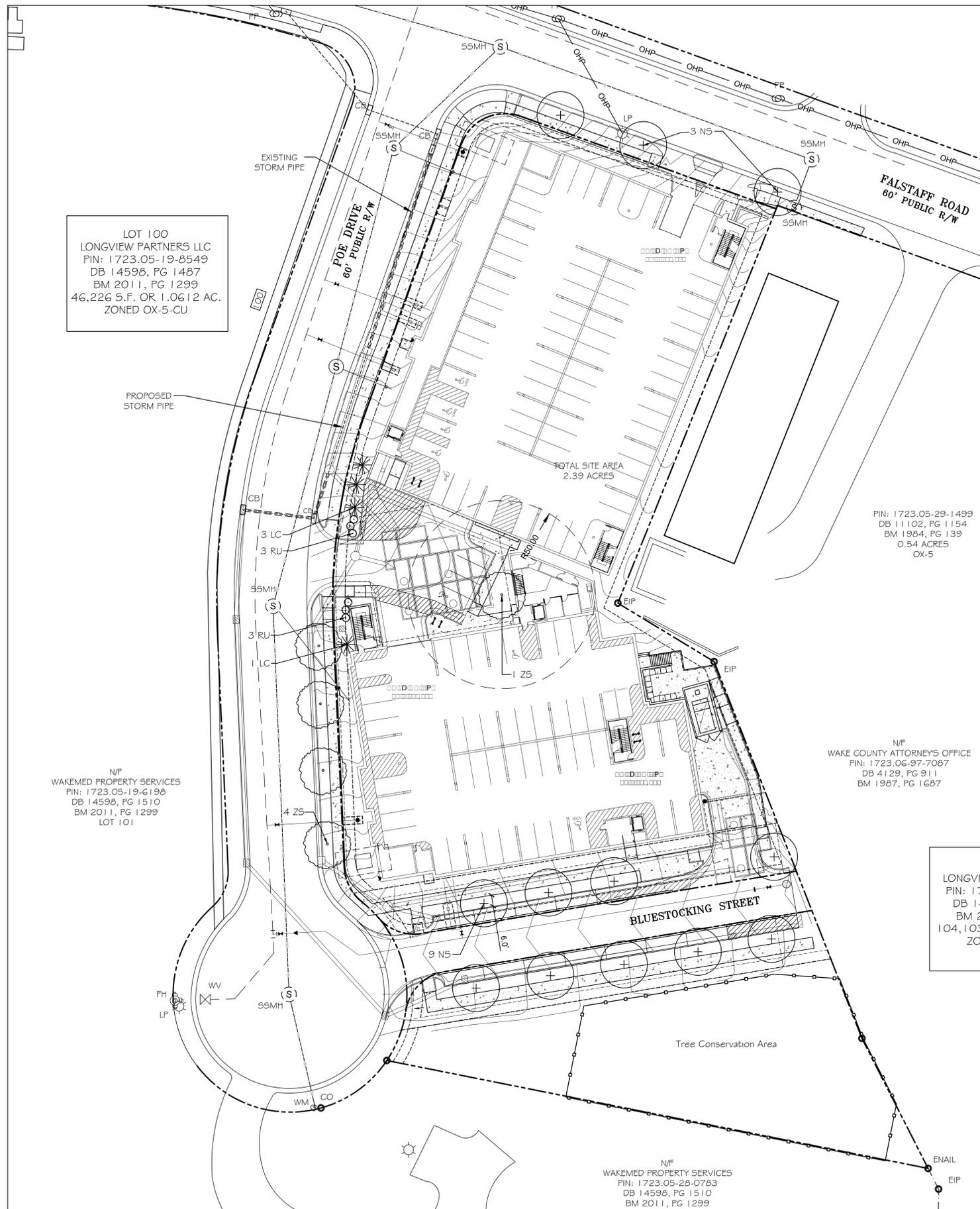
Drawing Scale 1" = 40'

Drawn By CS

Checked By JRC

Date Issued 05/24/17

C-3.0



NOTES:

- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
- ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
- STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
- PLANTING SEASON OCTOBER - APRIL. A TREE IMPACT PERMIT IS REQUIRED.
- ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

1 PRCR-03 TREE PLANTING DETAIL
 LA-3 NTS

City of Raleigh Planting Requirements:

- 1) STREET TREES:**
FALSTAFF ROAD:
 Provided: (3) 3" Caliper Black Gum, per 40 lf. Trees placed in 6' tree lawn. Trees spaced with respect to proposed utilities.
- POE DRIVE:**
 Provided: (4) 3" Caliper Zelkova, per 40 lf. Trees placed in 6' tree lawn. Fee-in-lieu to be paid for 5 street trees not installed due to storm line.
- BLUESTOCKING STREET:**
 Provided: (9) 3" Caliper Black Gum, per 40 lf. Trees placed in 6' tree lawn.
- We have applied for a tree impact permit.

PLANT SCHEDULE

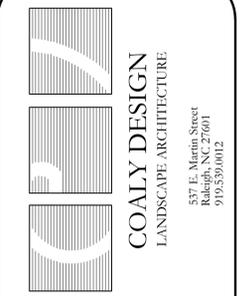
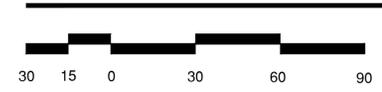
KEY	BOTANICAL / COMMON NAME	SIZE	ROOT	SPACING
ZS	Zelkova serrata / Village Green / Japanese Zelkova	3" Cal. / 10' HT.	CONT. / B & B	as indicated / 40' O.C.
NS	Nyssa sylvatica / Black Gum	3" Cal. / 10' HT.	CONT. / B & B	as indicated / 40' O.C.
LC	Loropetalum chinensis v.n. 'Darum' / Fringe Flower	3.5' at install	CONT.	5' O.C.
RU	Rhaptolepis umbellata 'Minor' / Indian Hawthorn	3.5' at install	CONT.	4' O.C.

Onsite improvements shown for reference only. Refer to Administrative Site Review Plan SR-51-17 (Transaction #515670) for detailed information.

PLANTING NOTES:

- All plant materials to comply with American Standard for Nursery Stock ANSI Z60.
- Plant locations to be approved in field prior to installation.
- Substitutions of plant materials specified can only occur with prior approval by Landscape Architect.
- Establish plant bed configurations. Landscape Architect to approve bed layout in field.
- Install plants and mulch beds with 4" of pinestraw.
- Lawn areas to be seeded and strawed.
- Landscape Contractor to maintain plant materials for a one year period following substantial completion.
- Areas damaged from plant relocation or other activities of Landscape Contractor to be reseeded and established at no additional cost to the owner.
- We have applied for a Tree Impact Permit.
- A fee-in-lieu will be paid for the (5) street trees not installed in PoE Drive due to the location of the storm pipe.

LANDSCAPE PLAN



LONGVIEW
 RALEIGH, NC

LANDSCAPE PLAN

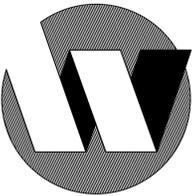
Consultants

Professional Seals

No.	Description	Date	By
1	City Comments	8.15.17	KJW
2	City Comments	9.21.17	KJW

No.	Description	Date	By
1	City Comments	8.15.17	KJW
2	City Comments	9.21.17	KJW

LA-3



**WINSTEAD
WILKINSON**
ARCHITECTS
P L L C

1848 Wake Forest Road
Raleigh, NC 27608
t. 919-832-2878
f. 919-832-7901
info@ww.us.com

New Building for:
**LONGVIEW
APARTMENTS**
RALEIGH, NORTH CAROLINA

PROJECT NUMBER
170521

DATE
MAY 23, 2017

REVISIONS

1. JUNE 29, 2017

2. AUGUST 2, 2017

FLOOR
PLAN

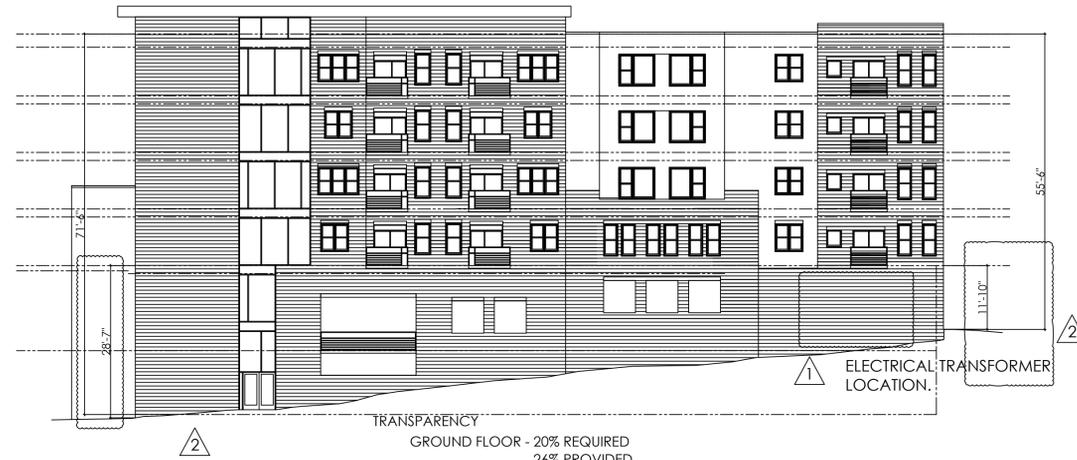
A102



TRANSFORMER
LOCATION.

TRANSPARENCY
GROUND FLOOR - 20% REQUIRED
26% PROVIDED
UPPER STORY - 15% REQUIRED
28% PROVIDED

BUILDING 1 POE DRIVE ELEVATION



TRANSFORMER
LOCATION.

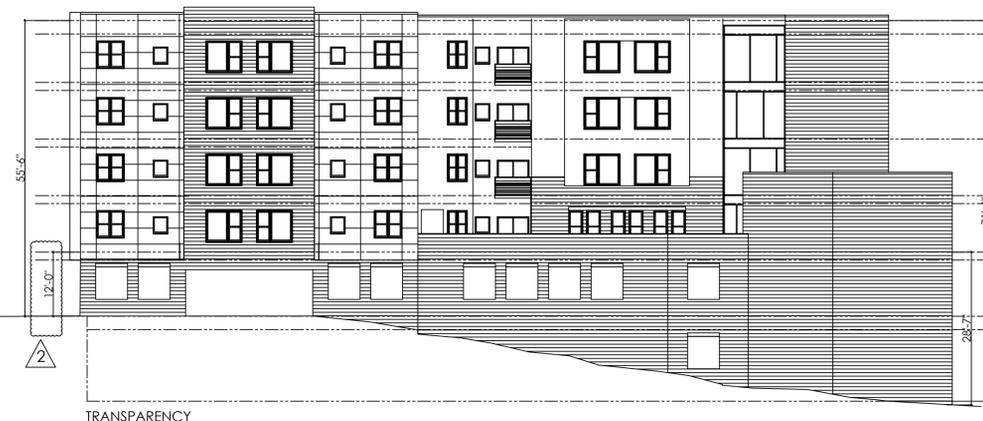
TRANSPARENCY
GROUND FLOOR - 20% REQUIRED
26% PROVIDED
UPPER STORY - 15% REQUIRED
21% PROVIDED

BUILDING 2 POE DRIVE ELEVATION



TRANSPARENCY
GROUND FLOOR - 20% REQUIRED
25% PROVIDED
UPPER STORY - 15% REQUIRED
21% PROVIDED

BUILDING 2 MULTI FAMILY RD ELEVATION



TRANSPARENCY
GROUND FLOOR - 20% REQUIRED
24% PROVIDED
UPPER STORY - 15% REQUIRED
25% PROVIDED

BUILDING 2 PARKING DECK ENTRY ELEVATION

1 BUILDINGS 1 & 2 EACH HAVE TWO LEVELS OF PARKING WITH NO HABITUAL SPACES. THE LOWEST LEVEL OF PARKING IS COMPLETELY BELOW GRADE ON THE MAJORITY OF THREE SIDES. THE ZONING CONDITIONS ALLOW FOR A MAXIMUM HEIGHT OF (95) FEET WHILE THE UDO ALLOWS FOR A MAXIMUM HEIGHT OF (75) FEET. THE MAX. HEIGHT FOR BUILDING 1 IS (73'-6") AND BUILDING 2 IS (71'-6").