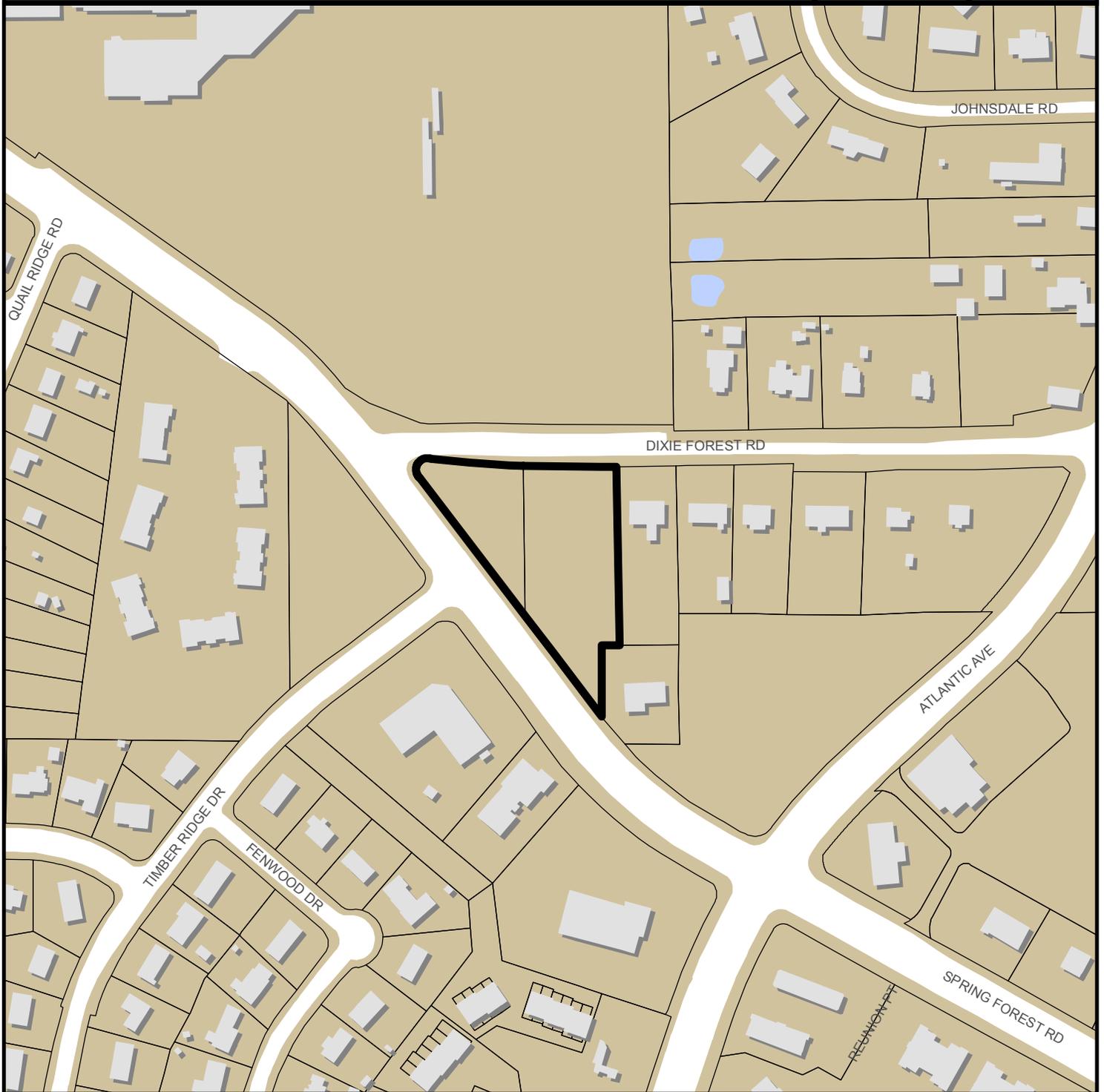


SAM'S XPRESS CAR WASH SR-55-2017



0 300 600 Feet

Zoning: **CX-3-PL-CU**
CAC: **North**

Drainage Basin: **Marsh Creek**
Acreage: **1.35**
Sq. Ft.: **4,123**

Planner: **Daniel Stegall**
Phone: **(919) 996-2712**

Applicant: **Sam's Real Estate**
Phone: **(704) 940-3700**





Administrative Approval Action

Sam's Xpress Car Wash: SR-55-17,
Transaction# 517557, AA# 3697

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Dixie Forest Road at the southeastern corner of the intersection of Dixie Forest Road and Spring Forest Road. The site address is 2224 Dixie Forest Road and the PIN number is 1716890222.

REQUEST: Development of a 1.93 acre tract zoned Commercial Mixed Use (CX-3-PL-CU) for a 4,123 square foot Car Wash Facility with 11 parking spaces. The request is subject to the zoning conditions set forth in case Z-13-10.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: None.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Brian Soltz of Commercial Site Design.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.
4. Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.
5. Next Step: The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.
6. Next Step: The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office.
7. Next Step: All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
8. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.



Administrative Approval Action

Sam's Xpress Car Wash: SR-55-17,
Transaction# 517557, AA# 3697

City of Raleigh
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One Exchange Plaza
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PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

1. Comply with all conditions of Z-13-10.
2. Provide fire flow analysis.
3. The owner of the property shall cause to be recorded in the Wake County Registry a restrictive covenant that allocates allowable commercial square footage per Z-13-10(M) upon the subject property to all existing lots of record compromising the property.

ENGINEERING

4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
5. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department.
6. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' sidewalk along Spring Forest Rd. shall be paid to the City of Raleigh.
7. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering.
8. A cross access agreement between adjacent lots shall be approved by the Development Services Department for recording with the Wake County Register of Deeds, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one (1) day of recordation.
9. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.
10. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering program.

PUBLIC UTILITIES

11. A final plat must be recorded at the Wake County Register of Deeds office for the City of Raleigh Water Line Easement dedication for the domestic and irrigation water meters.

URBAN FORESTRY

12. A fee-in-lieu will be paid for 216 linear feet of frontage along Spring Forest Rd, because of the sewer easement and inability to plant a C2 yard.



Administrative Approval Action

Sam's Xpress Car Wash: SR-55-17,
Transaction# 517557, AA# 3697

City of Raleigh
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Prior to issuance of building occupancy permit:

1. **Next Step:** Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
2. **Next Step:** Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
3. **Next Step:** All street lights and street signs required as part of the development approval are installed.
4. **Next Step:** Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
5. **Next Step:** As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 1-11-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) _____

Date: 1/11/2018

Staff Coordinator: Daniel L. Stegall

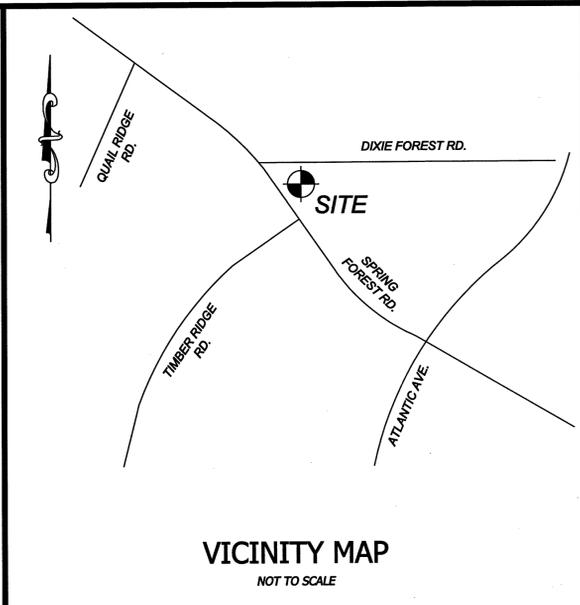


SAMS XPRESS CAR WASH 2224 DIXIE FOREST RD, RALEIGH, NC

ADMINISTRATIVE SITE PLAN

DRAWING INDEX		REVISION	#	DESCRIPTION
CIVIL DRAWINGS				
C-0.0	COVER SHEET			
C-0.1	ZONING CONDITIONS			
C-1.0	RECOMBINATION PLAT			
C-1.1	EXISTING CONDITIONS AND DEMOLITION PLAN			
C-2.0	SITE PLAN			
C-3.0	LANDSCAPE PLAN			
C-4.1	GRADING PLAN			
C-4.2	STORMWATER BMP PLAN			
C-4.3	STORMWATER BMP DETAILS			
C-5.0	UTILITY PLAN			
C-8.0	SITE LIGHTING PLAN			
C-8.1	SITE LIGHTING DETAILS			
A101	FLOOR PLAN			
A200	BUILDING ELEVATIONS			
A250	DUMPSTER/VACUUM/ENDING ENCLOSURE PLANS AND ELEVATIONS			
A251	VACUUM CANOPY PLAN ELEVATIONS AND DETAILS			

SITE INFORMATION	
SITE ADDRESS:	2224 DIXIE FOREST ROAD, RALEIGH, NC
OWNER / DEVELOPER:	SAM'S REAL ESTATE 7935 COUNCIL PLACE, SUITE 102 MATTHEWS, NORTH CAROLINA
DESIGNER:	COMMERCIAL SITE DESIGN, PLLC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 TEL: (919) 848-6121; FAX: (919) 848-3741
PARCEL IDENTIFICATION NUMBER:	1716890222
ZONING:	CX-3-PL-CU
EXISTING USE:	VACANT
PROPOSED USE:	CAR WASH
BUILDING SETBACKS: RIGHT OF WAY SIDE REAR	5 FEET 6 FEET 6 FEET
PARKING SETBACKS: RIGHT OF WAY SIDE REAR	10 FEET 0 FEET OR 3 FEET 0 FEET OR 3 FEET
PARKING REQUIREMENTS:	1 SPACES PER 800 SF GFA 4,123 SF / 800 SF = 7 SPACES AND 4 LONG TERM BICYCLE PARKING SPACES
PARKING PROVIDED:	9 REGULAR SPACES 1 HANDICAP SPACE 4 LONG TERM BICYCLE SPACES
TOTAL SITE AREA: TOTAL SITE AREA AFTER RAW DEDICATION: DISTURBED AREA (INCLUDING RW): PROPOSED IMPERVIOUS AREA:	83,956 SF OR 1.93 ACRES 77,391 SF OR 1.78 ACRES 102,126 SF OR 2.34 ACRES 46,844 SF OR 1.08 ACRES OR 56%
BUILDING AREA:	5,624 SF
CITY BUILD TO REQUIREMENTS: (DIXIE FOREST)	PRIMARY STREET BUILD TO SETBACK IS 7' MINIMUM, 100' MAXIMUM 20% BUILDING WIDTH FRONTAGE = 340 X 0.5 = 170 LF BUILDING WIDTH IS 170 WITHIN 100'
CITY BUILD TO REQUIREMENTS: (SPRING FOREST)	PRIMARY STREET BUILD TO SETBACK IS 7' MINIMUM, 100' MAXIMUM 20% BUILDING WIDTH FRONTAGE = 390 X 0.25 = 90 LF BUILDING FRONTAGE PROVIDED = 107'
WATER:	CITY OF RALEIGH PUBLIC UTILITIES
SEWER:	CITY OF RALEIGH PUBLIC UTILITIES
TREE CONSERVATION:	NOT REQUIRED PER UDO § 1.2 AS THE SITE IS LESS THAN 2 ACRES
AMENITY AREA PROVIDED:	9,035 SF OR 12%



CONTACTS:	
ZONING CITY OF RALEIGH DEVELOPMENT SERVICES MEAGLE BRADSHAW 919-996-2664	SANITARY SEWER CITY OF RALEIGH PUBLIC UTILITIES RYAN CASEY 919-996-2176
SIGNAGE CITY OF RALEIGH DEVELOPMENT SERVICES JOCELYN COCHRANE 919-996-2472	GAS PSNC 877-776-2427
BUILDING & INSPECTIONS CITY OF RALEIGH DEVELOPMENT SERVICES CHIP SHANKLE 919-996-2630	ELECTRIC DUKE POWER 800-653-5307
STREET & HIGHWAY DATA CITY OF RALEIGH TRANSPORTATION DANIEL KING 919-996-2408	TELEPHONE AT&T 877-438-0041
NC DOT: REID ELMORE 919-733-3213	FIRE CITY OF RALEIGH DEVELOPMENT SERVICES RYAN CUTRIGHT 919-996-2197
WATER CITY OF RALEIGH PUBLIC UTILITIES BRIAN CASEY 919-996-2176	CABLE SPECTRUM
STORM SEWER CITY OF RALEIGH STORM WATER SERVICES NATHAN BURDICK 919-996-3520	

Administrative Site Review Application (for UDO Districts only)

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | tdx: 919-996-4031
Litchford Satellite Office | 6320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4300

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot
<input type="checkbox"/> Townhouse	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

Development Name: **Sam's Xpress Car Wash**

Zoning District: **CX-3-PL-CU** Overlay District (if applicable): _____ Inside City Limits? Yes No

Proposed Use: **Car Wash**

Property Address(es): **2224 Dixie Forest Rd** Major Street Location: **Spring Forest & Atlantic Ave**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:
P.I.N. **1716890222** P.I.N. _____ P.I.N. _____ P.I.N. _____

What is your project type? Apartment Child Daycare Hospital House/Mobile Office
 Mixed Residential Non-Residential Condo School Shopping Center Banks Industrial Building
 Duplex Telecommunications Tower Religious Institution Residential Condo Retail Cottage Court
 Other: If other, please describe: **Car Wash**

WORK SCOPE: Per City Code Section 10.2.8.0.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
Construct new car wash facility.

DESIGN ADJUSTMENT OR ADMIN. ALTERNATE: Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AC.

CLIENT/DEVELOPER/OWNER: Company: **Sam's Real Estate** Name: **Payman Nadimi**
Address: **7935 Council Place, Ste 102, Matthews, NC 28105**
Phone: **(704) 940-3700** Email: **pnadimi@samsre.com** Fax: _____

CONSULTANT: Company: **Commercial Site Design, PLLC** Name: **Brian Soltz**
Address: **8312 Creedmoor Rd, Raleigh, NC 27613**
Phone: **919-848-6121** Email: **soltz@csitedesign.com** Fax: _____

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) CX-3-PL-CU	Proposed building use(s) Car Wash
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 0
Overlay District(s) _____	Proposed Building(s) sq. ft. gross 4,150
Total Site Area: Inside City Limits <input type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross building & proposed 4,123
Off street parking: Required 7 Provided 11	Proposed height of building(s) 28'
COA (Certificate of Appropriateness) case # _____	# of stories 1
ROA (Board of Adjustment) case # A- _____	Ceiling height of 1 st floor 24'
CUO (Conditional Use District) case # 2: 57-05	
Stormwater Information	
Existing Impervious Surface: <input type="checkbox"/> acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface: 44,994 sf acres/square feet	If Yes, please provide: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils FEMA Map Panel # _____ Flood Study _____
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 3br 2br 3br 4br or more
2. Total # of Congregate Care or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (esh) or Amenity
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, trustees and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate Commercial Site Design, PLLC to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I/We have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed: <i>Payman Nadimi</i>	Date: 5-31-2017
Printed Name: Payman Nadimi	Date: _____
Signed: _____	Date: _____
Printed Name: _____	Date: _____

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

COMMERCIAL SITE DESIGN

8312 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA 27613

(919) 848-6121, FAX: (919) 848-3741
WWW.CSITDESIGN.COM

FIRM LICENSE #: P-0266
PROJECT ENGINEER: COMMERCIAL SITE DESIGN, PLLC
STREET ADDRESS: 8312 CREEDMOOR ROAD
CITY, STATE, ZIP: RALEIGH, NORTH CAROLINA 27613
PHONE: 919-848-6121

PREPARED FOR: SAM'S REAL ESTATE
STREET ADDRESS: 7935 COUNCIL PLACE, SUITE 102
CITY, STATE, ZIP: MATTHEWS, NC 28105
PHONE: 704-321-8013
EMAIL: PNADIMI@SAMSRE.COM
CONTACT: PAYMAN NADIMI

811

Know what's below.
Call before you dig.
CALL 1-800-632-4949 OR 811
WWW.NC811.ORG
NC ONE-CALL CENTER
IT'S THE LAW!

COVER SHEET

DESIGNED BY: **SUB** DRAWN BY: **JWR** CHECKED BY: **BTS**
SCALE: **AS SHOWN** DATE: **05-24-17** JOB NUMBER: **SME-1601**

SAM'S XPRESS CAR WASH
2224 DIXIE FOREST ROAD
RALEIGH, NORTH CAROLINA

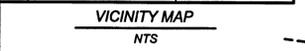
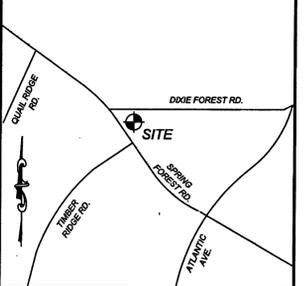
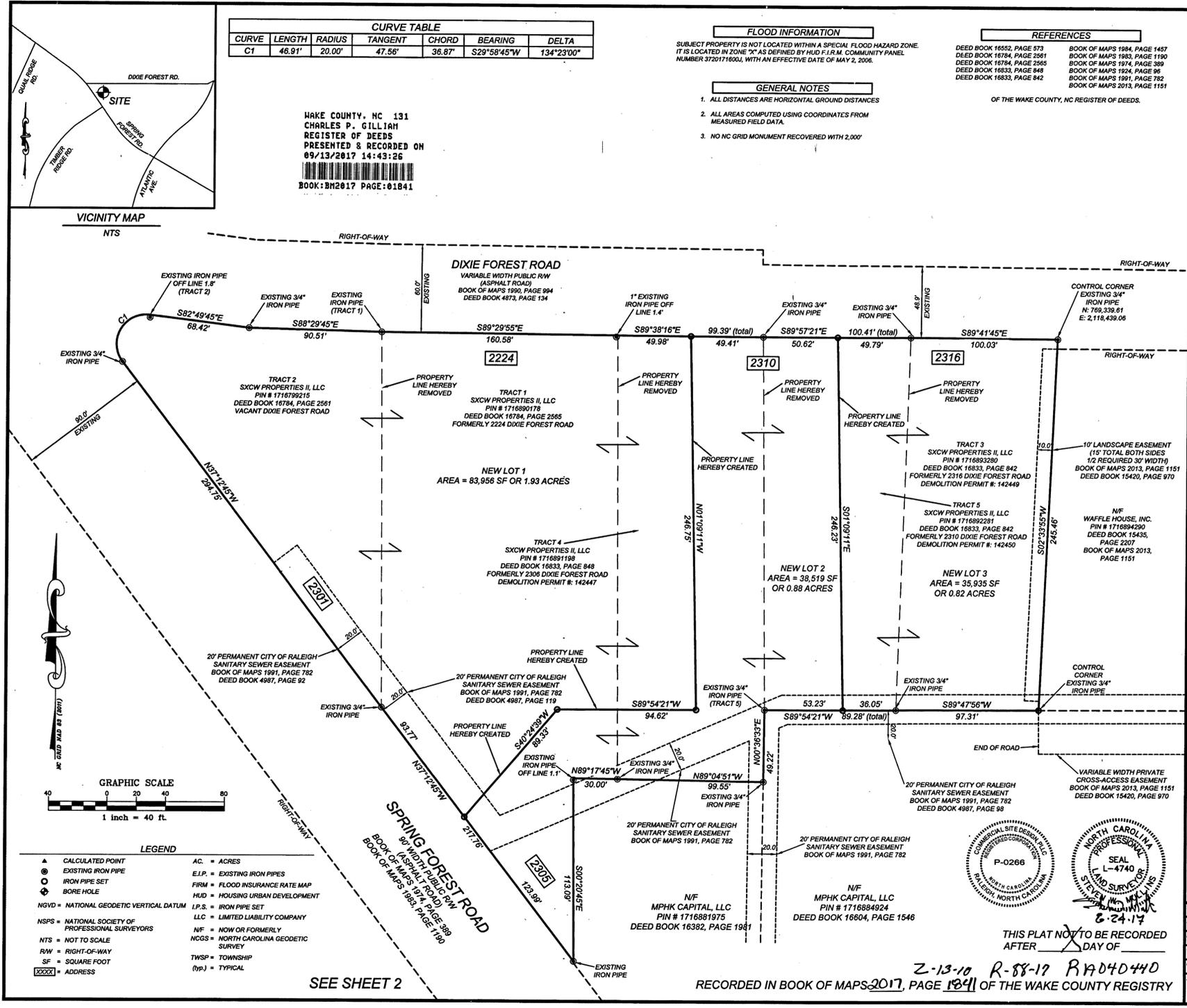
SAM'S REAL ESTATE
7935 COUNCIL PLACE, SUITE 102
MATTHEWS, NC 28105

Transaction # 517557
SR-55-17

Sheet
C-0.0

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X:\SME - Sam's Real Estate\1601 - Raleigh, NC (Dixie Forest)\CAD\10 SME-1601 Plat-CW.dwg, 12/28/2017 2:54:52 PM, jboyf



LEGEND

▲ CALCULATED POINT	AC. = ACRES
○ EXISTING IRON PIPE	E.I.P. = EXISTING IRON PIPES
● IRON PIPE SET	FIRM = FLOOD INSURANCE RATE MAP
⊕ BORE HOLE	HUD = HOUSING URBAN DEVELOPMENT
NGVD = NATIONAL GEODETIC VERTICAL DATUM	I.P.S. = IRON PIPE SET
NSPS = NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS	LLC = LIMITED LIABILITY COMPANY
NTS = NOT TO SCALE	NF = NOW OR FORMERLY
RW = RIGHT-OF-WAY	NGCS = NORTH CAROLINA GEODETIC SURVEY
SF = SQUARE FOOT	TWSP = TOWNSHIP
XXXX = ADDRESS	(Typ.) = TYPICAL

SAM'S XPRESS CAR WASH
2224 DIXIE FOREST ROAD
RALEIGH, NORTH CAROLINA

SAM'S REAL ESTATE
7935 COUNCIL PLACE, SUITE 102
MATTHEWS, NC 28105

RECOMBINATION PLAN

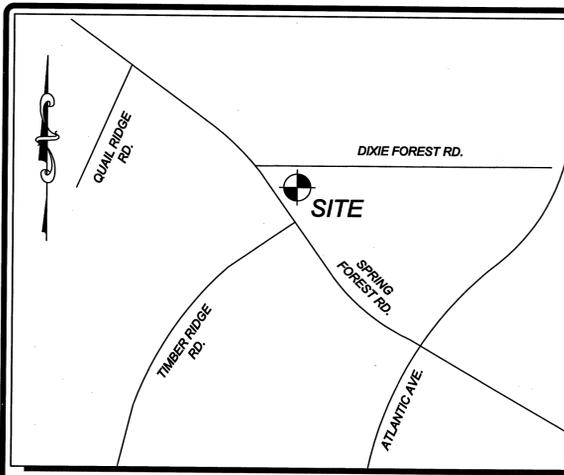
DESIGNED BY: SJB
DRAWN BY: JJJ
CHECKED BY: JJJ
DATE: 05-24-17

ISSUE BY: JJJ
DATE: 06-02-17
DATE: 06-09-17
DATE: 07-21-17
DATE: 12-12-17

ISSUE: CLIENT CHECK SET
SUBMITTAL ADMINISTRATIVE SITE PLAN
SUBMITTAL ADMINISTRATIVE SITE PLAN
3rd SUBMITTAL ADMINISTRATIVE SITE PLAN

Scale: AS SHOWN

Sheet: C-1.0



VICINITY MAP
NOT TO SCALE

SITE LEGEND

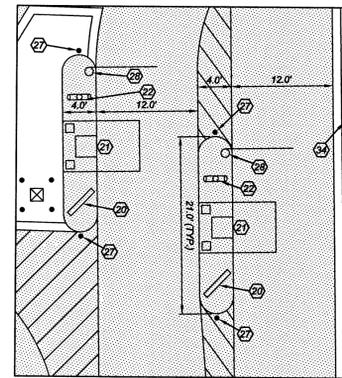
	SPILL CURB
	HANDICAP RAMP
	HANDICAP STALL
	CONCRETE
	PROPERTY LINE
	SIGN
	BOLLARD
	EX FIRE HYDRANT
	FENCE
	POLE MOUNTED AREA LIGHT
	PROPERTY CORNER
	FINISH FLOOR ELEVATION
	AMENITY AREA 8,035 SF OR 12%

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	46.91'	20.00'	47.56'	36.87'	S29°58'45"W	134°23'00"

SIGNAGE LEGEND
SEE SIGNAGE PACKAGE BY CASCO SIGNS FOR DETAILS

	ENTRY / EXIT SIGNS
	MENU BOARD
	MONUMENT SIGN
	PAY HERE CANOPY
	CAMERA POLES



PAY STATION ISLAND DETAIL
SCALE = 1"=10'

SITE INFORMATION

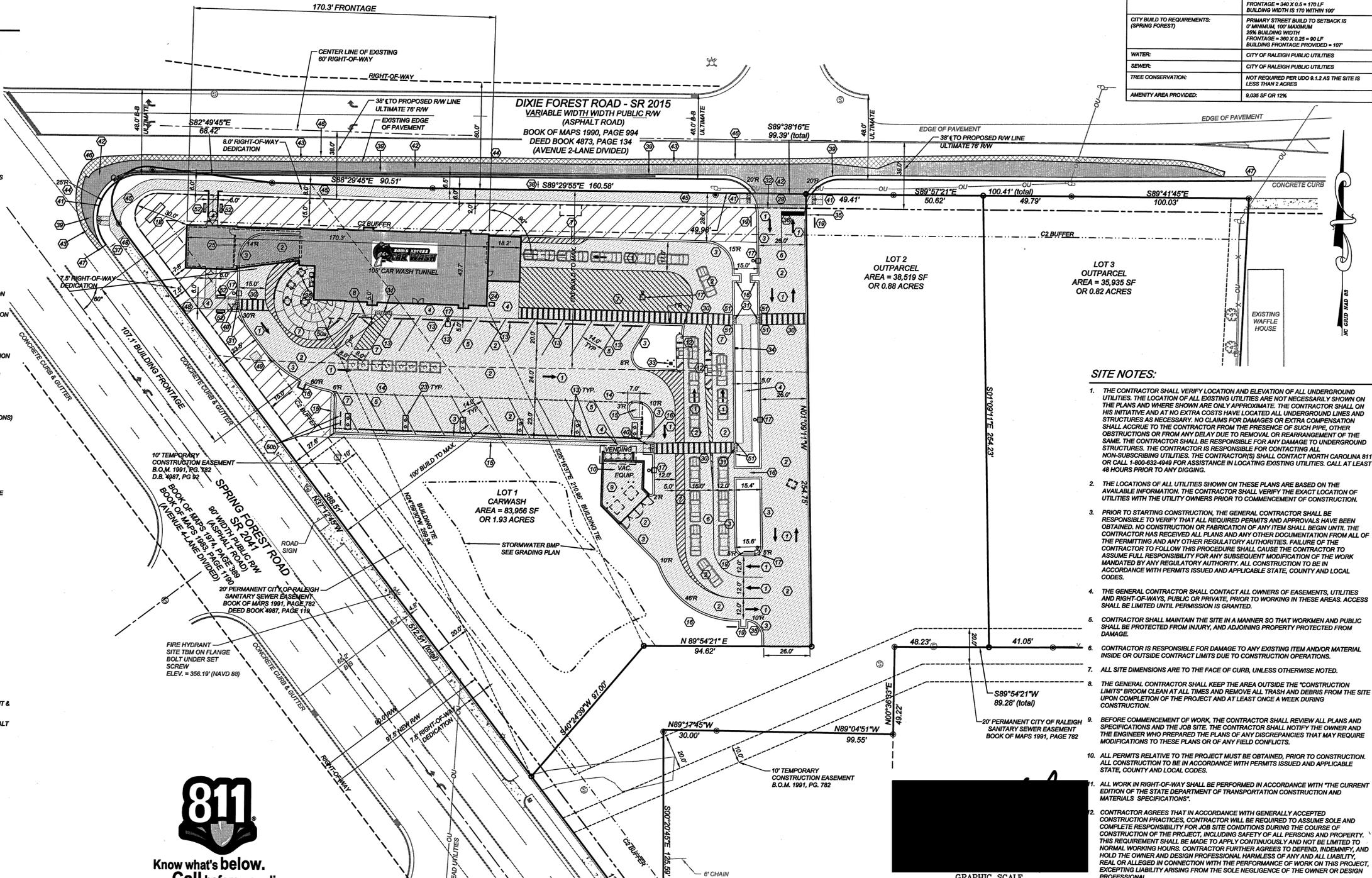
SITE ADDRESS:	2224 DIXIE FOREST ROAD, RALEIGH, NC
OWNER / DEVELOPER:	SAM'S REAL ESTATE 7835 COUNCIL PLACE, SUITE 102 MATTHEWS, NORTH CAROLINA
DESIGNER:	COMMERCIAL SITE DESIGN, PLLC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 TEL: (919) 848-8121; FAX: (919) 848-3741
PARCEL IDENTIFICATION NUMBER:	171689222
ZONING:	CX-3-PL-CU
EXISTING USE:	VACANT
PROPOSED USE:	CAR WASH
BUILDING SETBACKS:	FRONT: 5 FEET SIDE: 6 FEET REAR: 6 FEET
PARKING SETBACKS:	FRONT: 10 FEET SIDE: 0 FEET OR 3 FEET REAR: 0 FEET OR 3 FEET
PARKING REQUIREMENTS:	1 SPACES PER 600 SF GFA 4.123 SF / 600 SF = 7 SPACES AND 4 LONG TERM BICYCLE PARKING SPACES
PARKING PROVIDED:	9 REGULAR SPACES 1 HANDICAP SPACE 4 LONG TERM BICYCLE SPACES
TOTAL SITE AREA:	83,956 SF OR 1.93 ACRES
TOTAL SITE AREA AFTER RW DEDICATION:	77,391 SF OR 1.78 ACRES
DISTURBED AREA (INCLUDING RW):	102,728 SF OR 2.34 ACRES
PROPOSED IMPERVIOUS AREA:	45,944 SF OR 1.08 ACRES OR 56%
BUILDING AREA:	5,824 SF
CITY BUILD TO REQUIREMENTS:	PRIMARY STREET BUILD TO SETBACK IS 0' MINIMUM, 100' MAXIMUM 50% BUILDING WIDTH FRONTAGE = 340 X 0.5 = 170 LF BUILDING WIDTH IS 170 WITHIN 100'
CITY BUILD TO REQUIREMENTS:	PRIMARY STREET BUILD TO SETBACK IS 0' MINIMUM, 100' MAXIMUM 25% BUILDING WIDTH FRONTAGE = 340 X 0.25 = 85 LF BUILDING WIDTH IS 85 WITHIN 100'
WATER:	CITY OF RALEIGH PUBLIC UTILITIES
SEWER:	CITY OF RALEIGH PUBLIC UTILITIES
TREE CONSERVATION:	NOT REQUIRED PER UDO § 1.2 AS THE SITE IS LESS THAN 2 ACRES
AMENITY AREA PROVIDED:	8,035 SF OR 12%

Statement of compliance with Car Wash Use Standards UDO Sec 6.5.6 B.2.

- The washing, waxing, machine drying and related activities are located within the enclosed building (AKA Tunnel) which has openings that are no greater than 12 feet. The self-vacuuming, drying, vending, refuse storage and disposal are permitted as shown.
- The entrance and exit to the car wash face away from the R-4 zoning to the north and the R-10 zoning to the southwest at an angle greater than 60 degrees.
- The operating levels of the vacuums are less than code.
- The business will operate from 7:00 AM till 9:30 PM.

SITE KEY NOTES:

- PAINT WHITE TRAFFIC ARROWS PER DETAIL SHEET (PRIVATE PROPERTY)
- CONSTRUCT CONCRETE PAVEMENT PER DETAILS SHEET. ALL JOINTS TO BE SEALED WITH MASTER SEAL NP-1 (HIGH PERFORMANCE POLYURETHANE SEALANT) OR EQUIVALENT.
- CONSTRUCT 12" MOUNTABLE CURB PER SEE DETAILS SHEET.
- CONSTRUCT CONCRETE WALK PER DETAIL SHEET (PRIVATE PROPERTY)
- PAINT 4" WIDE STRIPED PARKING @ 60", WHITE
- PAINT 4" WIDE STRIPING @ 90", WHITE
- PAINT 4" WIDE STRIPES, WHITE @ 45° 2'-0" O.C.
- INSTALL CONCRETE BOLLARD / VAN-ACCESSIBLE H.C. SIGN PER DETAIL
- CONSTRUCT DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS & DIMENSIONS) NOTE: DUMPSTER ENCLOSURE TO MATCH BUILDING
- CONSTRUCT VACUUM EQUIPMENT ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS AND DIMENSIONS) NOTE: ENCLOSURE TO MATCH BUILDING
- CONSTRUCT CAR WASH BUILDING (SEE ARCHITECTURAL PLANS FOR DETAILS)
- CONSTRUCT RAISED CONCRETE ISLAND FOR PAY STATION
- CONSTRUCT WHEEL STOPS (TYP.)
- PROPOSED VACUUM CANOPY (SEE ARCHITECTURAL PLANS FOR DETAILS)
- CONSTRUCT 2" WIDE CONCRETE SPLASH PAD FOR CANOPY.
- CONCRETE FLUME. SEE DETAIL.
- PROPOSED PEDESTRIAN SCALE LIGHT POLE
- PROPOSED MONUMENT SIGN (EXACT LOCATION TO BE COORDINATED WITH CONSTRUCTION MANAGER, SIGNAGE TO BE PERMITTED BY OTHERS)
- PROPOSED ENTRY/EXIT SIGNS (EXACT LOCATION TO BE COORDINATED WITH CONSTRUCTION MANAGER, SIGNAGE TO BE PERMITTED BY OTHERS)
- PROPOSED MENU BOARD (EXACT LOCATION TO BE COORDINATED WITH CONSTRUCTION MANAGER, SIGNAGE TO BE PERMITTED BY OTHERS)
- PROPOSED PAY HERE CANOPY (EXACT LOCATION TO BE COORDINATED WITH CONSTRUCTION MANAGER, SIGNAGE TO BE PERMITTED BY OTHERS)
- PROPOSED CAMERA POLES (EXACT LOCATION TO BE COORDINATED WITH CONSTRUCTION MANAGER, SIGNAGE TO BE PERMITTED BY OTHERS)
- PROPOSED VACUUM CANOPY FOUNDATION LOCATION (SEE STRUCTURAL PLANS FOR FOUNDATION DETAILS - INSTALL CORNER GUARDS PER ARCH. PLANS)
- PROPOSED MAT CLEANER LOCATION (SEE ELECTRICAL / PLUMBING PLANS FOR CONNECTIONS)
- PROPOSED STOPGO LIGHT LOCATION (SEE ELECTRICAL SITE PLAN FOR CONNECTIONS) MOUNT ON 1" X 1" X 4" THICK CONCRETE PAD FLUSH WITH TOP OF CURB
- PROPOSED WALL (SEE ARCHITECTURAL PLANS FOR WALL DETAILS AND SECTIONS)
- PROPOSED 6" CONCRETE BOLLARD (SHALL NOT BLOCK VIEW OF MENU BOARD)
- PROPOSED TRAFFIC GATE
- PROPOSED CROSSWALK IN PUBLIC RIGHT-OF-WAY PER CITY AND DOT STANDARDS. 2 WHITE LINES 8 FEET APART. 4" WIDE
- PROPOSED CROSSWALK ON PRIVATE PROPERTY PER DETAIL SHEET
- ADA COMPLIANT TACTILE WARNING SURFACE
- ASPHALT/CONCRETE TRANSITION. SEE DETAIL
- TIRE AIR STATION WITH 4 BOLLARDS
- INSTALL 1" X 1" CONCRETE PAD FLUSH WITH TOP OF CURB FOR CAMERA POLE
- "STOP" SIGN PER MUTCD STANDARDS
- 24" SOLID WHITE STOP BAR
- RELOCATE EXISTING STREET NAME SIGN.
- RELOCATE EXISTING "25 MPH SPEED LIMIT" SIGN.
- ALL CURBS & GUTTER INSIDE PUBLIC RIGHT-OF-WAY SHALL BE 30" WIDE PER CITY & NCDOT SPECIFICATIONS
- ADA WHEELCHAIR RAMP ON PRIVATE PROPERTY. SEE DETAIL
- WHEELCHAIR RAMP IN PUBLIC RW PER CITY & NCDOT SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH CITY & DOT INSPECTORS.
- ASPHALT PAVEMENT INSIDE PUBLIC RIGHT-OF-WAY PER CITY & DOT SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH CITY & DOT INSPECTORS. REFER TO DRIVEWAY PERMIT & ENCROACHMENT AGREEMENT.
- MILL 1.5" THICK X 3" WIDE EXISTING ASPHALT. APPLY TACK COAT. OVERLAY 1.5" THICK ASPHALT SURFACE COURSE PER CITY & DOT SPECIFICATIONS.
- CONTRACTOR TO PERFORM TRAFFIC CONTROL PER CITY AND DOT STANDARDS.
- 6.0' WIDE CONCRETE SIDEWALK IN PUBLIC RIGHT-OF-WAY PER CITY OF RALEIGH SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH CITY INSPECTOR.
- MATCH EXISTING PAVEMENT.
- MATCH EXISTING CURB AND GUTTER.
- MATCH EXISTING SIDEWALK.
- TRANSFORMER PAD
- INSTALL TWO INVERTED U-RACKS PER Z-13-10 CONDITION (d), SEE DETAIL SHEET
- LONG TERM BICYCLE PARKING PER UDO, LOCATED WITHIN BUILDING
- NOSE DOWN CURB
- INSTALL BENCHES ON BOTH SIDES OF SIDEWALK PER Z-13-10 CONDITION (d).

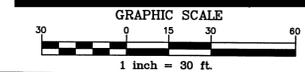


SITE NOTES:

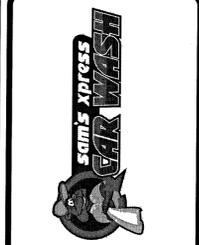
- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR SHALL CONTACT NORTH CAROLINA 811 OR CALL 1-800-632-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS. ACCESS SHALL BE LIMITED UNTIL PERMISSION IS GRANTED.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
- ALL SITE DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES AND REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
- ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- ALL WORK IN RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS.
- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X AS DESIGNATED BY HUD F.R.M. COMMUNITY PANEL NUMBER 3720171600J, WITH AN EFFECTIVE DATE OF MAY 2, 2008.



Know what's below.
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NO.	DATE	BY	ISSUE
1	06-05-17	JWR	CLIENT CHECK SET
2	06-09-17	JWR	ADMINISTRATIVE SITE PLAN
3	07-21-17	JWR	2nd SUBMITTAL ADMINISTRATIVE SITE PLAN
4	12-13-17	JWR	3rd SUBMITTAL ADMINISTRATIVE SITE PLAN



SAM'S XPRESS CAR WASH
2224 DIXIE FOREST ROAD
RALEIGH, NORTH CAROLINA
SAM'S REAL ESTATE
7935 COUNCIL PLACE, SUITE 102
MATTHEWS, NC 28105

SITE PLAN

DESIGNED BY	SUB	DATE	05-24-17	CHECKED BY	JWR	DATE	05-24-17
SCALE	1" = 30'	JOB NUMBER	SME-1601	BY	JWR	DATE	05-24-17

QUANTITIES

QUANTITIES SHOWN IN LIST ARE FOR THE CONVENIENCE OF CONTRACTORS AND BELIEVED TO BE SUBSTANTIALLY CORRECT, BUT THE ACCURACY OF QUANTITIES IN LIST ARE NOT GUARANTEED.

NOTE:
ANY PLANTING WITHIN THE NCDOT RIGHT OF WAY REQUIRES A NCDOT PLANTING PERMIT

TREE PLANTING SCHEDULE

SYMBOL	KEY	NO.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	COMMENTS
AR	9	ACER RUBRUM "OCT. GLORY"	OCTOBER GLORY RED MAPLE	3" MIN.	10' MIN.	B & B	CANOPY	
QP	15	QUERCUS PHELLOS	WILLOW OAK	3" MIN.	10' MIN.	B & B	CANOPY	
LI	-	LAGERSTROEMIA INDICA	CREPE MYRTLE "NATCHEZ"	3" MIN.	10' MIN.	B & B	UNDERSTORY	
MS	11	MAGNOLIA SOULANGIANA	SAUCER MAGNOLIA	3" MIN.	10' MIN.	B & B	EVERGREEN	
IF	12	ILEX ATTENUATA FOSTERI	FOSTERS HOLLY	3" MIN.	10' MIN.	B & B	EVERGREEN	

SHRUB PLANTING SCHEDULE

SYMBOL	KEY	NO.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	COMMENTS
ICB	72	ILEX CORNUTA ROTUNDA "NANA"	DWARF BURFORD HOLLY	-	36" MIN.	6 GAL.	EVERGREEN	
CJ	54	CLEYERA JAPONICA	CLEYERA	-	18" MIN.	3 GAL.	EVERGREEN	
ND	44	NANDINA DOMESTICA "NANA"	DWARF NANDINA	-	18" MIN.	3 GAL.	DECIDUOUS	
AG	76	ABELIA GRANDIFLORA	FLOWERING ABELIA	-	36" MIN.	5 GAL.	EVERGREEN	
MC	24	MYRTICA CERIFERA	SOUTHERN WAXMYRTLE	-	18" MIN.	3 GAL.	EVERGREEN	

**DIXIE FOREST RD
BUFFER TYPE C2 UDO 7.2.4.B**
FRONTAGE = 350 LF
WIDTH OF BUFFER = 15'
SHADE TREES = 4 / 100 LF = 14 TREES
SHRUBS = 15 / 100 LF = 53 SHRUBS

**SPRING FOREST RD
BUFFER TYPE C2 UDO 7.2.4.B**
FRONTAGE = 173 LF
WIDTH OF BUFFER = 15'
SHADE TREES = 4 / 100 LF = 7 TREES
SHRUBS = 15 / 100 LF = 26 SHRUBS

**SPRING FOREST RD
FEE IN LIEU OF EXISTING
SANITARY SEWER EASEMENT**
FRONTAGE = 216 LF
WIDTH OF BUFFER = 15'
SHADE TREES = 4 / 100 LF = 9 TREES
SHRUBS = 15 / 100 LF = 33 SHRUBS

**LANDSCAPE PERIMETER ISLAND
UDO 7.1.7.C**
LENGTH = 180 LF
SHRUBS = 30 / 100 LF = 54 SHRUBS EACH

**STORMWATER CONTROL FACILITY SCREENING
UDO 7.2.6.C**
75% EVERGREEN WITH A MATURE HEIGHT OF 6 FEET.
NOT ON DAM OR ACCESS POINT.

LANDSCAPE NOTES:

- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL AT 1-800-832-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- ENTIRE SITE SHALL BE SODED UNLESS SPECIFIED ON PLAN OR REQUESTED BY CONSTRUCTION MANAGER USE LOCALLY ADAPTED SOG.
- THE GENERAL CONTRACTOR SHALL LEAVE THIS SITE AT 6" FROM FINISHED GRADE. THE LANDSCAPE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
- PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE DEAD OR DYING PLANT MATERIAL AT HIS EXPENSE. THIS REPLACEMENT SHALL NOT BE CONSIDERED A GUARANTEED REPLACEMENT.
- ALL PLANTING SHALL BE PLACED WITHIN A MULCHED PLANTING BED. ALL STRAPPING AND THE TOP 2/3 OF WIRE BASKETS MUST BE CUT AWAY AND REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
- ALL LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARD DETAILS AND SPECIFICATIONS.
- ALL AREAS NOT MULCHED SHALL BE SEEDED OR SODED IN ACCORDANCE WITH THE AREA SPECIFIED ON PLANS WITH GRASS SPECIES RECOMMENDED FOR REGION AS PRESCRIBED IN THE SEEDING SCHEDULE AS SHOWN ON THIS SHEET.
- SITE LIGHTING SHALL NOT BE PLACED IN CONFLICT WITH PLANTED TREES.
- TREE PROTECTION FENCING TO BE PROVIDED AROUND TREE PRESERVATION AREAS IN ACCORDANCE WITH CITY STANDARDS.
- COORDINATE ALL WORK WITH SITE LAYOUT AND SITE GRADING, DRAINAGE & UTILITIES PLAN.
- MULCH ALL AREAS, THAT ARE NOT SEEDED OR SODED, SHALL USE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL AS SPECIFIED TO A DEPTH OF 3"-4".
- THE SELECTION AND INSTALLATION OF PLANTS AND PLANTING METHODS SHALL CONFORM WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE CITY STANDARD DETAILS AND SPECIFICATIONS, WHICHEVER IS STRICTER.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. DRAWINGS SHALL RULE OVER PLANT LISTS.
- SUBSTITUTIONS SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL, PRIOR TO INSTALLATION. SUBSTITUTIONS MAY REQUIRE ADDITIONAL APPROVAL BY THE GOVERNING JURISDICTION.
- ALL LANDSCAPING SOIL AND FILL SHALL BE FREE FROM WEEDS, REFUSE, AND DEBRIS AT ALL TIMES.
- TREES AND LARGE SHRUBS SHALL BE ADEQUATELY SUPPORTED, AS NECESSARY, USING ARBORTIE FOR GUYS ON TREES. SUCH SUPPORTS SHALL BE DESIGNED SO AS TO PROTECT TREES AND SHRUBS FROM INJURY. TREES AND SHRUBS SHALL BE FASTENED TO THE SUPPORT WITH AN ACCEPTABLE COMMERCIAL TREE TIE OF PLASTIC OR HOSE COVERED WIRE.
- CONTRACTOR BID SHALL INCLUDE IRRIGATION LAYOUT AND INSTALLATION. SEE PROPOSED IRRIGATION LOCATIONS ON THIS SHEET.

**SEEDING SCHEDULE
FOR SHOULDERS, SIDE DITCHES & SLOPES (MAX 2:1)**

DATE	TYPE	PLANTING RATE
AUG 15-NOV 1	TALL FESCUE	300 #/AC
NOV 1-MAR 1	TALL FESCUE	300 #/AC
MAR 1-APR 15	TALL FESCUE AND ABRUZZI RYE	25 #/AC
APR 15-JUN 30	TALL FESCUE	300 #/AC
JUL 15-AUG 15	HULLED COMMON BERMUDA GRASS	25 #/AC
	TALL FESCUE	120 #/AC
	AND BROWNTOP MILLET	35 #/AC
	OR SORGHUM-SUDAN HYBRIDS	30 #/AC

FOR SLOPES (3:1 TO 2:1)

DATE	TYPE	PLANTING RATE
MAR 1-JUN 1	TALL FESCUE	50 #/AC
MAR 1-JUN 30	OR ADD WEEPING LOVEGRASS	10 #/AC
MAR 1-JUN 30	OR ADD HULLED COMMON BERMUDA GRASS	25 #/AC
JUN 1-SEPT 1	TALL FESCUE AND BROWNTOP MILLET	35 #/AC
	OR SORGHUM-SUDAN HYBRIDS	30 #/AC
SEPT 1-MAR 1	TALL FESCUE	120 #/AC
(NOV 1-MAR 1)	ADD ABRUZZI RYE	25 #/AC

CONSULT CONSERVATION ENGINEER OR SOG FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF SLOPED AREAS. ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS. OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.
***TEMPORARY-RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW OVER 12" IN HEIGHT BEFORE MOWING. OTHERWISE FESCUE MAY BE SHAVED OFF.

NO.	DATE	ISSUE	BY	DESCRIPTION
1.	06-02-17	JWR	JWR	CLIENT CHECK SET
2.	06-09-17	JWR	JWR	16 SUBMITTAL ADMINISTRATIVE SITE PLAN
3.	07-21-17	JWR	JWR	2nd SUBMITTAL ADMINISTRATIVE SITE PLAN
4.	12-12-17	JWR	JWR	3rd SUBMITTAL ADMINISTRATIVE SITE PLAN



SAM'S XPRESS CAR WASH
2224 DIXIE FOREST ROAD
RALEIGH, NORTH CAROLINA
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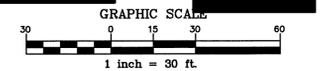
LANDSCAPE PLAN

DESIGNED BY	DRAWN BY	CHECKED BY	BTS
SJB	JWR	JWR	
DATE	SCALE	JOB NUMBER	JOB NUMBER
05-24-17	1" = 30'	SME-1801	

Sheet
C-3.0



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MATERIAL SCHEDULE - EXTERIOR					
KEY	MANUFACTURER	MATERIAL	PRODUCT #	COLOR	NOTES
M 1	CONSTRUCTION METAL PRODUCTS	STANDING SEAM METAL ROOFING	SERIES 2000	REGAL RED	12" PRE-FINISHED, SILICONIZED POLYESTER
M 2	CARLISLE SYNTec SYSTEMS	PARAPET WALL COPING	SECUREEDGE 300	DOVE GRAY A09	GALVANIZED, PRE-FINISHED, KYNAR 500, 24 GA
M 3	AWNEX	TRELLIS		RED (PANTONE 485C)	PROVIDED AND INSTALLED BY AWNEX UNDER GC CONTRACT
M 6	CITADEL	INSULATED GLAZING INSERT	GLAZE GUARD 1000	CUSTOM KYNAR 500 PURPLE	
S 1	SENERGY	STUCCO-PORTLAND CEMENT	PLATINUM CI STUCCO ULTRA	DOVE GREY	

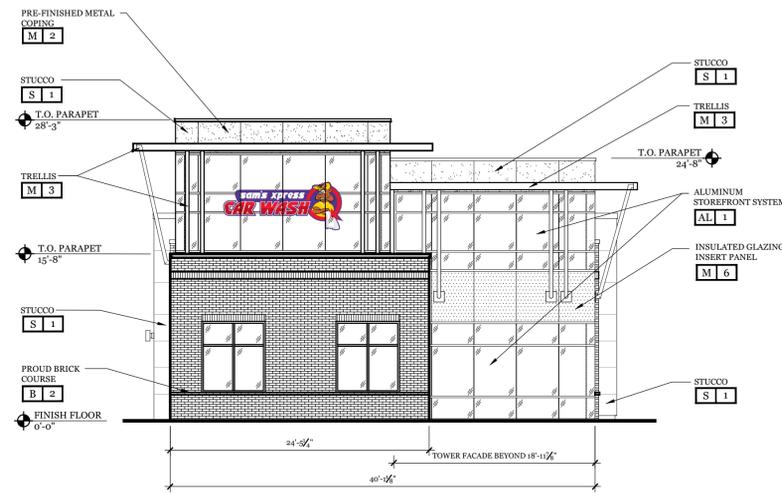
MATERIAL SCHEDULE - EXTERIOR					
KEY	MANUFACTURER	MATERIAL	PRODUCT #	COLOR	NOTES
B 1	TAYLOR CLAY PRODUCTS	FACE BRICK	322 GRAY	DARK GRAY	RUNNING BOND FACE BRICK
B 2	TAYLOR CLAY PRODUCTS	FACE BRICK	320 GRAY	LIGHT GRAY	SOLDIER COURSE & SILL COURSE
O 1	ROLLING SERVICE DOOR	ROLL UP DOOR	WAYNE DALTON MODEL 900	GRAY	
AL 1	KAWNEER	ALUM. STOREFRONT SYSTEM	TRIFAB VG45T SSG	CLEAR ANODIZED & 1" CLEAR INSUL GLASS	INSTALL CLOSURE PLATES ON BACK OF ALL JAMB PIECES
AL 2	KAWNEER	ALUM. STOREFRONT SYSTEM	TRIFAB VG45T SSG	CLEAR ANODIZED & 1" SPANDREL INSUL GLASS	INSTALL CLOSURE PLATES ON BACK OF ALL JAMB PIECES

Project
 Sam's Xpress Car Wash
 Spring Forest Road
 Raleigh, NC 27615

Owner
 Sam's Mart
 793 Council Place
 Suite 200
 Matthews, NC 28105



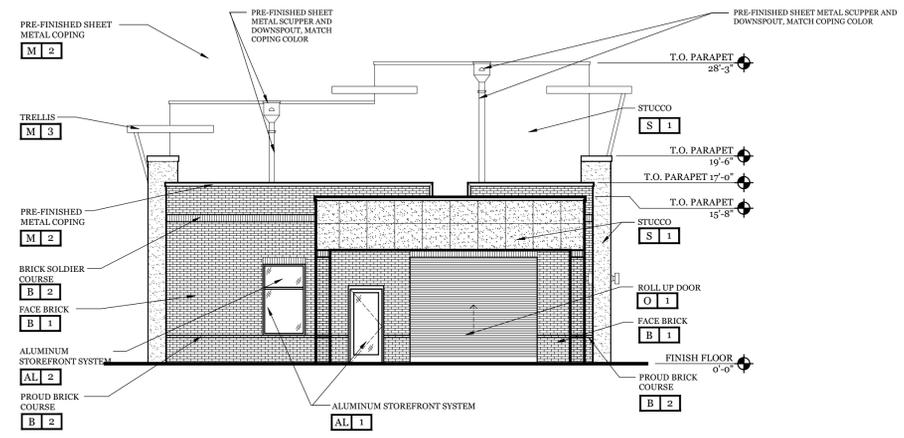
Raleigh
UDO Site
Express
Review
01.02.18



TOTAL BUILDING ELEVATION AREA = 1,059 s.f.
 TOTAL OPENING AREA = 574 s.f.
 TOTAL TRANSPARENCY = 54%

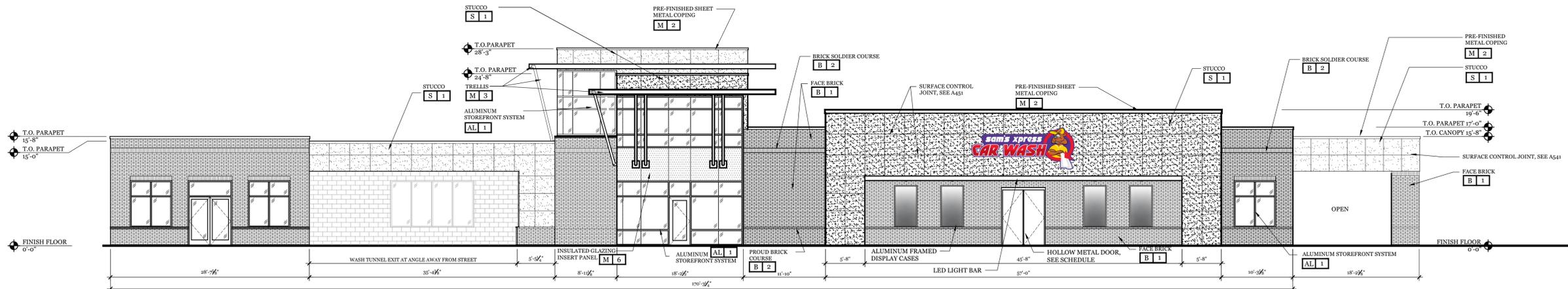
1 West Elevation - Spring Forest Rd. & Dixie Forest Rd. Intersection

3/16" = 1'-0"



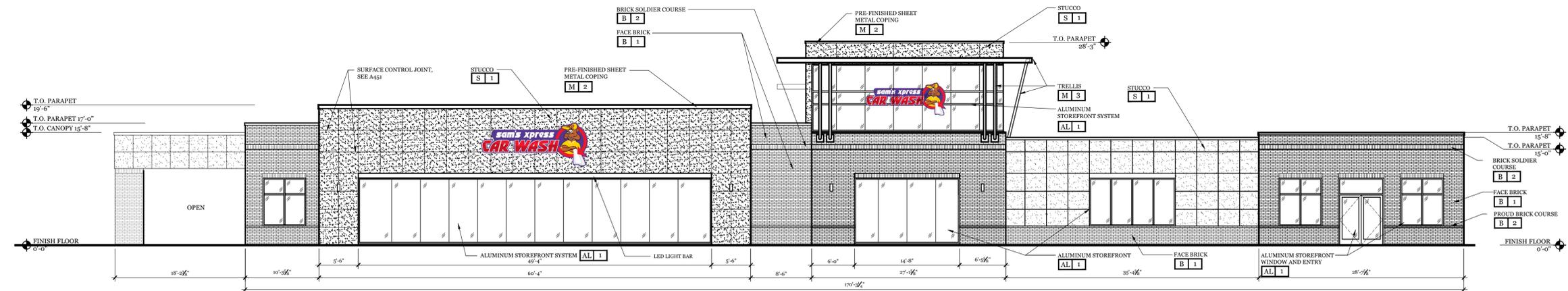
2 East Elevation - Interior Lot Side

3/16" = 1'-0"



3 South Elevation - Spring Forest Road

1/8" = 1'-0"



4 North Elevation - Dixie Forest Road

1/8" = 1'-0"

TOTAL BUILDING ELEVATION AREA = 3,250 s.f.
 TOTAL OPENING AREA = 1,105 s.f.
 TOTAL TRANSPARENCY = 34%



124 Floyd Smith Dr
Suite 375
Charlotte, NC 28262
 Tel - 704 - 688-7500

7301 Rivers Avenue
Suite 188
North Charleston, SC 29406
 Tel - 843 - 531-6848

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Revision **Date**

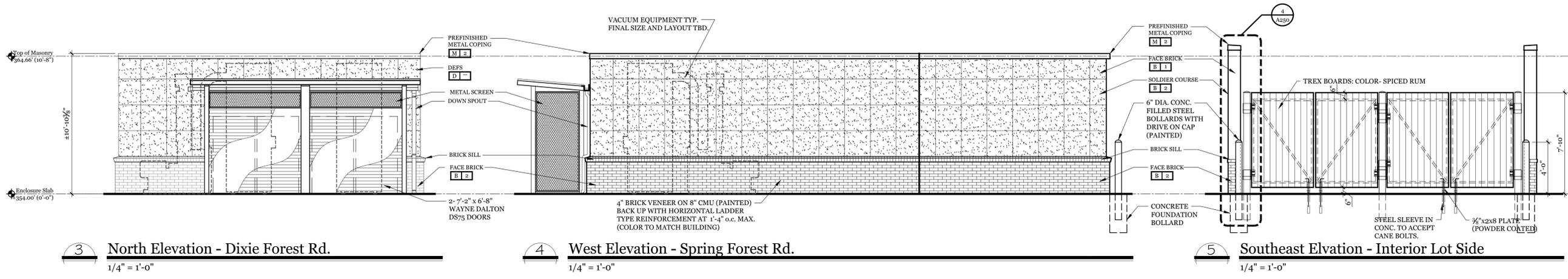
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Checked By MJR
Issue Date 12.19.17
Project No 160342

Sheet Title
 BUILDING ELEVATIONS

Sheet Number
A200

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 Raleigh, NC 27615

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 01.02.18**



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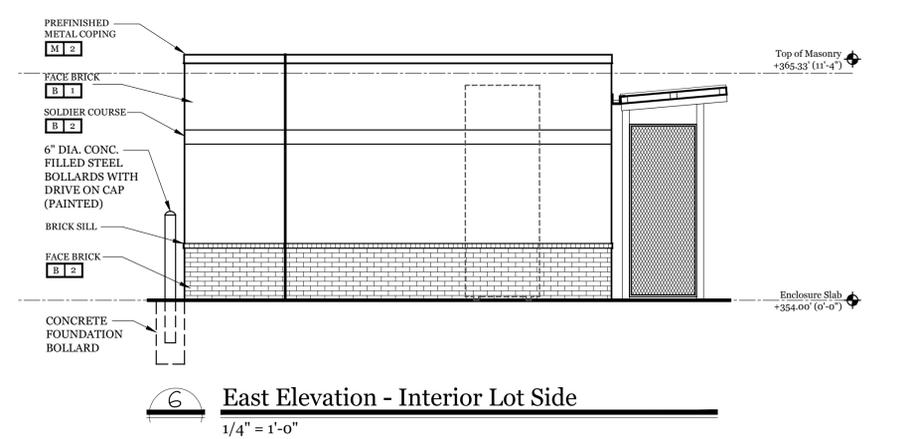
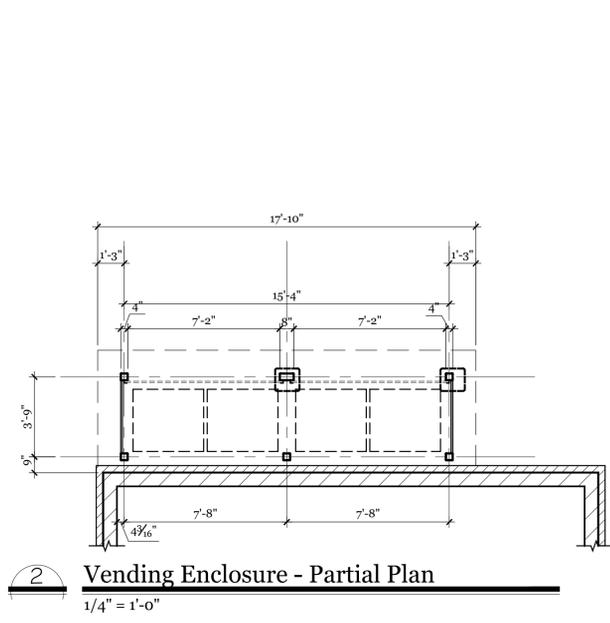
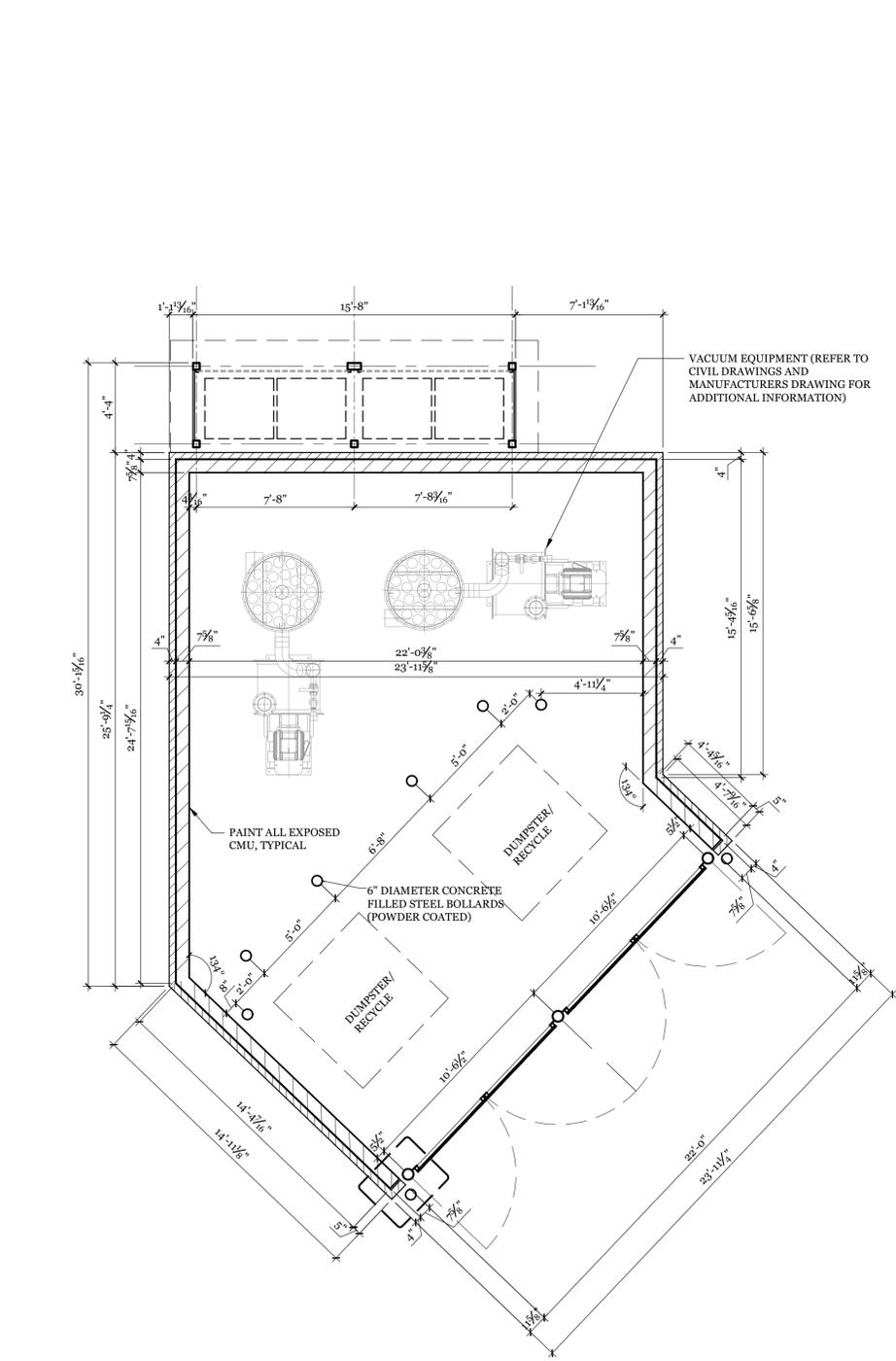
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Checked By MJR
Issue Date 12.19.17
Project No 160342

Sheet Title
 DUMPSTER/VACUUM/
 VENDING ENCLOSURE
 PLANS & ELEVATIONS

Sheet Number
A250



1 Dumpster Enclosure Plan
 1/4" = 1'-0"

2 Vending Enclosure - Partial Plan
 1/4" = 1'-0"

6 East Elevation - Interior Lot Side
 1/4" = 1'-0"

Project

Sam's Xpress Car Wash
Spring Forest Road
Raleigh, NC 27615

Owner

Sam's Mart
793 Council Place
Suite 200
Matthews, NC 28105



**Raleigh
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01.02.18**



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Revision Date

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Checked By MJR

Issue Date 12.19.17

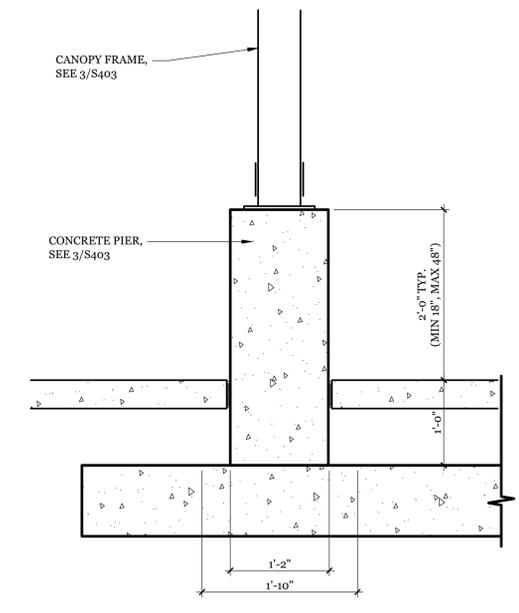
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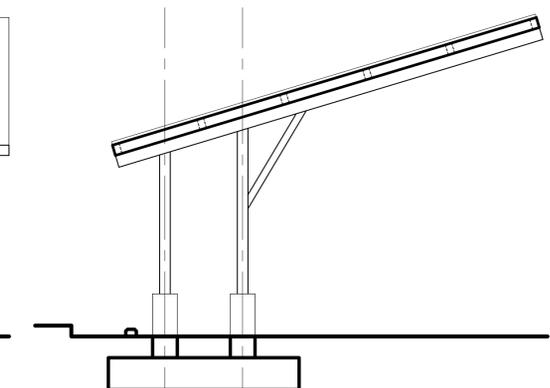
VACUUM CANOPY PLAN
ELEVATIONS AND
DETAILS

Sheet Number

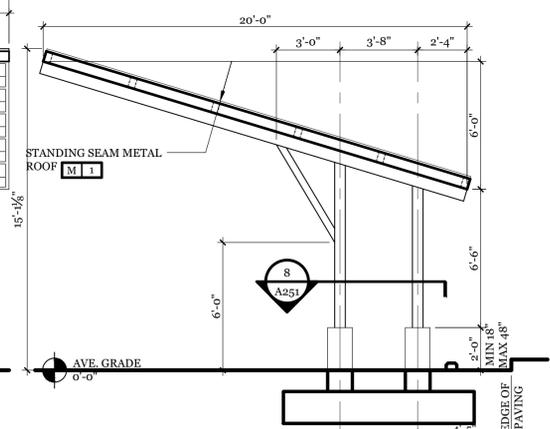
A251



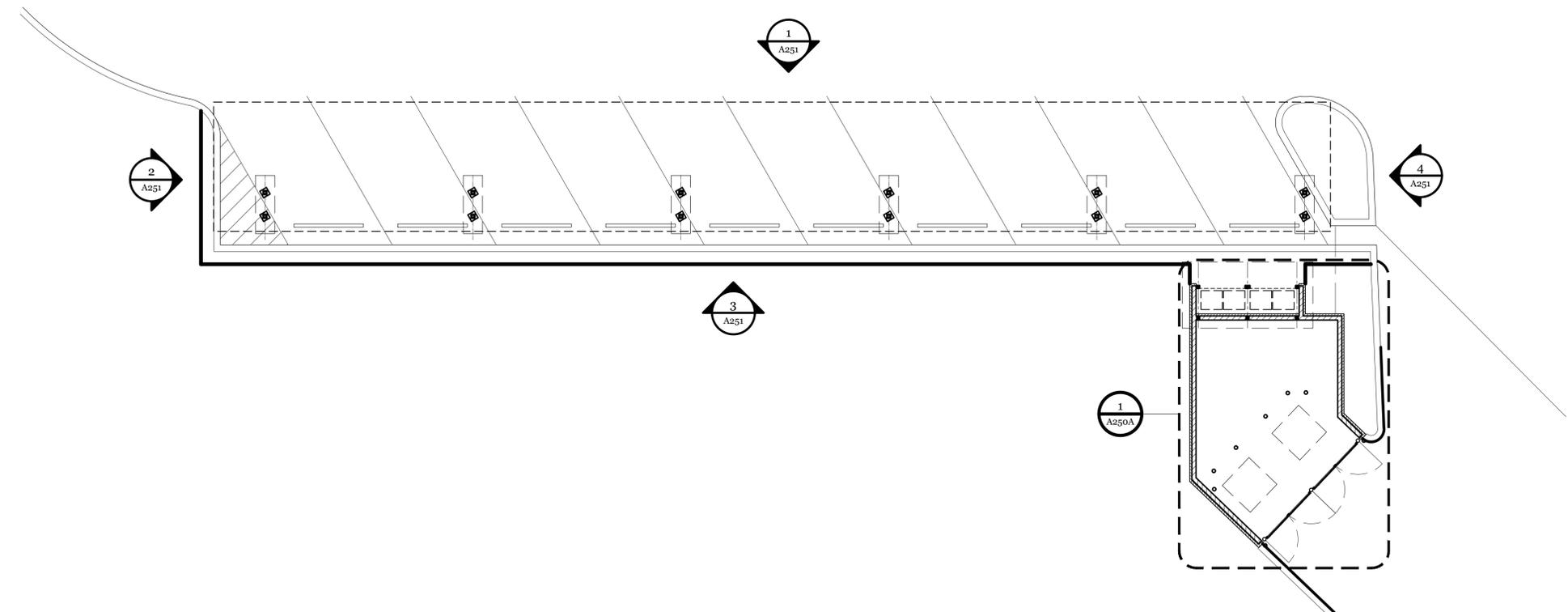
3 CANOPY BASE SECTION
1" = 1'-0"



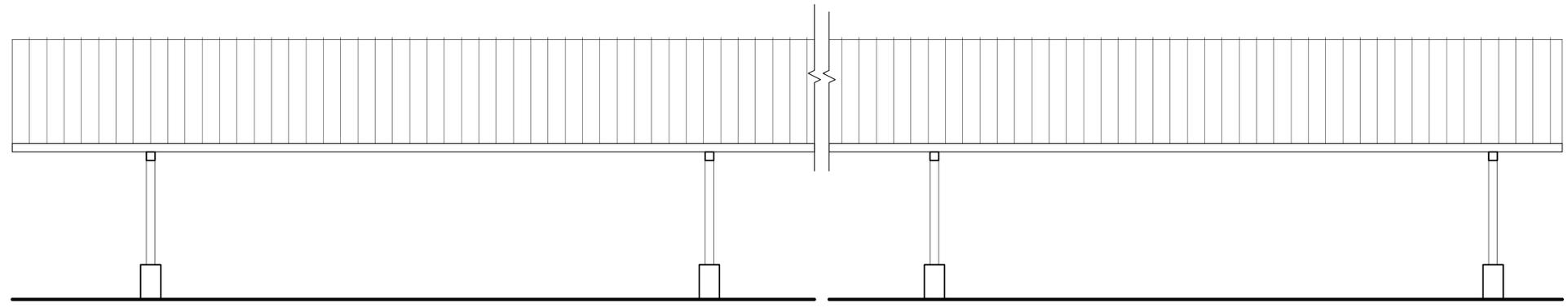
4 East Elevation - Interior Lot Side
1/4" = 1'-0"



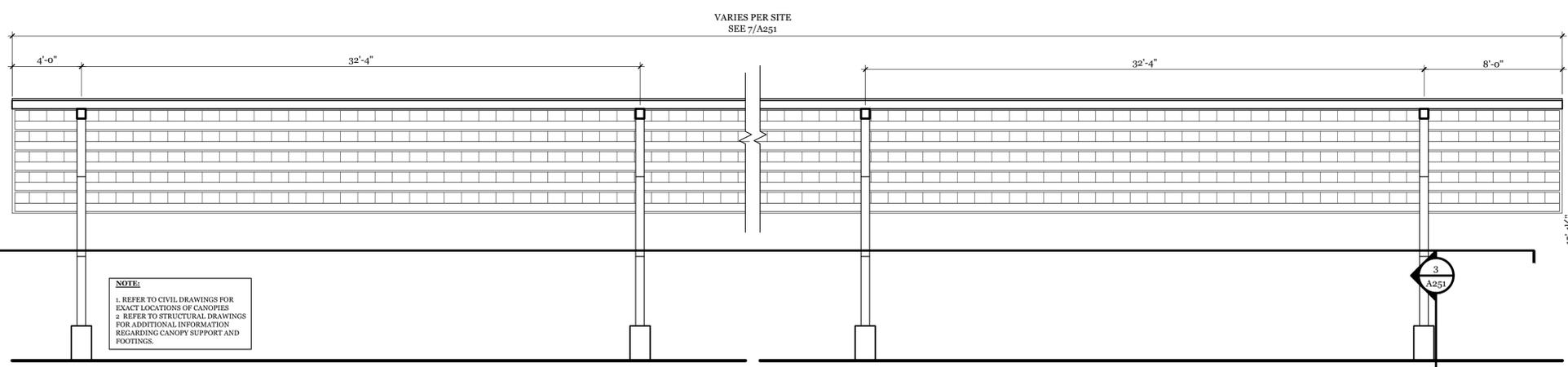
2 West Elevation - Spring Forest Rd.
1/4" = 1'-0"



3 Vacuum Canopy Plan
1" = 1'-0"



3 South Elevation - Spring Forest Rd.
1/4" = 1'-0"



1 North Elevation - Facing Carwash and Dixie DForest Rd.
1/4" = 1'-0"

NOTE:
1. REFER TO CIVIL DRAWINGS FOR EXACT LOCATIONS OF CANOPIES
2. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING CANOPY SUPPORT AND FOOTINGS.

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