



Administrative Approval Action

Trophy Brewing and Pizza Expansion: SR-53-18,
Transaction# 557249, AA#3872

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located at the southeastern corner of the intersection of West Morgan Street and Mayo Street. The site address is 827 West Morgan Street and the PIN number is 1703288818.

REQUEST: The applicant proposes to expand an existing 5,427 square foot restaurant by 756 square feet for a total of 6,183 square feet of building space. The site is located on 0.25 acres and zoned Neighborhood Mixed Use with Urban Limited frontage (NX-5-UL) with Special Residential Parking Overlay District (SRPOD).

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:

One Variance request was approved by the Board of Adjustment, noted below:

1. The Board of Adjustment granted relief from UDO Section 7.1.3 C.3, where 12 on-site parking spaces would be required. The approval permits this use to not require 12 on-site parking spaces. See Board of Adjustment Case A-88-18 for additional details.

One Design Adjustment has been approved by the Development Services Director Designee for this project, noted below.

1. Design Adjustment application DA-101-2018 as it relates to cross access requirements.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 10/18/2018 by Kimberly Wicker of Coaly Design.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

CONCURRENT SITE REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.



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LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

| | | | |
|-------------------------------------|---------------------------------|--------------------------|------------------------|
| <input type="checkbox"/> | City Code Covenant | <input type="checkbox"/> | Slope Easement |
| <input type="checkbox"/> | Stormwater Maintenance Covenant | <input type="checkbox"/> | Transit Easement |
| <input type="checkbox"/> | Utility Placement Easement | <input type="checkbox"/> | Cross Access Easement |
| <input checked="" type="checkbox"/> | Sidewalk Easement | <input type="checkbox"/> | Public Access Easement |
| | | <input type="checkbox"/> | Other: |

BUILDING PERMITS – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Provide fire flow analysis.

Engineering

2. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
3. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.
4. An encroachment agreement for bike racks within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.
5. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.
6. Proposed public street right-of-way shall be dedicated to the City of Raleigh as shown on the preliminary plan, recorded in the Wake County Registry, and a copy of the recorded map shall be provided to the City prior to building permit issuance.



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7. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of recordation. If a recorded copy of this document is not provided, further recordings and building permit issuance will be withheld.

Urban Forestry

8. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 4 street trees along West Morgan Street and 2 street trees along Mayo Street.

The following are required prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. All street lights and street signs required as part of the development approval are installed.
5. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
6. Final inspection of all right of way street trees by Urban Forestry Staff.



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EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 11-20-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) _____

Date: 11/20/18

Staff Coordinator: Daniel L. Stegall

Design Adjustment Staff Response



DEVELOPMENT SERVICES DEPARTMENT

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

| | | | |
|--|--|--|--|
| PROJECT | Project Name | Trophy Brewing | |
| | Development Case Number | SR-53-2018 | |
| | Transaction Number | 557249 | |
| | Design Adjustment Number | DA - 101 - 2018 | |
| STAFF RESPONSE | Staff recommendation based upon the findings in the applicable code(s): | | |
| | <input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access | <input type="checkbox"/> UDO Art. 8.5 Existing Streets | |
| | <input type="checkbox"/> UDO Art. 8.4 New Streets | <input type="checkbox"/> Raleigh Street Design Manual | |
| | Staff <input checked="" type="checkbox"/> SUPPORTS <input type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request. | | |
| | DEPARTMENTS | | |
| | <input type="checkbox"/> Dev. Services Planner | <input type="checkbox"/> City Planning | |
| | <input checked="" type="checkbox"/> Development Engineering <i>Kevin Kiew</i> 10-5-18 | <input type="checkbox"/> Transportation | |
| | <input type="checkbox"/> Engineering Services | <input type="checkbox"/> Parks & Recreation and Cult. Res. | |
| | <input type="checkbox"/> Public Utilities | | |
| | CONDITIONS: | | |
| | | | |
| Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY | | | |



 Authorized Signature KENNETH W. PITCHER, PE, MPA Date 11/20/2018

ENGINEERING AND INFRASTRUCTURE MANAGER

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.
 Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Design Adjustment Application



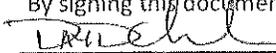
DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

| | | | |
|---|--|---------------------------|-----------------------|
| PROJECT | Project Name Trophy Brewing and Pizza | | |
| | Case Number SR-53-2018 | | |
| | Transaction Number 557249 | | |
| OWNER | Name Morgan West, LLC | | |
| | Address 301 Fayetteville Street - Unit 2808 | | City Raleigh |
| | State NC | Zip Code 27601 | Phone |
| CONTACT | Name Kimberly Wicker, RLA | | Firm Coaly Design, PC |
| | Address 300 / 200 Parham Street, Suite G | | City Raleigh |
| | State NC | Zip Code 27601 | Phone 919-539-0012 |
| REQUEST | I am seeking a Design Adjustment from the requirements set forth in the following: | | |
| | <input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access | - See page 2 for findings | |
| | <input type="checkbox"/> UDO Art. 8.4 New Streets | - See page 3 for findings | |
| | <input type="checkbox"/> UDO Art. 8.5 Existing Streets | - See page 4 for findings | |
| | <input checked="" type="checkbox"/> Raleigh Street Design Manual | - See page 5 for findings | |
| | Provide details about the request; (please attach a memorandum if additional space is needed): | | |
| Requesting a design adjustment for the cross access requirement of RSDM 6.2 and UDO 8.3. The site has an existing building located on / near the side and rear property lines and has an Urban Limited Frontage prohibiting parking / vehicular access along the front. | | | |

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.


 Owner/Owner's Representative Signature 7/2/18
Date

| CHECKLIST | |
|--|--|
| Signed Design Adjustment Application | <input checked="" type="checkbox"/> Included |
| Page(s) addressing required findings | <input checked="" type="checkbox"/> Included |
| Plan(s) and support documentation | <input checked="" type="checkbox"/> Included |
| Notary page (page 6) filled out; Must be signed by property owner | <input checked="" type="checkbox"/> Included |
| First Class stamped and addressed envelopes with completed notification letter | <input type="checkbox"/> Included |

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
 Development Services, Development Engineering
 One Exchange Plaza, Suite 500
 Raleigh NC, 27601

| | | |
|---------------------|----------------|--------|
| For Office Use Only | RECEIVED DATE: | DA - - |
|---------------------|----------------|--------|

Individual Acknowledgement



DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA
COUNTY OF Wake

INDIVIDUAL

I, Lori Page Clay, a Notary Public do hereby certify that
David C. Meeker personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This the 2 day of July, 2018.

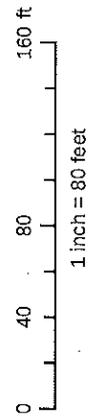


Notary Public Lori Page Clay

Commission Expires: March 23, 2019



Morgan St - 827 W



Disclaimer
 IMAPS makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.

LAYOUT PLAN

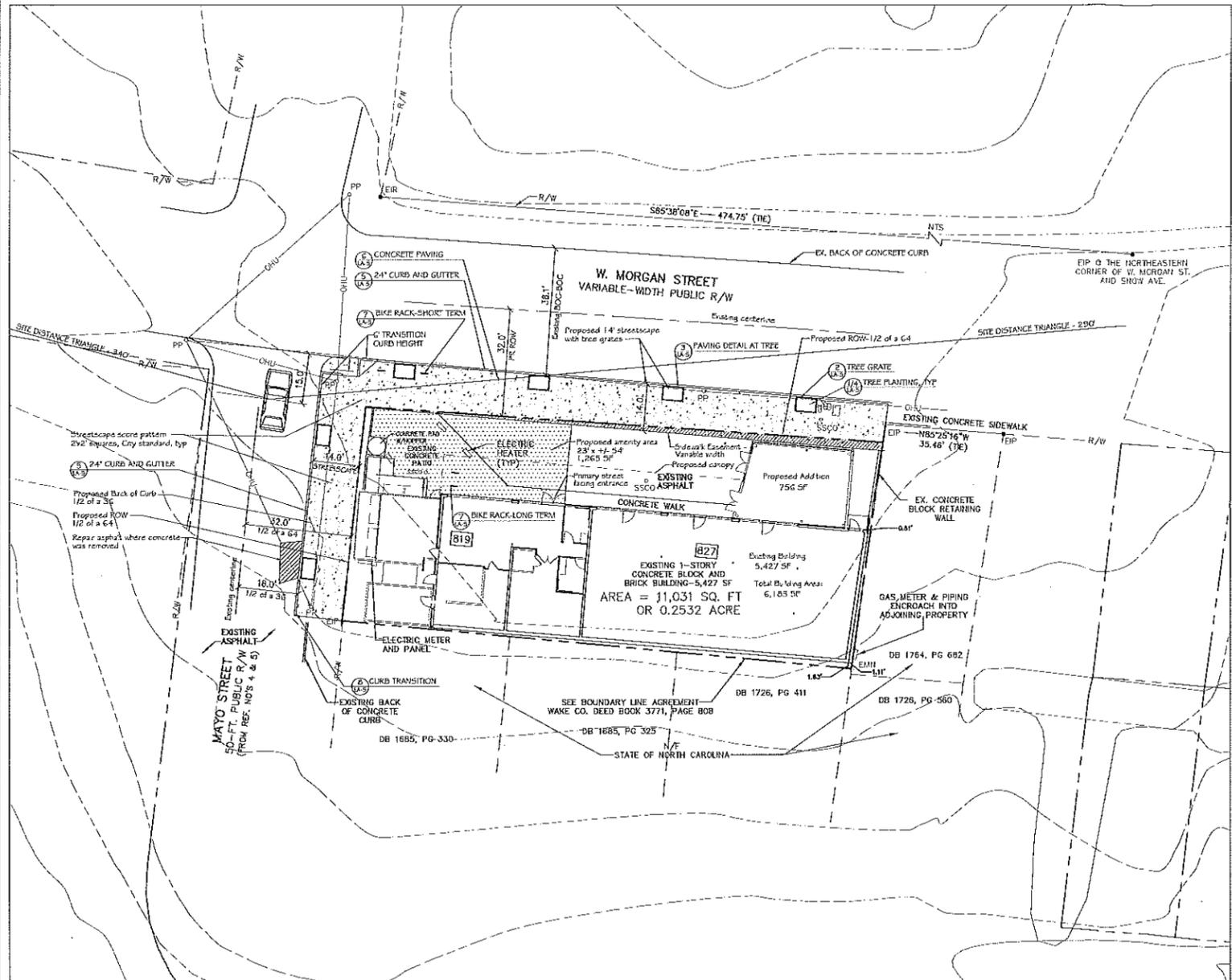
Consultants

Professional Seals

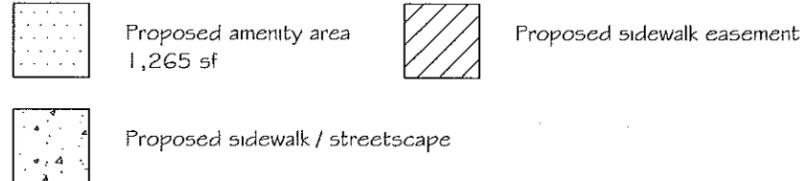


| | |
|--------------|--------|
| Date Issued: | 6.1.18 |
| Scale: | 1"=20' |
| Drawn by: | RBS |
| Checked by: | KJW |

| Revisions | No. | Description | Date | By |
|-----------|-----|---------------|--------|-----|
| 1 | 1 | City Comments | 7.9.18 | KJW |



- Site Plan Notes**
1. Site plan reflects building up-fit for 827 W. Morgan Street and a small expansion of the building at the northeast corner.
 2. All dimensions are at 90° unless otherwise noted.
 3. Base survey provided by g/ba - 4. 2018
 4. All dimensions are to back of curb, face of building, or centerline unless otherwise noted.
 5. Off street parking requirement was granted a variance on Monday, September 10, 2018. Case number A-88-18.
 6. ROW dedication and centerline of W. Morgan Street is indicated on the site plan. Dedication is based on W. Morgan Street classification of Avenue 2 Lane, undivided, 64' ROW and 36' BC-BC. Tree Grates Provided. Mayo Street is classified as a Neighborhood Street - 1/2 of a 64' with a 36' BC-BC.
 7. Lot area - 11,031 sf, .2532 acres
 8. Amenity Area - 11,031 sf x 10% = 1,103 sf required. Amenity area indicated on the site plan; 1,265 sf provided.
 9. Project exempt from storm water controls per UDO Sec.9.2.2.A.2. Any plot plan or site plan of 1/2 acre or less in aggregate size that contains less than 12,000 square feet of impervious surface, including impervious surfaces of related on-site or off-site facilities.
 10. Bike racks: Min of 4 short term and 4 long term spaces provided. Long term spaces provided under proposed canopy.
 11. Solid waste removal will not change from current process - Roll out cans for refuse and recycling.
- ** The centerline of both streets is measured as stated in Chapter 7 of RSDM. Landscape architect field verified the centerline on Mayo Street as there is no existing back of curb on the east side of the street.



Off-Street Parking
Variance A-88-18 to exempt the site from off-street parking requirement

Required: UL Frontage - Section 7.1.3C(3).
1 space / 500 sf - Total sf = 6,183 sf
12.4 spaces required
Provided: 12 spaces - Variance request granted - A-88-18
Also See Sheet LA-3

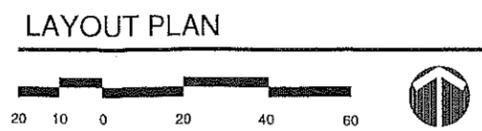
Bicycle Parking: Short Term required: Minimum of 4; provided
Long Term required: Minimum of 4; provided

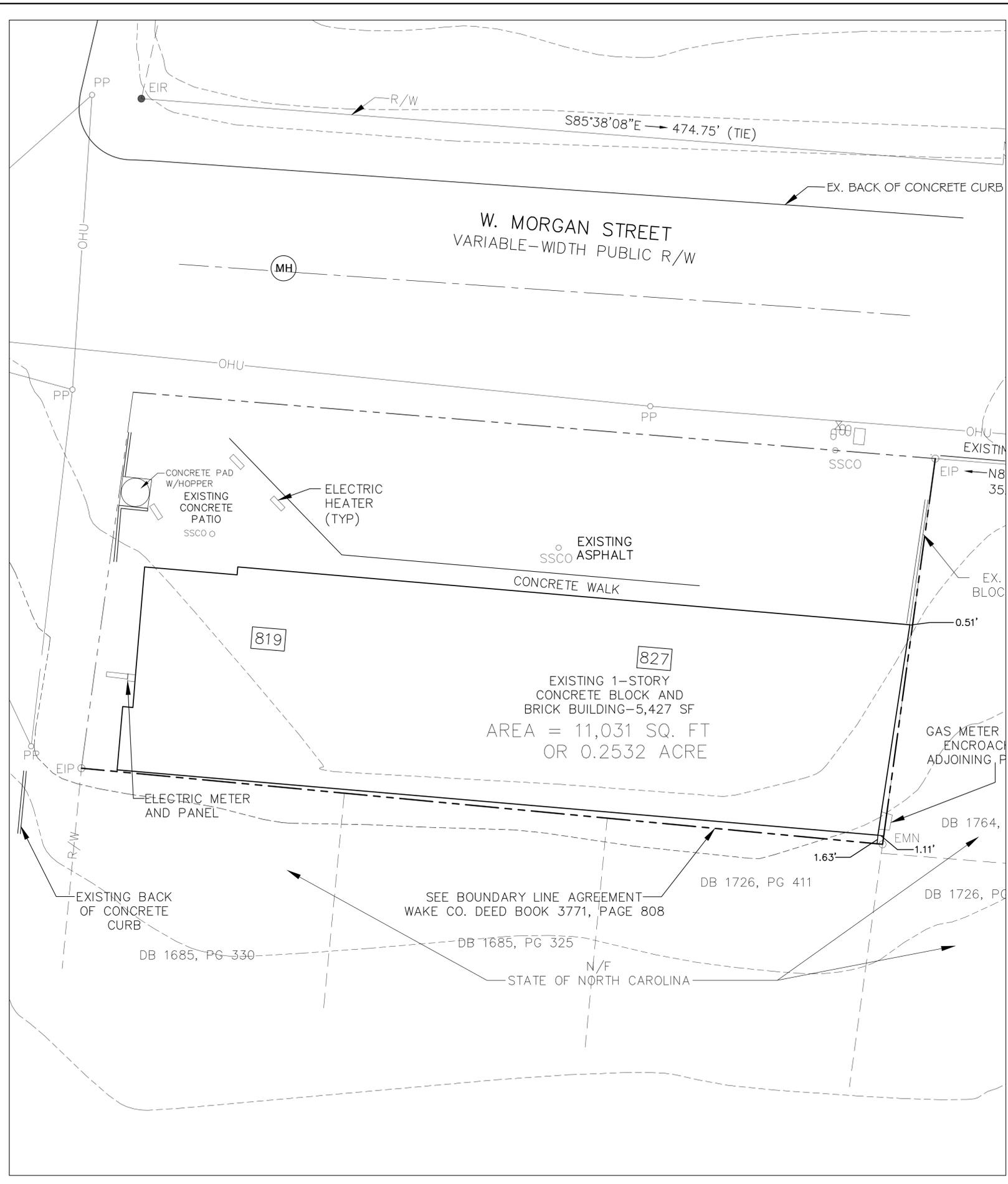
Variance request granted - A-88-18- for
12 required parking spaces
A-88-18 - 9/10/18

Decision: Approved as requested.

WHEREAS Morgan West, LLC, property owner, requests a variance of 12 vehicle parking spaces to reduce the minimum amount of required vehicle parking spaces called for in Section 7.1.3.C.3. of the Unified Development Ordinance in order to convert, renovate, and expand an existing general building into a 6,183 square foot restaurant and brewery that provides no off-street parking on a .25 acre parcel zoned Neighborhood Mixed-Use-5-Urban Limited and located at 827 West Morgan Street.

PRELIMINARY PLANS
NOT FOR CONSTRUCTION





Owner/Developer:
 Name(s): Morgan West, LLC
 Address: 301 Fayetteville Street, Unit 2808
 Raleigh, NC 27601

Contact Person:
 Name: Kimberly Wicker, RLA Coaly Design
 Address: 300/200 Parham Street Suite G
 Raleigh, NC 27601

Telephone: (919) 539-0012
 E-mail address: kimberly@coalydesign.com

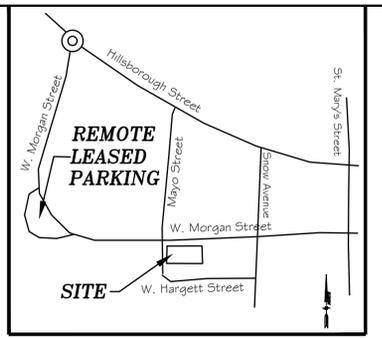
Off-Street Parking
 Variance A-88-18 to exempt the site from off-street parking requirement

Required: UL Frontage - Section 7.1.3C(3).
 1 space / 500 sf - Total sf = 6,183 sf
 12.4 spaces required

Provided: 0 spaces - Variance request granted - A-88-18

Bicycle Parking: Short Term required: Minimum of 4; provided
 Long Term required: Minimum of 4; provided

- General Notes:
1. Zoning is NX-5-UL. No on site parking proposed.
 2. The proposed use and existing use of the site are the same.
 3. A small addition with interior building renovations proposed. 756 SF total.
 4. Design Adjustments have been submitted for cross access requirements (RSDM 6.2 and 8.3 of the UDO), and for the variable width sidewalk easement to meet UDO 8.5.2 B, Mixed Use Streetscape
 5. This site will adhere to UDO Section 6.4.10.C - Eating Establishments.



VICINITY MAP
 NO SCALE

Variance request granted - A-88-18- for
 12 required parking spaces
A-88-18 - 9/10/18

Decision: Approved as requested.

WHEREAS Morgan West, LLC, property owner, requests a variance of 12 vehicle parking spaces to reduce the minimum amount of required vehicle parking spaces called for in Section 7.1.3.C.3. of the Unified Development Ordinance in order to convert, renovate, and expand an existing general building into a 6,183 square foot restaurant and brewery that provides no off-street parking on a .25 acre parcel zoned Neighborhood Mixed-Use-5-Urban Limited and located at 827 West Morgan Street.

**Administrative Site Review Application
 (for UDO Districts only)**



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2485 | tdd: 919-996-1831
 Litchford Satellite Office | 1320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

| BUILDING TYPE | FOR OFFICE USE ONLY |
|--|--|
| <input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse | <input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot |
| Transmittal Number Assigned Project Coordinator Assigned Team Leader | |

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # 546078

GENERAL INFORMATION

Development Name: **Trophy Brewing and Pizza**
 Zoning District: **NX-5-UL** Overlay District (if applicable): **SRPOD** Inside City Limits? Yes No
 Proposed Use: **Restaurant expansion**
 Property Address(es): **827 W. Morgan Street** Major Street Location: **West Morgan / Mayo Avenue**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:
 P.I.N. **1703288818** P.I.N. P.I.N. P.I.N.

What is your project type?
 Mixed Residential Non-Residential Condo School Shopping Center Banks Industrial Building
 Office Religious Institutions Residential Condo Retail Cottage Court
 Other, please describe: **Restaurant**

WORK SCOPE
 Per City Code Section 10.2.8.0.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 8 of the UDO), indicate impacts on parking requirements.
 Building up for expansion of existing brew pub and pizza restaurant. A small addition will be added to the W. Morgan frontage of the east end of the existing building. All existing parking is required to be removed on the W. Morgan frontage of the building (UL frontage). ROW dedication and upgraded streetscape is required for both Mayo Avenue and W. Morgan Street.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE
 Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative Act

CLIENT/DEVELOPER/OWNER
 Company: **Morgan West, LLC** Name (s): **David Meeker**
 Address: **301 Fayetteville Street, Unit 2808 Raleigh, NC 27601**
 Phone: **919-334-8976** Email: **davidmeeker@gmail.com** Fax
 Company: **Coaly Design, PC** Name (s): **Kimberly J Wicker**
 Address: **537 E. Martin Street, Raleigh, NC 27601**
 Phone: **919-539-0012** Email: **kimberly@coalydesign.com** Fax

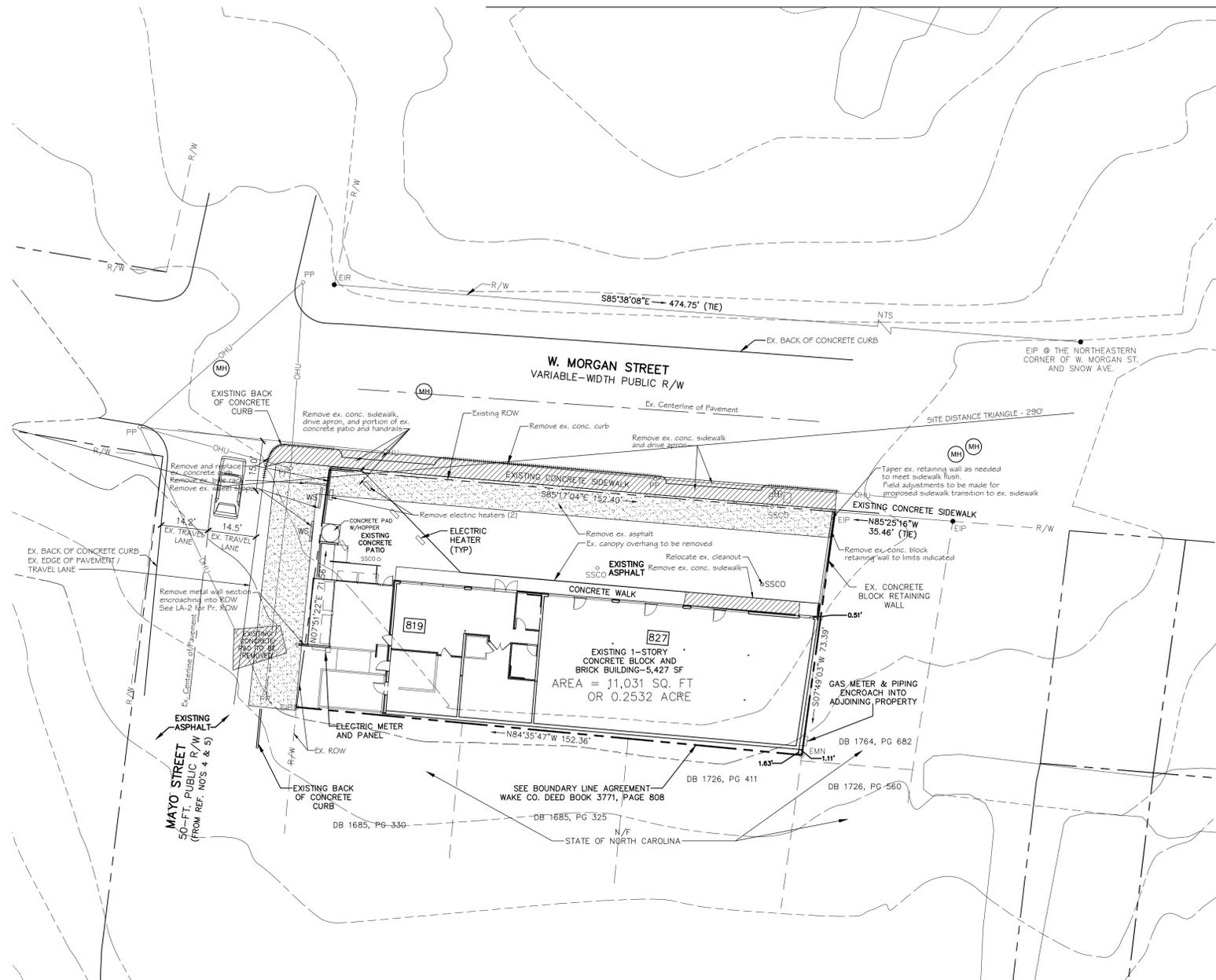
| DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments) | |
|--|---|
| Zoning Information | Building Information |
| Zoning District(s) NX-5-UL | Proposed building use(s) Restaurant |
| If more than one district, provide the acreage of each: | Existing Building(s) sq. ft. gross 5,427 sf |
| Overlay District SRPOD | Proposed Building(s) sq. ft. gross 756 |
| Total Site Acres: Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 11,031 sf / .2532 acres | Total sq. ft. gross (existing & proposed) 6,183 |
| Off street parking: Required 12.4 Provided - if variance approved - A-88-18 | Proposed height of building(s) 14'2" |
| CDA (Certificate of Appropriateness) case # | # of stories 1 |
| BDA (Board of Adjustment) case # A-88-18 (parking) | Ceiling height of 1 st Floor 9' |
| CUD (Conditional Use District) case #: | |
| Stormwater Information | |
| Existing Impervious Surface 11,031 sf acres/square feet | Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Proposed Impervious Surface 11,031 sf acres/square feet | If Yes, please provide: Aerial Soils FEMA Map Panel # Flood Study |
| Noise River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | |
| FOR RESIDENTIAL DEVELOPMENTS | |
| 1. Total # Of Apartment, Condominium or Residential Units | 5. Bedroom Units: 2br 3br 4br or more |
| 2. Total # Of Congregate Care Or Life Care Dwelling Units | 6. Infill Development 2.2.7 |
| 3. Total Number of Hotel Units | 7. Open Space (only) or Amenity |
| 4. Overall Total # Of Dwelling Units (3-6 Above) | 8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| SIGNATURE BLOCK (Applicable to all developments) | |
| In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City. | |
| I hereby designate Kimberly J Wicker, RLA to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application. | |
| I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use: | |
| Signed: <i>David Meeker</i> | Date: 10/15/18 |
| Printed Name: David Meeker | Date: |
| Signed: | Date: |
| Printed Name: | Date: |

- SHEET INDEX**
 COVER SHEET
 LA-1 EXISTING CONDITIONS PLAN
 LA-2 SITE PLAN
 LA-3 REMOTE PARKING PLAN - OMITTED
 LA-4 LANDSCAPE PLAN
 LA-5 DETAIL SHEET
 C-1 UTILITY PLAN
 C-2 UTILITY DETAILS
 SP-A1 GRADING AND FIRE AREA DIAGRAM
 A2.2 PROPOSED ELEVATIONS

**Trophy Brewing and Pizza
 827 W. Morgan Street**

**ADMINISTRATIVE
 SITE REVIEW
 RALEIGH, NC**
 Transaction # **557249**
SR-53-18
A-88-18
October 18, 2018





Existing Conditions Notes:

1. Contractor shall be responsible to immediately fix any active utilities damaged during construction at contractor's expense. The owner will pay to move or repair any utilities encountered during construction which are not identified on construction documents or site survey.
2. All material generated by the demolition will be hauled from the site and disposed of per local ordinances.
3. Saw-cut concrete and asphalt pavement, sidewalk or curb and gutter before excavation where construction plans show tie-ins.
4. West Morgan Street and Mayo Street shall remain open and unobstructed to traffic at all times.
5. Contractor is responsible for traffic control during construction, as needed.
6. Repair or replace any adjacent concrete curbing and/or sidewalk damaged as part of demolition process.
7. Survey by George Finch/Boney & Associates
8. Existing contours obtained from Wake County GIS data.

-  Ex. concrete to be removed
-  Ex. asphalt to be removed
-  Ex. concrete curb to be removed

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

**EXISTING CONDITIONS PLAN /
DEMOLITION PLAN**



300/2900 Durham Street, Suite G
Raleigh, NC 27601
919.539.0012

TROPHY BREWING
827 WEST MORGAN STREET
RALEIGH, NC

Transaction # 557249
SR-53-18

EXISTING CONDITIONS PLAN

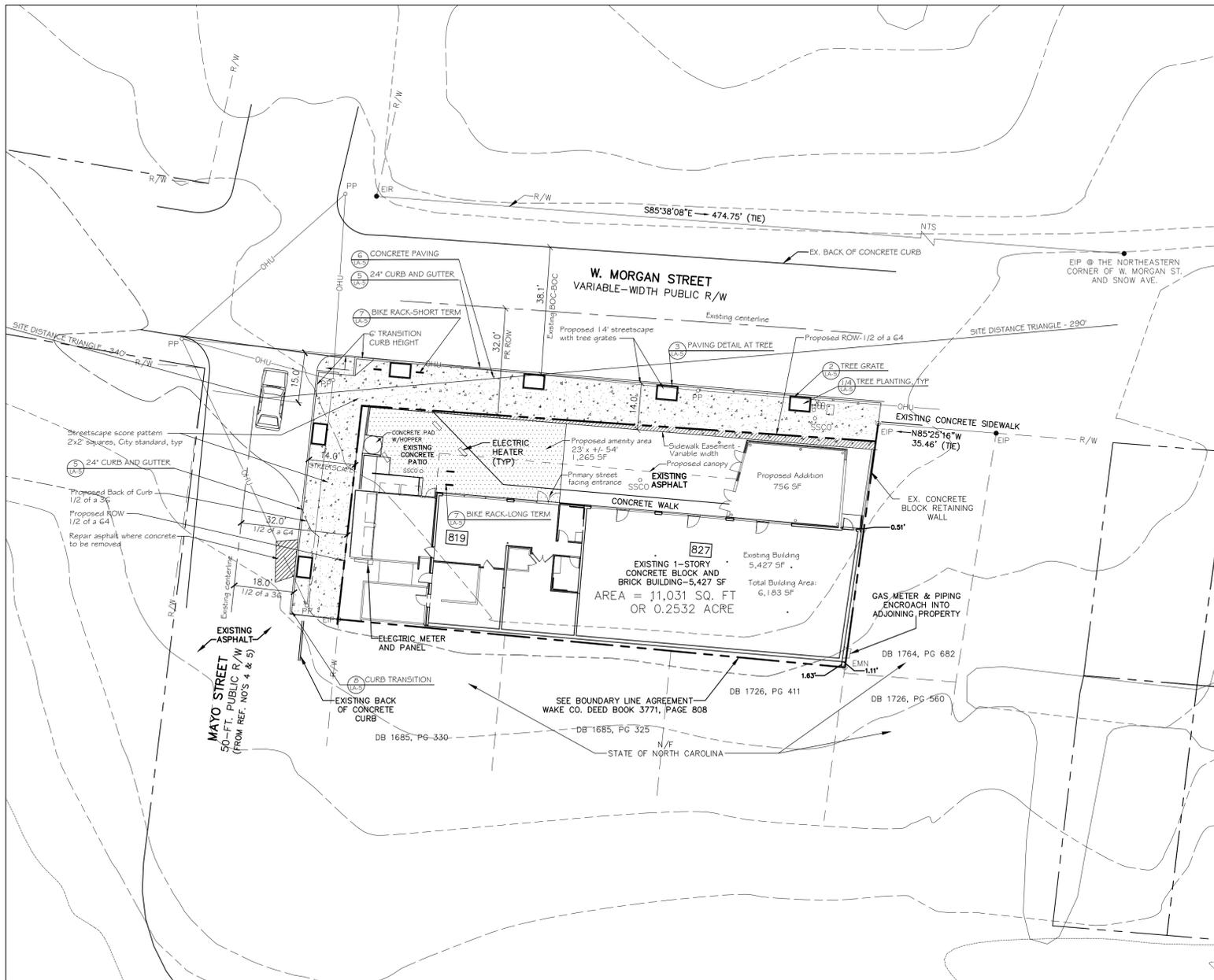
Consultants

Professional Seals

| | |
|--------------|--------|
| Date Issued: | 6.1.18 |
| Scale | 1"=20' |
| Drawn By: | RBS |
| Checked by: | KJW |

| Revisions | No. | Description | Date | By |
|-----------|---------------|-------------|------|----|
| 1 | City Comments | 7.9.18 | KJW | |
| 2 | City Comments | 9.20.18 | KJW | |
| 3 | City Comments | 10.25.18 | KJW | |

LA-1



Site Plan Notes

1. Site plan reflects building up-fit for 827 W. Morgan Street and a small expansion of the building at the northeast corner.
2. All dimensions are at 90° unless otherwise noted.
3. Base survey provided by giba - April 2018
4. All dimensions are to back of curb, face of building, or centerline unless otherwise noted.
5. Off street parking requirement was granted a variance on Monday, September 10, 2018. Case number A-88-18. See below.
6. ROW dedication and centerline of W. Morgan Street is indicated on the site plan. Dedication is based on W. Morgan Street classification of Avenue 2 Lane, undivided, 64' ROW and 36' BC-BC. Tree Grates Provided. Mayo Street is classified as a Neighborhood Street - 1/2 of a 64' with a 36' BC-BC.
- Both Streets provide a Mixed Use Streetscape section.
- ** The centerline of both streets is measured as stated in Chapter 7 of RSDM. Landscape architect field verified the centerline on Mayo Street as there is no existing back of curb on the east side of the street.
7. Lot area - 11,031 sf, .2532 acres
8. Amenity Area - 11,031 sf x 10% = 1,103 sf required. Amenity area indicated on the site plan; 1,265 sf provided.
9. Project exempt from storm water controls per UDO Sec.9.2.2.A.2. Any plot plan or site plan of 1/2 acre or less in aggregate size that contains less than 12,000 square feet of impervious surface, including impervious surfaces of related on-site or off-site facilities.
10. Bike racks: Min of 4 short term and 4 long term spaces provided. Long term spaces provided under proposed canopy.
11. Solid waste removal will not change from current process - Roll out cans for refuse and recycling.
12. Design adjustments have been submitted online for a sidewalk easement and cross access.



Off-Street Parking
 Variance A-88-18 to exempt the site from off-street parking requirement

Required: UL Frontage - Section 7.1.3C(3).
 1 space / 500 sf - Total sf = 6,183 sf
 12.4 spaces required

Provided: 12 spaces - Variance request granted - A-88-18; See below
 Also See Sheet LA-3

Bicycle Parking: Short Term required: Minimum of 4; provided
 Long Term required: Minimum of 4; provided

Variance request granted - A-88-18- for
 12 required parking spaces

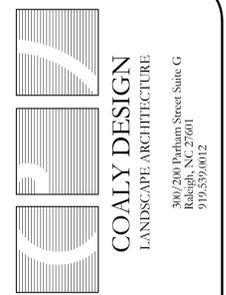
A-88-18 - 9/10/18

Decision: Approved as requested.

WHEREAS Morgan West, LLC, property owner, requests a variance of 12 vehicle parking spaces to reduce the minimum amount of required vehicle parking spaces called for in Section 7.1.3.C.3. of the Unified Development Ordinance in order to convert, renovate, and expand an existing general building into a 6,183 square foot restaurant and brewery that provides no off-street parking on a .25 acre parcel zoned Neighborhood Mixed-Use-5-Urban Limited and located at 827 West Morgan Street.

PRELIMINARY PLANS
 NOT FOR CONSTRUCTION

LAYOUT PLAN



TROPHY BREWING
 827 WEST MORGAN STREET
 RALEIGH, NC

Transaction # 557249
 SR-53-18

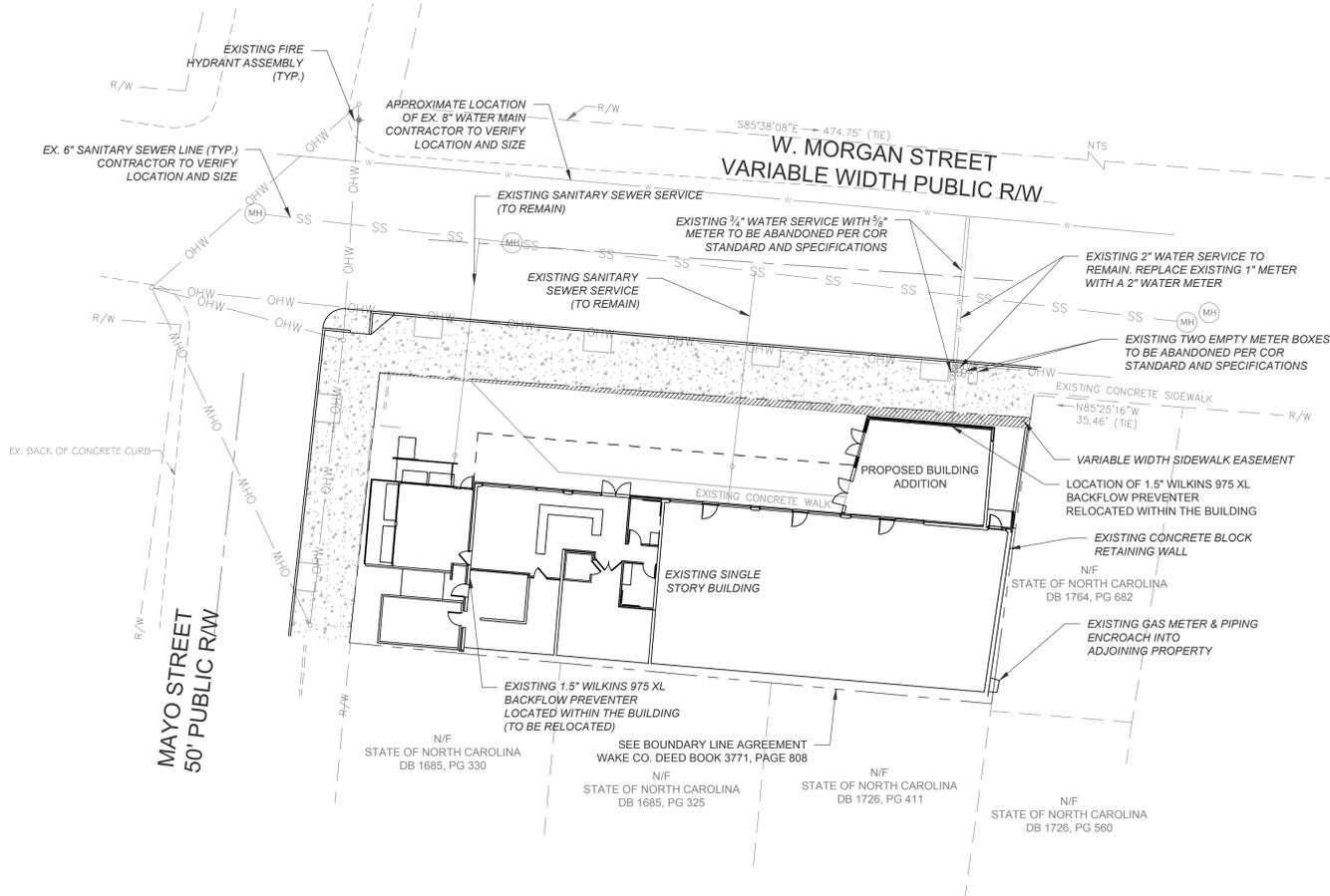
LAYOUT PLAN

Consultants

Professional Seals

| | | | |
|--------------|---------------|----------|-----|
| Date Issued: | 6.1.18 | | |
| Scale | 1"=20' | | |
| Drawn by: | RBS | | |
| Checked by: | KJW | | |
| Revisions | | | |
| No. | Description | Date | By |
| 1 | City Comments | 7.9.18 | KJW |
| 2 | City Comments | 9.20.18 | KJW |
| 3 | City Comments | 10.25.18 | KJW |

LA-2



ADA NOTES

1. PROPOSED ADA PARKING AND STALL STRIPING SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%).
2. PROPOSED ACCESSIBLE ROUTE TO RIGHT-OF-WAY AND PROPOSED SIDEWALKS SHALL HAVE A RUNNING SLOPE NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%).
3. RAMPS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSBC SECTION 1010.
4. HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSBC SECTION 1012.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING ABUTTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- OHW OHW EXISTING OVERHEAD POWER LINE
- EXISTING ABUTTING PROPERTY LINE
- EXISTING BUILDING SETBACK LINE
- EXISTING PARKING SETBACK LINE
- EXISTING EDGE OF PAVEMENT
- SS SS EXISTING SANITARY SEWER
- PROPOSED WATERLINE
- SS SS PROPOSED SANITARY SEWER
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK

CITY OF RALEIGH UTILITY NOTES

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
 - a. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - b. WHEN INSTALLING WATER & OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - d. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - e. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
 - f. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. ABANDON AND REMOVE EXISTING WATER AND SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF SITE AS DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
7. INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS. SEWER SERVICE LINES TO PASS BELOW WATER MAIN WITH A MINIMUM 18" VERTICAL CLEARANCE.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR timothy.beasley@raleighnc.gov FOR MORE INFORMATION.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR joanie.hartley@raleighnc.gov FOR MORE INFORMATION

GREASE TRAP NOTES

- EXISTING GREASE TRAPS LOCATED WITHIN EXISTING BUILDING TO SERVE ENTIRE BUILDING.
- ANY ADDITIONAL USES LOCATED WITHIN THE EXISTING BUILDING REQUIRE A GREASE TRAP. ALL GREASE LINES TO BE ROUTED TO THE EXISTING GREASE TRAP.

NOTES

1. BOUNDARY SURVEY PROVIDED BY GEORGE FINCH/BONEY AND ASSOCIATES.
2. NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
3. THIS DRAWING IS NOT FOR RECORDATION.



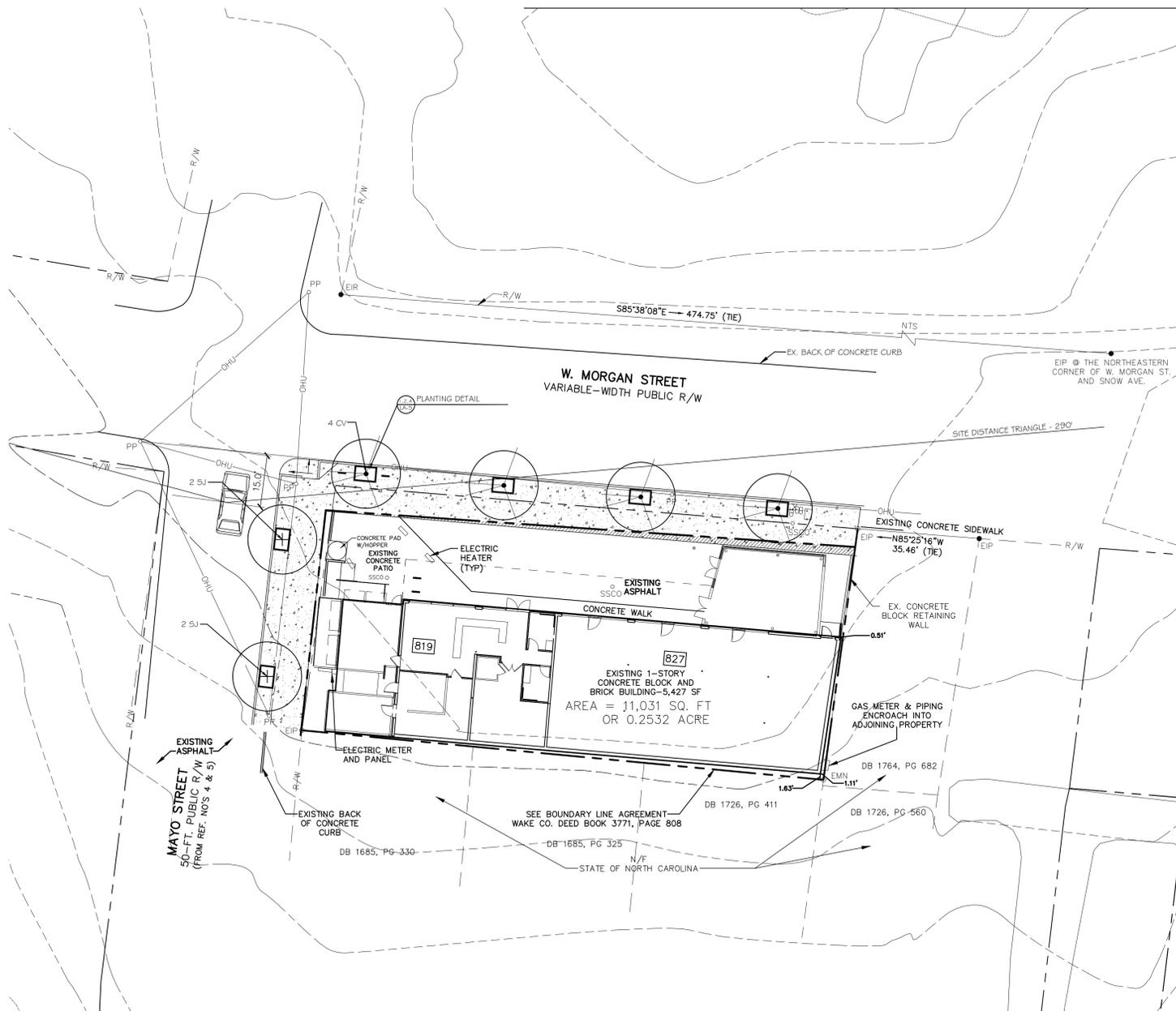
ISSUED FOR PERMITTING

| REV. | DESCRIPTION | DATE |
|------|--------------------------|----------|
| 1 | CITY OF RALEIGH COMMENTS | 09/20/18 |
| 2 | CITY OF RALEIGH COMMENTS | 10/23/18 |

UTILITY PLAN
TROPHY BREWING AND PIZZA
819 W. MORGAN
RALEIGH, NORTH CAROLINA

| | |
|--------------|----------|
| PROJECT NO.: | 18021 |
| DRAWN BY: | JAC |
| CHECKED BY: | JAC |
| DATE: | 06/28/18 |
| SCALE: | 1" = 20' |

C-1



City of Raleigh Planting Requirements:

- 1) STREET TREES: W. Morgan Street and Mayo Street
Street trees have been provided in tree grates at 40' O.C.
A tree impact permit will be obtained with the permit set of drawings.

PLANT SCHEDULE

| QTY | KEY | BOTANICAL / COMMON NAME | SIZE | ROOT | SPACING |
|-----|-----|---|---------------------|--------|----------|
| 2 | SJ | STYRAX JAPONICA / JAPANESE SNOWBELL | 3" Cal. / 11'0" HT. | 25 GAL | 40' O.C. |
| 4 | CV | CHIONANTHUS VIRGINICUS / FRINGE TREE - SINGLE STEM ONLY | 3" Cal. / 11'0" HT. | 25 GAL | 40' O.C. |

Planting Notes:

1. All plant materials to comply with American Standard for Nursery Stock ANSI Z60.
2. Street tree locations to be approved in field prior to installation. Contact Landscape Architect when tree pits are being dug.
3. Substitutions of plant materials specified can only occur with prior approval by Landscape Architect.
4. Landscape Contractor to maintain plant materials for a one year period following substantial completion per specifications.
5. All plant material shown is minimum required by the City Code.
6. Installation and maintenance of street trees: Section 6.18.1 and 6.18.2 of Street Design Manual.
- Street Trees - 600 cubic feet of organic soil in the immediate area where the tree is to be placed or install root paths. See detail 1/ LA-5.
- No staking of trees is permitted.
- Water trees for a minimum of a 2-year period. After installation trees shall be thoroughly soaked and watered at least twice per week until establishment. Use a slow flow hose end device and water each tree at the base for several minutes. Commercially available water bags are acceptable but the root ball shall be soaked as well as filling the bag.
- Watering volumes should be based upon delivery of 1" of moisture / week to the tree if precipitation does not meet that amount during the active growing season defined as April 15th through November 1st.
- Street trees installed and maintained in accordance with the requirements of Chapter 2 of the Raleigh City Tree Manual.
- See Sheet LA-5 for Street tree / tree grate details.
7. Tree Impact Permit must be obtained prior to issuance for building permit.

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

LANDSCAPE PLAN



TROPHY BREWING
827 WEST MORGAN STREET
RALEIGH, NC
Transaction # 557249
SR-53-18

LANDSCAPE PLAN

Consultants

Professional Seals

Date issued: 6.1.18
Scale: 1"=20'

By: KJM
Date: 7.9.18
City Comments: 7.9.18
City Comments: 9.20.18
City Comments: 10.25.18

Revisions

LA-4

NOT FOR
CONSTRUCTION
FOR SITE
SUBMISSION
ONLY

09-19-18

PROJECT TYPE: TROPHY BREWING & PIZZA

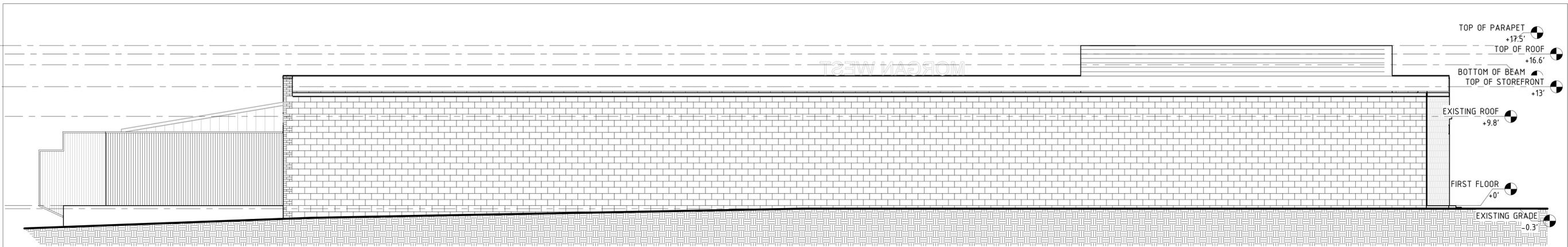
TROPHY BREWING & PIZZA

827 West Morgan Street, Raleigh NC

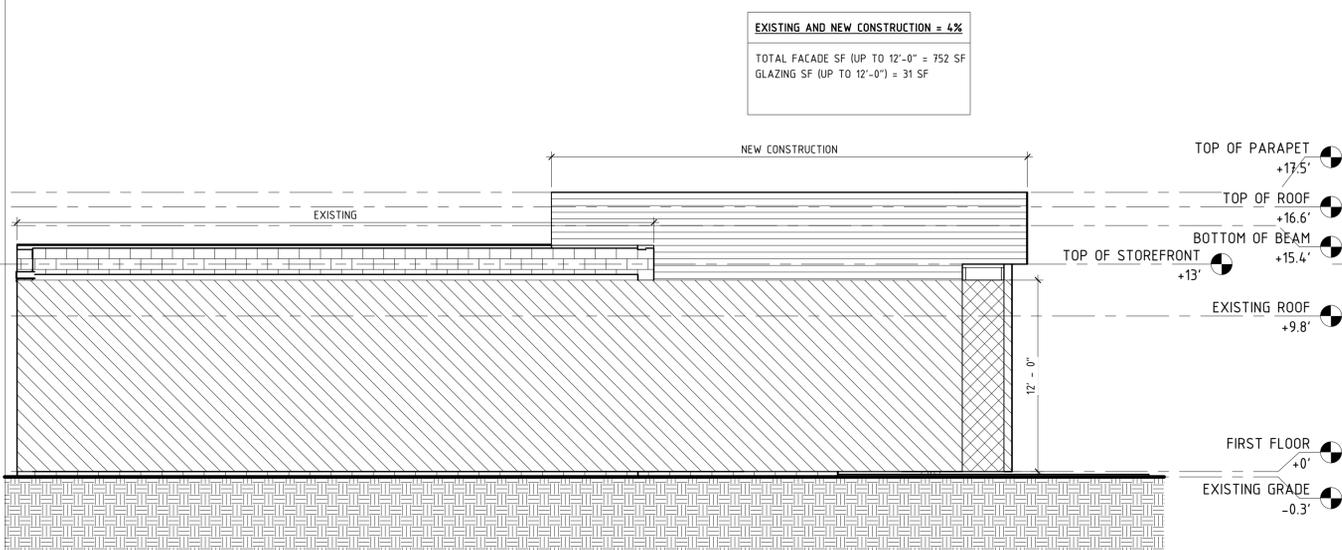
| | |
|-----------|----------|
| DATE | 09-19-18 |
| DR. | MJK |
| CH. | DSM |
| PROJ. # | 18001 |
| REVISIONS | DATE |

PROPOSED
ELEVATIONS -
TRANSPARENCY
CALCULATIONS

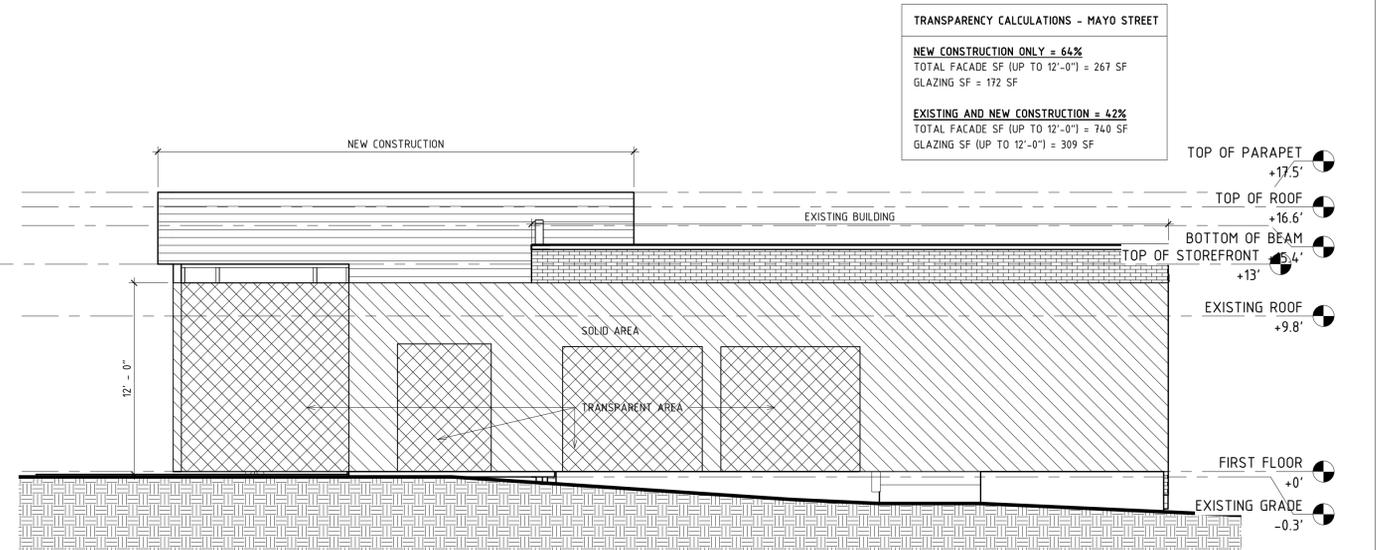
A2.2



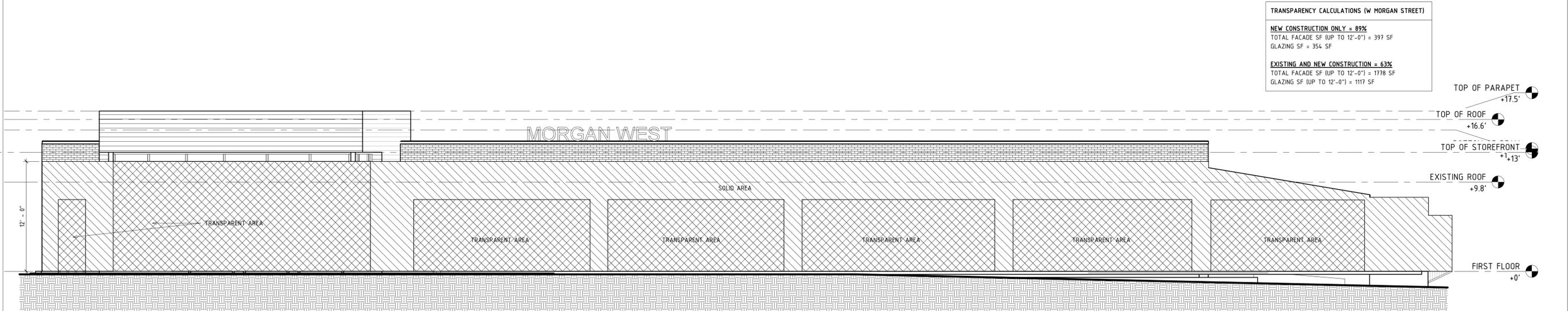
4 SITE PLAN - SOUTH ELEVATION - EXISTING TO REMAIN - NO CHANGES
SCALE: 3/16" = 1'-0"



3 SITE PLAN - PROPOSED EAST ELEVATION
SCALE: 3/16" = 1'-0"



2 SITE PLAN - PROPOSED WEST ELEVATION
SCALE: 3/16" = 1'-0"



1 SITE PLAN - PROPOSED NORTH ELEVATION
SCALE: 3/16" = 1'-0"