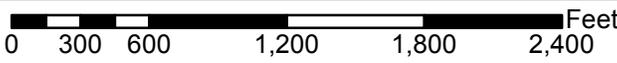
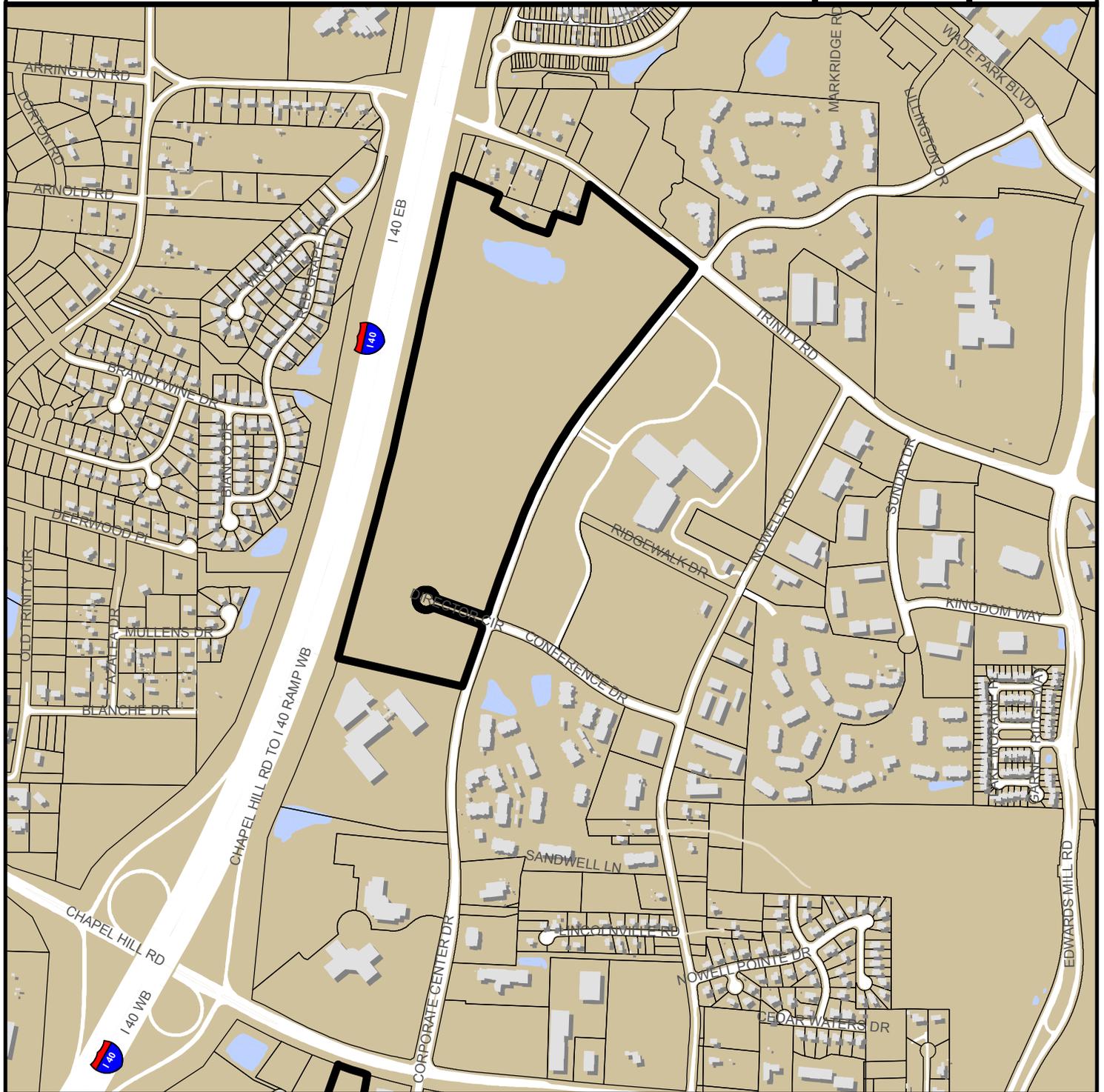


# DRIVE SHACK RALEIGH LLC SR-53-2017



Zoning: **OP-4-PK wSHOD-1**  
CAC: **West**  
Drainage Basin: **Richard Creek**  
Acreage: **21.88**  
Sq. Ft.: **61,908**

Planner: **Michael Walters**  
Phone: **(919) 996-2636**  
Applicant: **Drive Shack Raleigh LLC**  
Phone: **(423) 423-7648**





# Administrative Approval Action

SR-53-17 / Drive Shack Raleigh LLC  
Transaction# 517139, AA# 3682

City of Raleigh  
Development Services  
One Exchange Plaza  
Raleigh, NC 27601  
(919) 996-2626  
DS.help@raleighnc.gov  
www.raleighnc.gov

**REQUEST:** Development of an 18.08 acre site zoned OP-4-PK and within a SHOD-1 Overlay District into a three story (61,908 square foot) Outdoor Sports and Entertainment Facility including restaurants, driving range, and associated facilities.

**LOCATION:** This site is located on the east side Interstate 40, south of the Trinity Road overpass. Access to the site is gained off of Corporate Center Drive, south of the intersection of Corporate Center Drive and Trinity Road. This property is currently located outside of the City limits.

**DESIGN  
ADJUSTMENTS/  
ALTERNATES,  
ETC:**

A Special Use Permit ( A-67-17) for an Outdoor Sports and Entertainment facility in excess of 250 seats pursuant to Sections 6.4.5.C. and 10.2.9. of the Unified Development Ordinance was approved for this 18.08 acre parcel zoned Office Park -3-Parkway and located at 1021 Corporate Center Drive.

A Hardship Variance Request (A-101-17) was approved by the Board of Adjustment waiving the requirements of the Parkway frontage (3.4.3 c and 3.4.3 e) as applied to the proposed public street accessing the property off of Corporate Center Drive also allowing development within the 50' of the proposed road and no 50' wide landscape between the road and the facility. Also waived was the required tree conservation or affirmative tree planting (9.1.4 a and 9.1.4 e) within this parkway frontage

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Kimley-Horn and Associated, Inc, dated 8/4/17.

## **CONDITIONS OF APPROVAL AND NEXT STEPS:**

**Note: This document must be applied to the second sheet of all future submittals with the exception of final plats.**

**Prior to issuance of a land disturbing permit for the site:**

1. That in accordance with Section 9.4.4, a surety equal to the cost of clearing, grubbing and reseeded a site shall be paid to the city;
2. That a final tree conservation plan with permit be approved by the Forestry Specialist. The plan must show metes and bounds descriptions of all tree conservation areas, and tree protection fence around all tree conservation areas.

**Prior to the issuance of any site permits or approval of concurrent review process, whichever is applicable;**

3. That tree protection fence must be located in the field and inspected by Urban Forestry Staff;



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SR-53-17 / Drive Shack Raleigh LLC  
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4. That approval for a grease trap is obtained from the City of Raleigh Fats, Oils, and Grease program;
5. That a map be recorded to dedicate a City of Raleigh waterline easement for the proposed water meter that is outside of the public right of way;

**Prior to issuance of building permits:**

6. That a final inspection of required tree conservation areas, required street tree protection areas, and required street trees be completed by Urban Forestry staff;
7. That the preliminary subdivision (S-31-17) associated with this site plan is recorded in the Wake County Register of Deeds;

**Prior to issuance of building occupancy permit:**

8. That in accordance with Part 10A Section 9.2.2, an impervious surface as-built survey shall be reviewed and accepted by the City prior to final stormwater inspection approval
9. That in accordance with Part 10A Section 9.2.2, an as-built plan and certification any stormwater control device shall be reviewed and accepted by the City prior to final stormwater inspection approval or certificate.



# Administrative Approval Action

SR-53-17 / Drive Shack Raleigh LLC  
Transaction# 517139, AA# 3682

City of Raleigh  
Development Services  
One Exchange Plaza  
Raleigh, NC 27601  
(919) 996-2626  
DS.help@raleighnc.gov  
www.raleighnc.gov

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. To avoid allowing this plan approval to expire, the following must take place by the following dates:

**3-Year Expiration Date:** 9-20-2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Planning Dir.) Kenneth Bonner Date: 9/20/2017  
(RT)

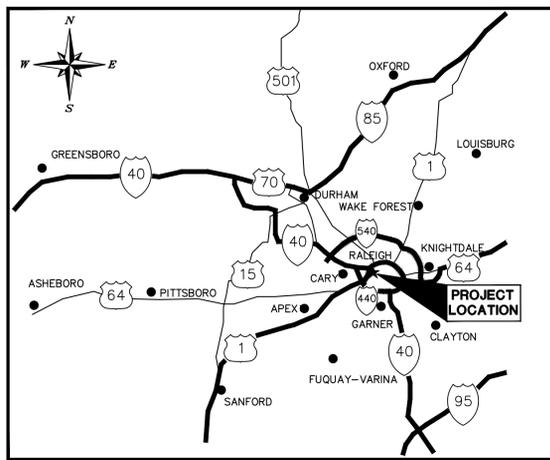
Staff Coordinator: Michael Walters

# PRELIMINARY SITE PLAN SUBMITTAL FOR: DRIVE SHACK

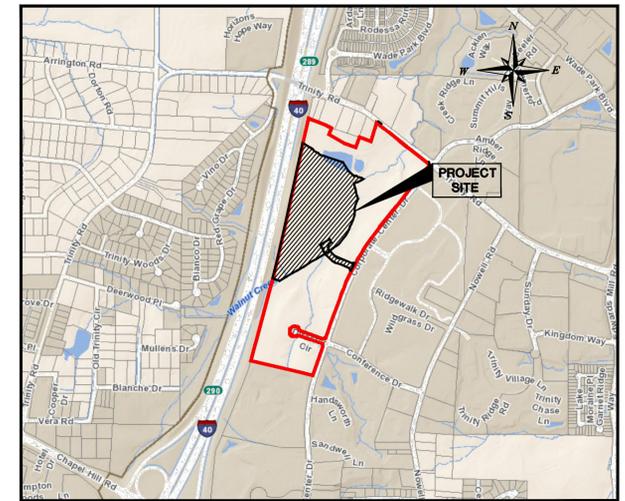
S-31-17  
SR-53-17

TRANS.# 517139  
SPECIAL USE PERMIT: A-67-17

1021 CORPORATE CENTER DRIVE  
RALEIGH, NORTH CAROLINA 27607  
A DEVELOPMENT BY: DRIVE SHACK RALEIGH, LLC.  
1345 AVENUE OF THE AMERICAS, 45th FLOOR  
NEW YORK, NEW YORK 10105  
PHONE: (423) 400-7648



PROJECT LOCATION  
NTS



VICINITY MAP

SCALE: 1" = 500'

## Administrative Site Review Application (for UDO Districts only)

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot Transaction Number Assigned Project Coordinator Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION			
Development Name <b>Drive Shack Raleigh LLC</b>			
Zoning District <b>OP-4-PK</b>	Overlay District (if applicable) <b>SHOD-1</b>	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Proposed Use <b>Outdoor Sports and Entertainment Facility</b>			
Property Address(es) <b>1021 Corporate Center Drive, Raleigh, NC 27607</b> Major Street Location: <b>Chapel Hill Road</b>			
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:			
P.I.N. <b>0774764860</b>	P.I.N.	P.I.N.	P.I.N.
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Office <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Banks <input type="checkbox"/> Industrial Building <input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> Cottage Court <input checked="" type="checkbox"/> Other: if other, please describe: <b>Outdoor Sports and Entertainment Facility</b>			

WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Project includes construction of driving range, restaurant, and associated facilities and infrastructure. Project also includes construction of new public internal access drive with culvert and associated infrastructure.		
	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE		
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	N/A		
CLIENT/DEVELOPER/OWNER	Company <b>Drive Shack Raleigh LLC</b> Name (s) <b>Mark Goins</b>		
	Address <b>1345 Avenue of the Americas, 45th Floor, New York, New York 10105</b>		
	Phone <b>423-423-7648</b>	Email <b>mgoins@driveshack.com</b>	Fax
CONSULTANT (Contact Person for Plans)	Company <b>Kimley-Horn &amp; Associates, Inc.</b> Name (s) <b>Chris Bostic</b>		
	Address <b>421 Fayetteville Street, Suite 600, Raleigh, NC, 27601</b>		
	Phone <b>919-677-2000</b>	Email <b>Chris.Bostic@Kimley-Horn.com</b>	Fax <b>919-677-2050</b>

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) <b>OP-4-PK</b>	Proposed building use(s)
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross <b>0</b>
Overlay District <b>SHOD-1</b>	Proposed Building(s) sq. ft. gross <b>61,908</b>
Total Site Acres <input checked="" type="checkbox"/> Inside City Limits <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) <b>61,908</b>
Off street parking: Required <input checked="" type="checkbox"/> Provided <b>425</b>	Proposed height of building(s) <b>50</b>
COA (Certificate of Appropriateness) case # <b>N/A</b>	# of stories <b>3</b>
BOA (Board of Adjustment) case # <b>A-67-17</b>	Ceiling height of 1 <sup>st</sup> Floor
CUD (Conditional Use District) case # <b>Z- N/A</b>	

Stormwater information	
Existing Impervious Surface <b>0</b> <input checked="" type="checkbox"/> acres/square feet	Flood Hazard Area <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Impervious Surface <b>8.92</b> <input checked="" type="checkbox"/> acres/square feet	If Yes, please provide: Alluvial Soils <input type="checkbox"/> FEMA Map Panel # <b>0774</b> Flood Study <b>N/A</b>
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

### SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **Kimley-Horn & Associates, Inc** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed **Sarah Watterson** Date **6/2/17**

Printed Name **Sarah Watterson**

Signed \_\_\_\_\_ Date \_\_\_\_\_

Printed Name \_\_\_\_\_

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

## Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS PLAN
C2.0	SITE PLAN
C3.0	GRADING AND DRAINAGE PLAN
C4.0	UTILITY PLAN
LT1.0	LIGHTING PLAN
LT1.1	LIGHTING PLAN
LT1.2	LIGHTING PLAN
B1.0	BUILDING ELEVATIONS
B1.1	BUILDING ELEVATIONS
C1.1	PRELIMINARY SUBDIVISION PLAN
L1.0	LANDSCAPE PLAN
D1.0	DUMPSTER DETAIL

## REVISIONS

NO.	DATE	DESCRIPTION	BY
2	8-4-17	RESPONSE TO CITY COMMENTS	WWH
1	7-5-17	RESPONSE TO CITY COMMENTS	LEF

This document, together with the concepts and designs presented herein, as an instrument of services, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

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DATE:  
**JUNE 7, 2017**

SEAL:  
JOB NUMBER:  
**018739000**

THE USE STANDARDS OF SECTION 6.4.5.C2 HAVE BEEN ADDRESSED VIA ISSUANCE OF SPECIAL USE PERMIT A-67-17.

### SURVEY NOTE:

EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY CHANDLER LAND SURVEYING, 83 ADAMS POINT DRIVE, GARNER, N.C. 27529, PHONE: 919-291-9163 AND DATED APRIL 15, 2017.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

MINIMUM CORNER CLEARANCE FROM CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST (20) FEET FROM THE POINT OF TANGENCY.

SOLID WASTE INSPECTIONS STATEMENT:  
THIS PLAN COMPLIES WITH SOLID WASTE DESIGN MANUAL TRASH SERVICE BY PRIVATE HAULER.

## PROJECT OWNER AND CONSULTANT

SITE DEVELOPER:  
DRIVE SHACK RALEIGH, LLC.  
1345 AVENUE OF THE AMERICAS, 45th FLOOR  
NEW YORK, NEW YORK 10105  
PHONE: (423) 400-7648  
ATTN.: MARK GOINS  
mgoins@driveshack.com

CIVIL ENGINEER:  
KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE ST., SUITE 600  
RALEIGH, NORTH CAROLINA 27601  
PHONE: (919) 653-2927  
ATTN.: CHRIS BOSTIC, P.E.  
chris.bostic@kimley-horn.com

LANDSCAPE ARCHITECT:  
KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE ST., SUITE 600  
RALEIGH, NORTH CAROLINA 27601  
PHONE: (919) 653-2927  
ATTN.: RICHARD BROWN, PLA  
richard.brown@kimley-horn.com

SURVEYOR:  
CHANDLER LAND SURVEYING,  
83 ADAMS POINT DRIVE  
GARNER, NC 27529  
PHONE: (919) 291-9163  
ATTN.: JOHN CHANDLER, PLS

PREPARED IN THE OFFICE OF:

# Kimley»»Horn

© 2017 Kimley-Horn and Associates, Inc.  
421 FAYETTEVILLE STREET - SUITE 600 - RALEIGH, NORTH CAROLINA 27601  
PHONE: (919) 853-1494

PRELIMINARY  
NOT FOR CONSTRUCTION

NC CERTIFICATE OF AUTHORIZATION: F-0102

**Kimley»»Horn**

© 2017 KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-853-1494  
WWW.KIMLEY-HORN.COM

KHA PROJECT  
018739000  
DATE  
06/07/2017  
SCALE AS SHOWN  
DESIGNED BY JCB  
DRAWN BY JCB  
CHECKED BY COB

COVER SHEET

DRIVE SHACK  
PREPARED FOR  
DRIVE SHACK RALEIGH, LLC.

RALEIGH  
NORTH CAROLINA

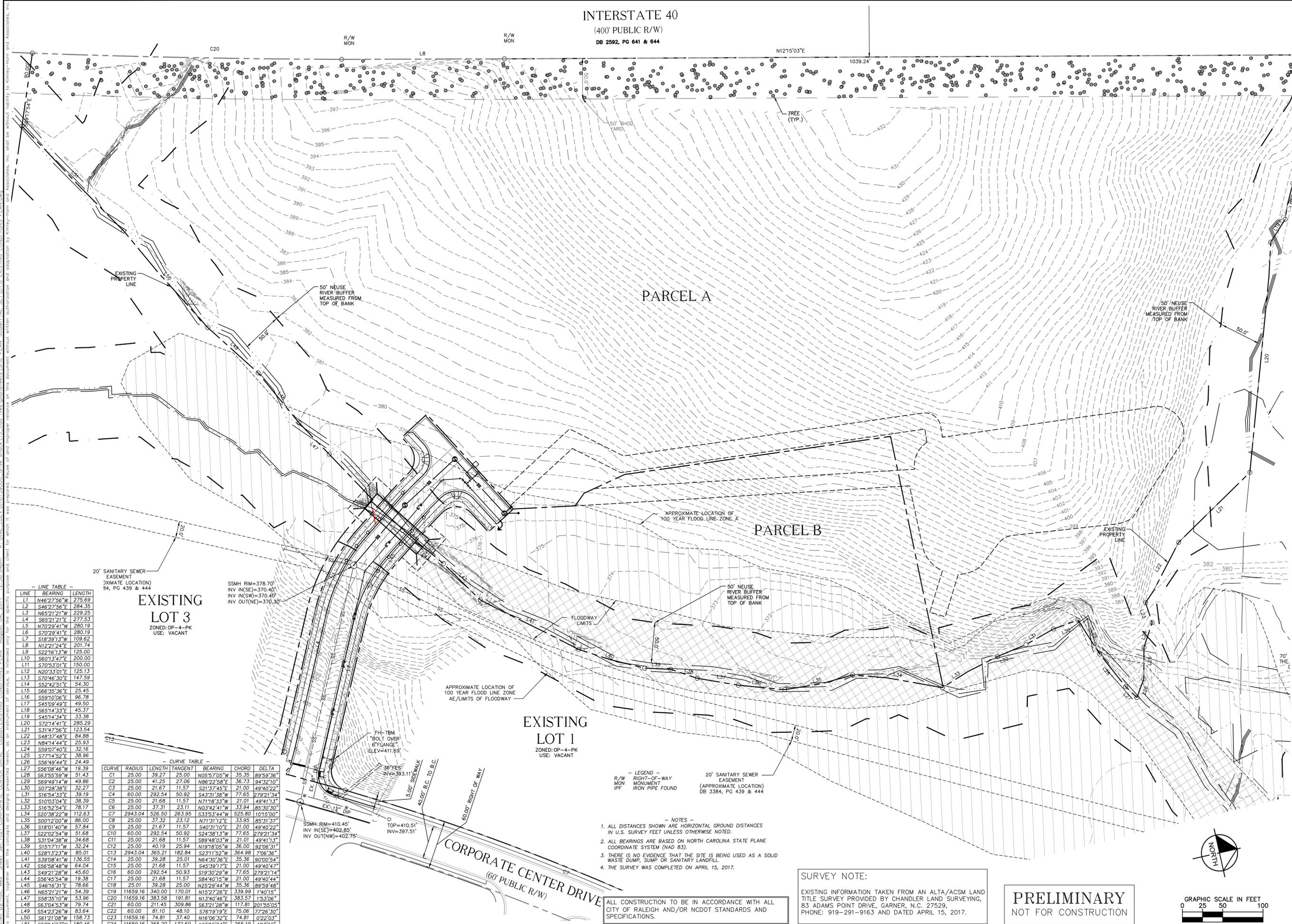
SHEET NUMBER  
C0.0

Plotled By: Hall, Web. Sheet Set: 1021 CORPORATE CENTER DRIVE - Layout-COVER SHEET - August 04, 2017 12:37:38pm K:\REAL\DEV\018739000-drive-shack-15-ecod\_files\plansheets\SITE PLAN SUBMITTAL SET\COLO COVER SHEET.dwg This document, together with the concepts and designs presented herein, as an instrument of services, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

INTERSTATE 40

(400' PUBLIC R/W)

DB 2592, PG 641 & 644



Plotted By: hll, Web: Sheet Set: 1021 CORPORATE CENTER DRIVE - LAYOUT EXISTING CONDITIONS PLAN - August 04, 2017, 12:38:04pm - K:\REAL\DEVA\018739000\_drive\_shack\_V15\_cad\_files\plan\sheet1021.dwg  
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— LINE TABLE —

LINE	BEARING	LENGTH
L1	N46°27'56"W	275.69
L2	S46°27'56"E	284.35
L3	N65°21'21"W	229.25
L4	S65°21'21"E	227.53
L5	N70°29'41"W	280.19
L6	S70°29'41"E	280.19
L7	S18°39'13"W	109.62
L8	N12°21'24"E	201.74
L9	S22°16'13"W	125.00
L10	S60°13'47"E	200.00
L11	S70°53'01"E	150.00
L12	N20°33'01"E	125.13
L13	S70°46'30"E	147.59
L14	S62°42'51"E	54.30
L15	S66°35'36"E	25.45
L16	S59°10'06"E	96.78
L17	S45°09'49"E	48.50
L18	S65°14'33"E	45.37
L19	S45°14'34"E	33.38
L20	S72°14'41"E	285.29
L21	S31°47'56"E	123.54
L22	S48°37'48"E	84.88
L23	N84°14'44"E	25.93
L24	S59°07'40"E	32.76
L25	S77°14'52"E	38.96
L26	S56°49'44"E	24.49
L27	S56°08'46"W	19.39
L28	S63°55'59"W	51.43
L29	S69°49'14"W	49.86
L30	S07°28'38"E	32.27
L31	S16°54'33"E	39.19
L32	S10°13'04"E	38.39
L33	S16°52'54"E	78.17
L34	S20°38'22"W	112.63
L35	S00°12'00"W	86.00
L36	S18°01'40"W	57.84
L37	S22°02'54"W	51.68
L38	S31°04'38"W	34.68
L39	S15°17'11"W	32.24
L40	S28°13'23"W	85.01
L41	S39°08'41"W	136.55
L42	S66°58'48"E	64.04
L43	S49°21'28"W	45.60
L44	S56°45'54"W	19.38
L45	S46°16'31"E	78.68
L46	N65°21'21"W	54.39
L47	S58°35'10"W	53.96
L48	S63°04'53"W	79.74
L49	S54°23'26"W	83.64
L50	S61°21'08"W	158.73
L51	S58°14'27"W	180.46

**EXISTING LOT 3**  
 ZONED: OP-4-PK  
 USE: VACANT

— CURVE TABLE —

CURVE	RADIUS	LENGTH	TANGENT	BEARING	CHORD	DELTA
C1	25.00	39.27	25.00	N05°57'05"W	35.35	89°59'36"
C2	25.00	41.25	27.06	N86°22'58"E	36.73	94°32'10"
C3	25.00	21.67	11.57	S21°37'45"E	21.00	49°40'22"
C4	60.00	292.54	50.92	S43°31'38"W	77.65	279°21'34"
C5	25.00	21.68	11.57	N71°18'33"W	21.01	49°41'37"
C6	25.00	37.31	23.11	N03°42'41"W	33.94	85°30'30"
C7	2943.04	526.50	263.95	S33°53'44"W	525.80	101°5'00"
C8	25.00	37.32	23.12	N71°31'12"E	33.95	85°31'37"
C9	25.00	21.67	11.57	S40°31'10"E	21.00	49°40'22"
C10	60.00	292.54	50.92	S24°38'13"W	77.65	279°21'34"
C11	25.00	21.68	11.57	S89°48'03"W	21.01	49°41'37"
C12	25.00	40.19	25.94	N19°18'05"W	36.00	92°06'31"
C13	2943.04	365.21	182.84	S23°11'52"W	364.98	706°36"
C14	25.00	39.28	25.01	N64°30'36"E	35.36	90°00'54"
C15	25.00	21.68	11.57	S45°39'17"E	21.00	49°40'47"
C16	60.00	292.54	50.93	S19°30'29"W	77.65	279°21'14"
C17	25.00	21.68	11.57	S84°40'15"W	21.00	49°40'44"
C18	25.01	39.28	25.00	N25°29'44"W	35.36	89°59'48"
C19	11659.16	340.00	170.01	N15°22'26"E	339.89	1°40'15"
C20	11659.16	383.58	191.81	N13°40'46"E	383.57	1°53'06"
C21	60.00	21.45	309.86	S63°21'28"W	117.81	201°55'05"
C22	60.00	81.10	48.10	S76°19'19"E	75.06	77°26'30"
C23	11659.16	74.81	37.40	N16°06'32"E	74.81	0°22'03"
C24	11659.16	265.20	132.60	N15°16'24"E	265.19	1°18'12"

SSMH RIM=378.70'  
 INV IN(SE)=370.40'  
 INV IN(SW)=370.40'  
 INV OUT(NE)=370.30'

SSMH RIM=410.45'  
 INV IN(SE)=402.85'  
 INV OUT(NW)=402.75'

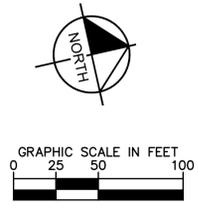
CI TOP=410.51'  
 INV=397.51'

LEGEND —  
 — RIGHT-OF-WAY MONUMENT  
 — IRON PIPE FOUND  
 20' SANITARY SEWER EASEMENT (APPROXIMATE LOCATION) DB 3384, PG 439 & 444

- NOTES —
1. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
  2. ALL BEARINGS ARE BASED ON NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD 83).
  3. THERE IS NO EVIDENCE THAT THE SITE IS BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
  4. THE SURVEY WAS COMPLETED ON APRIL 15, 2017.

**SURVEY NOTE:**  
 EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY CHANDLER LAND SURVEYING, 83 ADAMS POINT DRIVE, GARNER, N.C. 27529, PHONE: 919-291-9163 AND DATED APRIL 15, 2017.

**PRELIMINARY**  
 NOT FOR CONSTRUCTION



No.	REVISIONS	DATE	BY
2	RESPONSE TO CITY COMMENTS	8/4/17	WHT
1	RESPONSE TO CITY COMMENTS	7/5/17	LEF

**Kimley»Horn**  
 © 2017 KIMLEY-HORN AND ASSOCIATES, INC.  
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 PHONE: 919-835-1494  
 WWW.KIMLEY-HORN.COM

KHA PROJECT	018739000
DATE	06/07/2017
SCALE AS SHOWN	JCB
DESIGNED BY	JCB
DRAWN BY	JCB
CHECKED BY	COB

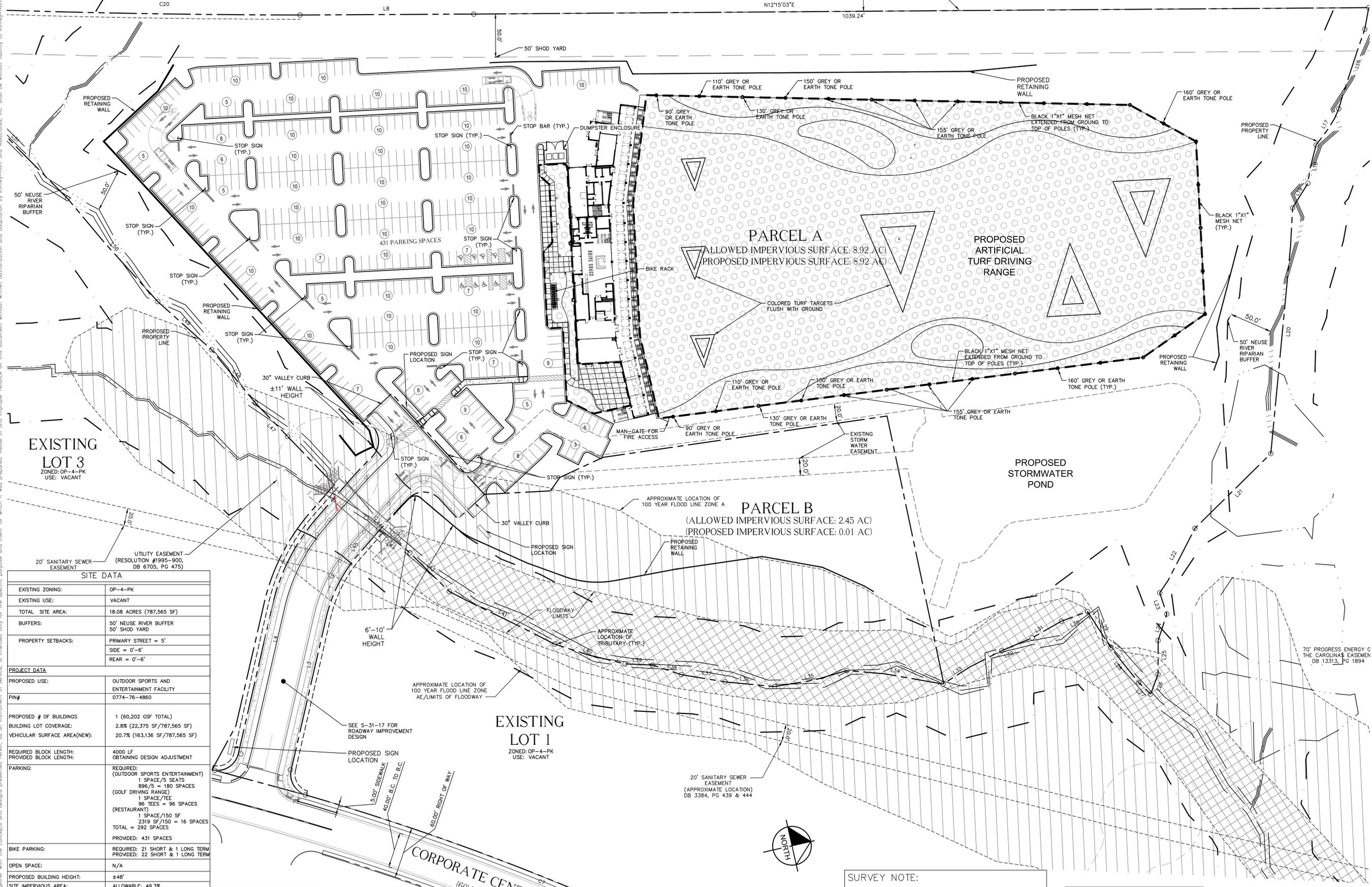
**EXISTING CONDITIONS PLAN**

**DRIVE SHACK**  
 PREPARED FOR  
**DRIVE SHACK RALEIGH, LLC.**  
 RALEIGH NORTH CAROLINA

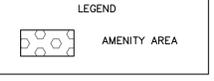
SHEET NUMBER  
**C1.0**

Plotted By: Hail, Wes    Sheet: Sct:1021 CORPORATE CENTER DRIVE    Layout: SITE PLAN    August 04, 2017 12:38:15pm    K:\PAL\_LDEV\018739000\_drive shack\15\_cad files\plan sheets\SITE PLAN SUBMITTAL SET\C2.0 SITE PLAN.dwg  
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**INTERSTATE 40**  
 (400' PUBLIC R/W)  
 DB 2592, PG 641 & 644

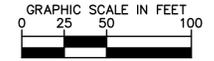


SITE DATA	
EXISTING ZONING:	OP-4-PK
EXISTING USE:	VACANT
TOTAL SITE AREA:	18.08 ACRES (787,565 SF)
BUFFERS:	50' NEUSE RIVER BUFFER 50' SHOD YARD
PROPERTY SETBACKS:	PRIMARY STREET = 5' SIDE = 0'-6" REAR = 0'-6"
PROJECT DATA	
PROPOSED USE:	OUTDOOR SPORTS AND ENTERTAINMENT FACILITY
PIN#	0774-76-4860
PROPOSED # OF BUILDINGS	1 (60,202 CSF TOTAL)
BUILDING LOT COVERAGE:	2.8% (22,375 SF/787,565 SF)
VEHICULAR SURFACE AREA(NEW):	20.7% (163,136 SF/787,565 SF)
REQUIRED BLOCK LENGTH:	4000 LF
PROVIDED BLOCK LENGTH:	OBTAINING DESIGN ADJUSTMENT
PARKING:	REQUIRED: (OUTDOOR SPORTS ENTERTAINMENT) 1 SPACE/5 SEATS 896/5 = 180 SPACES (GOLF DRIVING RANGE) 1 SPACE/TEE 96 TEES = 96 SPACES (RESTAURANT) 1 SPACE/150 SF 2319 SF/150 = 16 SPACES TOTAL = 292 SPACES PROVIDED: 431 SPACES
BIKE PARKING:	REQUIRED: 21 SHORT & 1 LONG TERM PROVIDED: 22 SHORT & 1 LONG TERM
OPEN SPACE:	N/A
PROPOSED BUILDING HEIGHT:	±48'
SITE IMPERVIOUS AREA:	ALLOWABLE: 49.3% PROPOSED: 49.3% (388,555 SF/787,565 SF)
FLOOR AREAS:	LEVEL 1: 22,497 SF LEVEL 2: 20,683 SF LEVEL 3: 17,022 SF



**SURVEY NOTE:**  
 EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY CHANDLER LAND SURVEYING, 83 ADAMS POINT DRIVE, GARNER, N.C. 27529, PHONE: 919-291-9163 AND DATED APRIL 15, 2017.

**PRELIMINARY**  
 NOT FOR CONSTRUCTION



NO.	REVISIONS	DATE	BY
2	RESPONSE TO CITY COMMENTS	8/14/17	WHT
1	RESPONSE TO CITY COMMENTS	7/5/17	LEF

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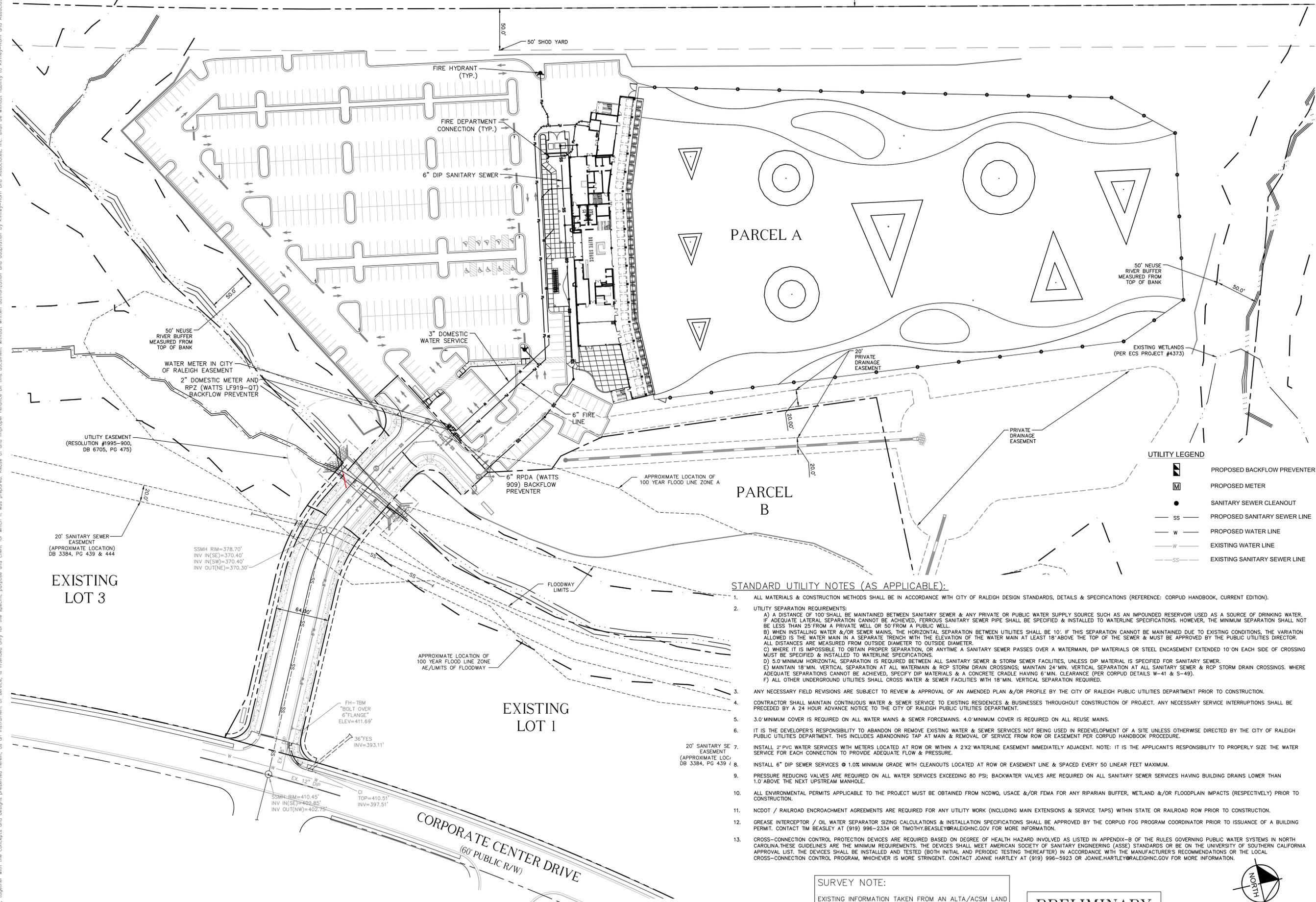
KHA PROJECT	018739000
DATE	06/07/2017
SCALE AS SHOWN	JCB
DESIGNED BY	JCB
DRAWN BY	JCB
CHECKED BY	COB

**SITE PLAN**

**DRIVE SHACK**  
 PREPARED FOR  
**DRIVE SHACK RALEIGH, LLC.**  
 RALEIGH NORTH CAROLINA  
 SHEET NUMBER  
**C2.0**

Plotted By: Hall, Web. Sheet Set: 1021 CORPORATE CENTER DRIVE - Layout: UTILITY PLAN - August 04, 2017 12:38:42pm. K:\RAL\_LDE\181739000\_drive\_shack\15\_cod\_files\plansheets\SITE PLAN SUBMITTAL SET\C4.0 UTILITY PLAN.dwg  
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DB 2092, PG 041 of 044



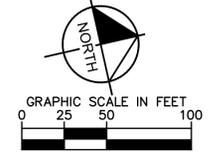
**UTILITY LEGEND**

	PROPOSED BACKFLOW PREVENTER
	PROPOSED METER
	SANITARY SEWER CLEANOUT
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE

- STANDARD UTILITY NOTES (AS APPLICABLE):**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
  - UTILITY SEPARATION REQUIREMENTS:
    - A) A DISTANCE OF 100 SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
    - B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
    - C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
    - D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
    - E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
    - F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
  - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
  - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
  - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
  - INSTALL 2" PVC WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
  - INSTALL 6" DIP SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 50' LINEAR FEET MAXIMUM.
  - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
  - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
  - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
  - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
  - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

**SURVEY NOTE:**  
 EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY CHANDLER LAND SURVEYING, 83 ADAMS POINT DRIVE, GARNER, N.C. 27529, PHONE: 919-291-9163 AND DATED APRIL 15, 2017.

**PRELIMINARY**  
 NOT FOR CONSTRUCTION



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

No.	REVISIONS	DATE	BY
2	RESPONSE TO CITY COMMENTS	8/14/17	WHT
1	RESPONSE TO CITY COMMENTS	7/5/17	LEF

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KHA PROJECT	018739000
DATE	06/07/2017
SCALE	AS SHOWN
DESIGNED BY	JCB
DRAWN BY	JCB
CHECKED BY	COB

**UTILITY PLAN**

**DRIVE SHACK**  
 PREPARED FOR  
**DRIVE SHACK RALEIGH, LLC.**  
 RALEIGH NORTH CAROLINA

SHEET NUMBER  
**C4.0**

Plotted By: Guy, Brandon  
 Sheet Set: 1021 CORPORATE CENTER DRIVE Layout: L1.0 LANDSCAPE PLAN August 04, 2017 11:15:19am  
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**INTERSTATE 40**  
 (400' PUBLIC R/W)  
 DB 2592, PG 641 & 644

EXISTING RW

PRIMARY TREE  
 CONSERVATION AREA -  
 SEE SUBDIVISION PLANS  
 TC1.0, TC1.1

PRIMARY TREE  
 CONSERVATION AREA -  
 SEE SUBDIVISION PLANS  
 TC1.0, TC1.1

RETAINING WALL -  
SEE SHEET C3.0

NEUSE RIVER  
RIPARIAN  
BUFFER

PROPOSED  
PROPERTY  
LINE

PROPOSED SIGN  
PROPOSED  
C-3 YARD

OUTDOOR AMENITY AREA  
(5.05 AC)

VEGETATIVE SCREENING  
PER 7.2.6.C.

PROPOSED  
STORMWATER  
POND

PROPOSED  
STORMWATER  
EASEMENT

PARCEL B

PARCEL A

UTILITY EASEMENT (RESOLUTION  
#1995-900, DB 6705, PG 475)

SUBDIVISION STREET TREES -  
SEE SUBDIVISION PLANS L1.0

EXISTING  
LOT 3  
ZONED: OP-4-PK  
USE: VACANT

APPROXIMATE LOCATION OF  
TRIBUTARY (TYP.)

EXISTING  
LOT 1  
ZONED: OP-4-PK  
USE: VACANT

20' SANITARY SEWER  
EASEMENT  
(APPROXIMATE LOCATION)  
DB 3384, PG 439 & 444

**LEGEND**

	TREE CONSERVATION AREA
	OUTDOOR AMENITY AREA

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
	ACE VAL	29	Acer buergerianum 'Valynor'™	Trident Maple	B&B	3" Cal
	QL	50	Quercus laurifolia	Laurel Oak	B&B	3" Cal
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	
	ID	119	Ilex cornuta 'Dwarf Burford'	Dwarf Burford Holly	B & B	
	MC	123	Myrica cerifera	Wax Myrtle	B & B	

CORPORATE CENTER DRIVE  
 (60' PUBLIC R/W)

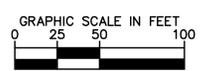
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 83 ADAMS POINT DRIVE, GARNER, N.C. 27529,  
 PHONE: 919-291-9163 AND DATED APRIL 15, 2017.

**LANDSCAPE REQUIREMENTS & CALCULATIONS**

AREA TO BE LANDSCAPED	CODE REQUIREMENT	STREET	SQUARE FEET/ LINEAR FEET	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	CODE SECTION
OUTDOOR AMENITY AREA	10% OF NET SITE AREA	-	18,12 AC	18.12 * 10% = 1.81 AC	5.05 AC	1.5.3.C
STREET TREES	1 CANOPY TREE SPACED 40' O.C.	PROPOSED STREET 'A'	380'	(380 / 40) = 10 CANOPY TREES (PER SIDE)	10 CANOPY TREES PROVIDED (PER SIDE)	8.4.4.A
VEHICULAR SURFACE AREA	1 TREE PER 2,000 SF OF VEHICULAR SURFACE AREA (VSA)	-	157,988 SF	157,988 / 2,000 = 79 SHADE TREES	79 SHADE TREES	7.1.7
STORMWATER POND SCREENING	SCREENING 75% OF VERTICAL PLANE AROUND THE FACILITY TO AVERAGE HEIGHT OF 6'	-	-	(SEE PLAN FOR LANDSCAPE REFERENCE)	(SEE PLAN FOR LANDSCAPE REFERENCE)	7.2.6.C

**PRELIMINARY**  
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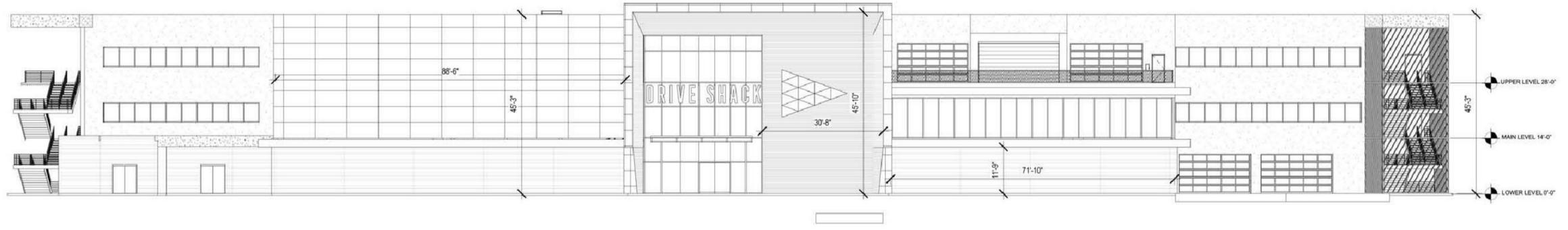
No.	REVISIONS	DATE	BY
2	RESPONSE TO CITY COMMENTS	8/4/17	WHH
1	RESPONSE TO CITY COMMENTS	7/5/17	LEF

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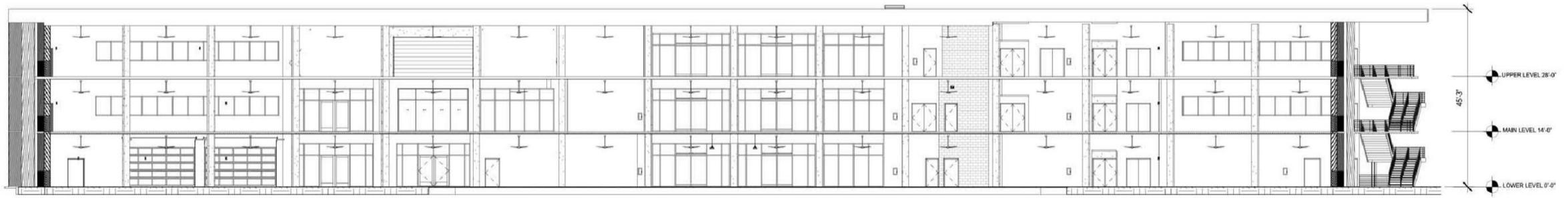
KHA PROJECT	018739000
DATE	06/07/2017
SCALE	AS SHOWN
DESIGNED BY	JCB
DRAWN BY	JCB
CHECKED BY	COB

**LANDSCAPE PLAN**

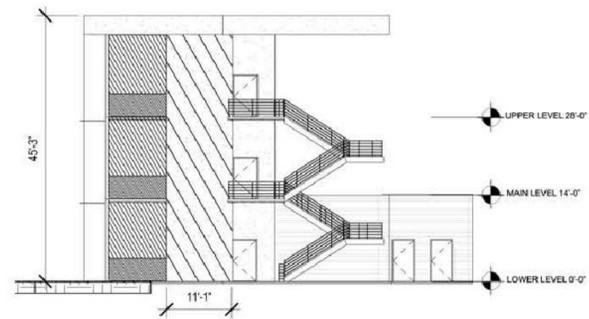
**DRIVE SHACK**  
 PREPARED FOR  
**DRIVE SHACK RALEIGH, LLC.**  
 NORTH CAROLINA  
 RALEIGH  
 SHEET NUMBER  
**L1.0**



1 SOUTH ELEVATION  
1/16" = 1'-0"



2 NORTH ELEVATION  
1/16" = 1'-0"

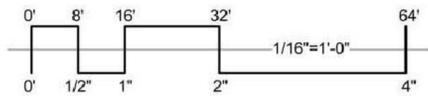


3 WEST ELEVATION  
1/16" = 1'-0"

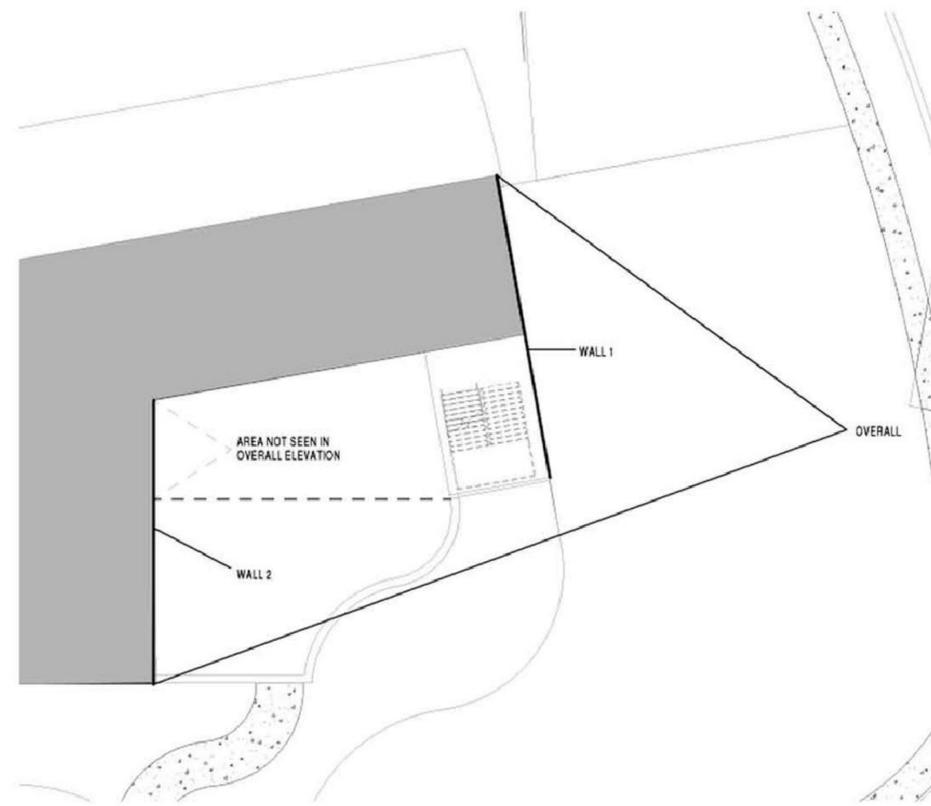
# DRIVE SHACK

JUNE 30, 2017

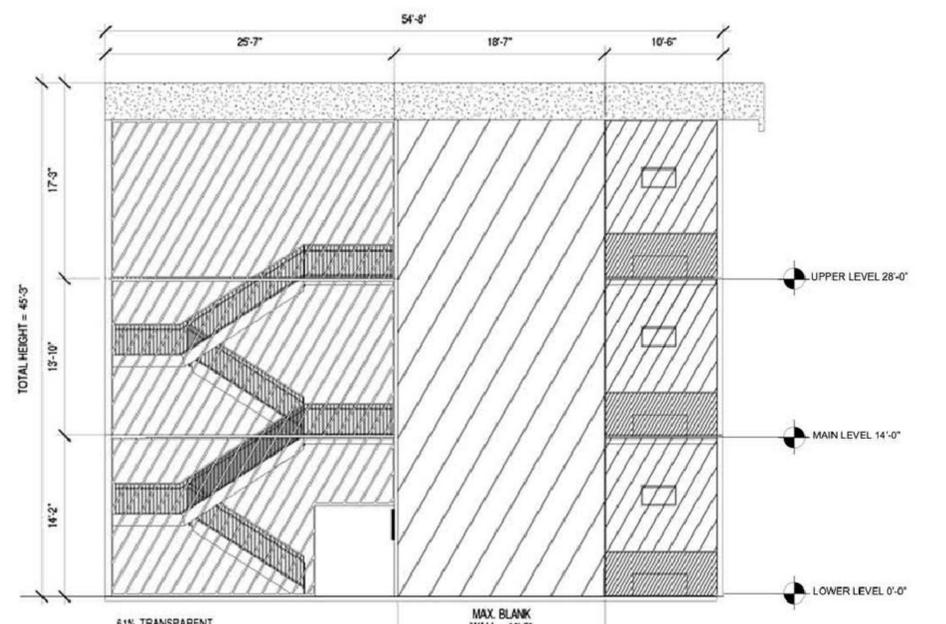
RALEIGH, NC



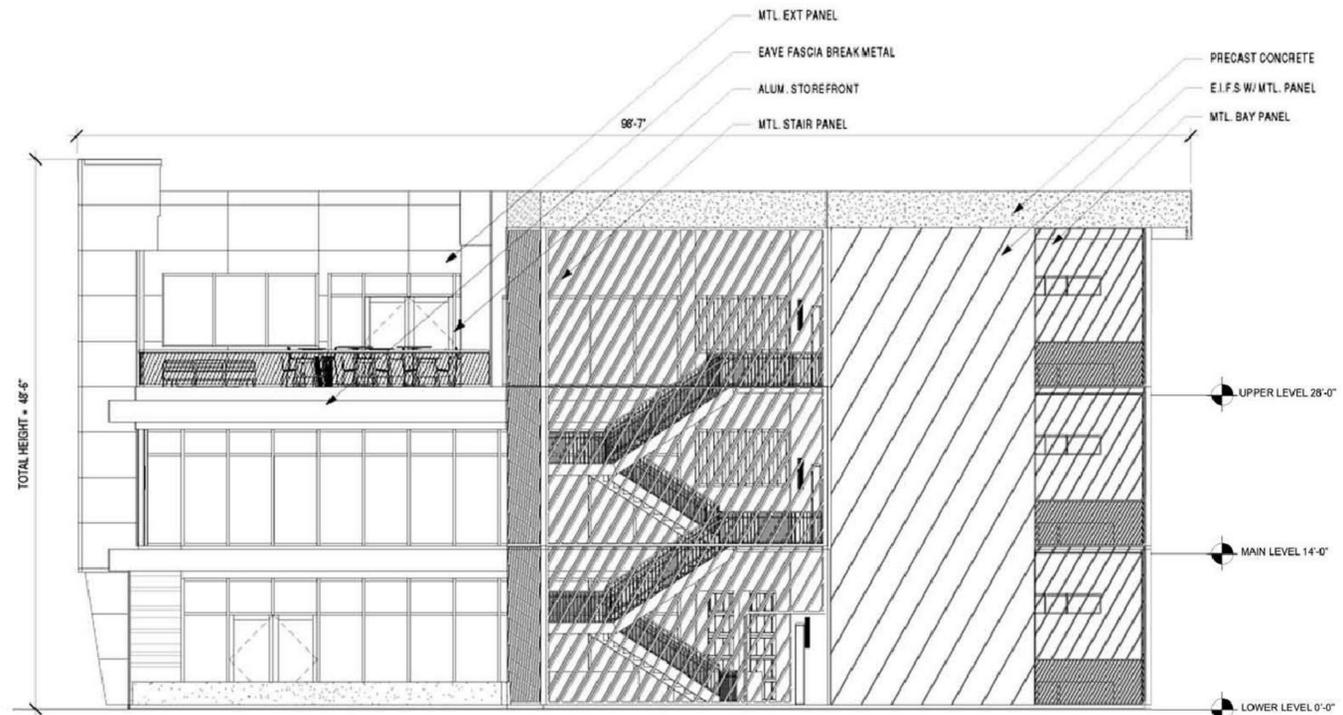
INCH INCREMENTS SHOWN ARE FULL SCALE ON THE SHEET, IF AT ANY OTHER LENGTH, SCALE DRAWING PROPORTIONALLY.



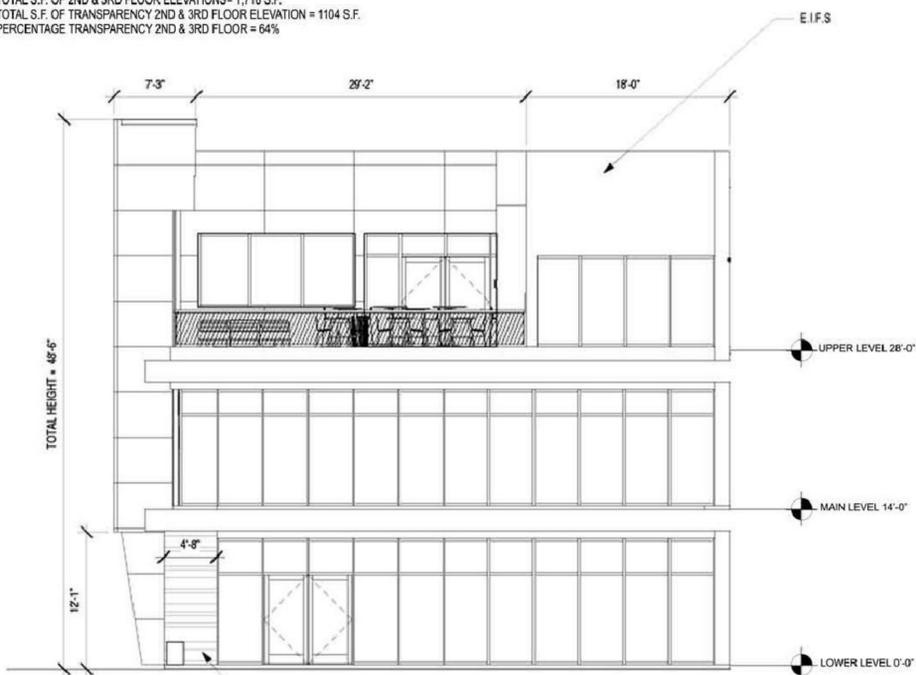
**B PLAN-LOCATION OF VIEWS**  
1/16" = 1'-0"



**C WALL 1**  
1/8" = 1'-0"  
TRANSPARENCY CALCULATIONS  
TOTAL S.F. FIRST FLOOR ELEVATION = 738 S.F.  
TOTAL S.F. OF TRANSPARENCY FIRST FLOOR ELEVATION = 490 S.F.  
PERCENTAGE TRANSPARENCY FIRST FLOOR = 66%  
TOTAL S.F. OF 2ND & 3RD FLOOR ELEVATIONS = 1,718 S.F.  
TOTAL S.F. OF TRANSPARENCY 2ND & 3RD FLOOR ELEVATION = 1104 S.F.  
PERCENTAGE TRANSPARENCY 2ND & 3RD FLOOR = 64%



**A STREET SIDE ELEVATION**  
1/8" = 1'-0"  
TRANSPARENCY CALCULATIONS  
TOTAL S.F. FIRST FLOOR ELEVATION = 1260 S.F.  
TOTAL S.F. OF TRANSPARENCY FIRST FLOOR ELEVATION = 808 S.F.  
PERCENTAGE TRANSPARENCY FIRST FLOOR = 64%  
TOTAL S.F. OF 2ND & 3RD FLOOR ELEVATIONS = 3,110 S.F.  
TOTAL S.F. OF TRANSPARENCY 2ND & 3RD FLOOR ELEVATION = 1,546 S.F.  
PERCENTAGE TRANSPARENCY 2ND & 3RD FLOOR = 50%  
CALCULATIONS BASED ON WHAT IS SEEN IN THIS ELEVATION. IT DOES NOT INCLUDE THE PORTION OF WALL 2 HIDDEN BEHIND STAIR TOWER (SEE PLAN)

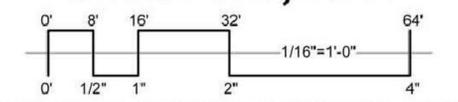


**D WALL 2**  
1/8" = 1'-0"  
TRANSPARENCY CALCULATIONS  
TOTAL S.F. FIRST FLOOR ELEVATION = 720 S.F.  
TOTAL S.F. OF TRANSPARENCY FIRST FLOOR ELEVATION = 496 S.F.  
PERCENTAGE TRANSPARENCY FIRST FLOOR = 69%  
TOTAL S.F. OF 2ND & 3RD FLOOR ELEVATIONS = 1,796 S.F.  
TOTAL S.F. OF TRANSPARENCY 2ND & 3RD FLOOR ELEVATION = 937 S.F.  
PERCENTAGE TRANSPARENCY 2ND & 3RD FLOOR = 52%

# DRIVE SHACK

## RALEIGH, NC

JUNE 30, 2017



INCH INCREMENTS SHOWN ARE FULL SCALE ON THE SHEET, IF AT ANY OTHER LENGTH, SCALE DRAWING PROPORTIONALLY.