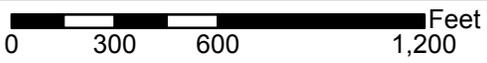
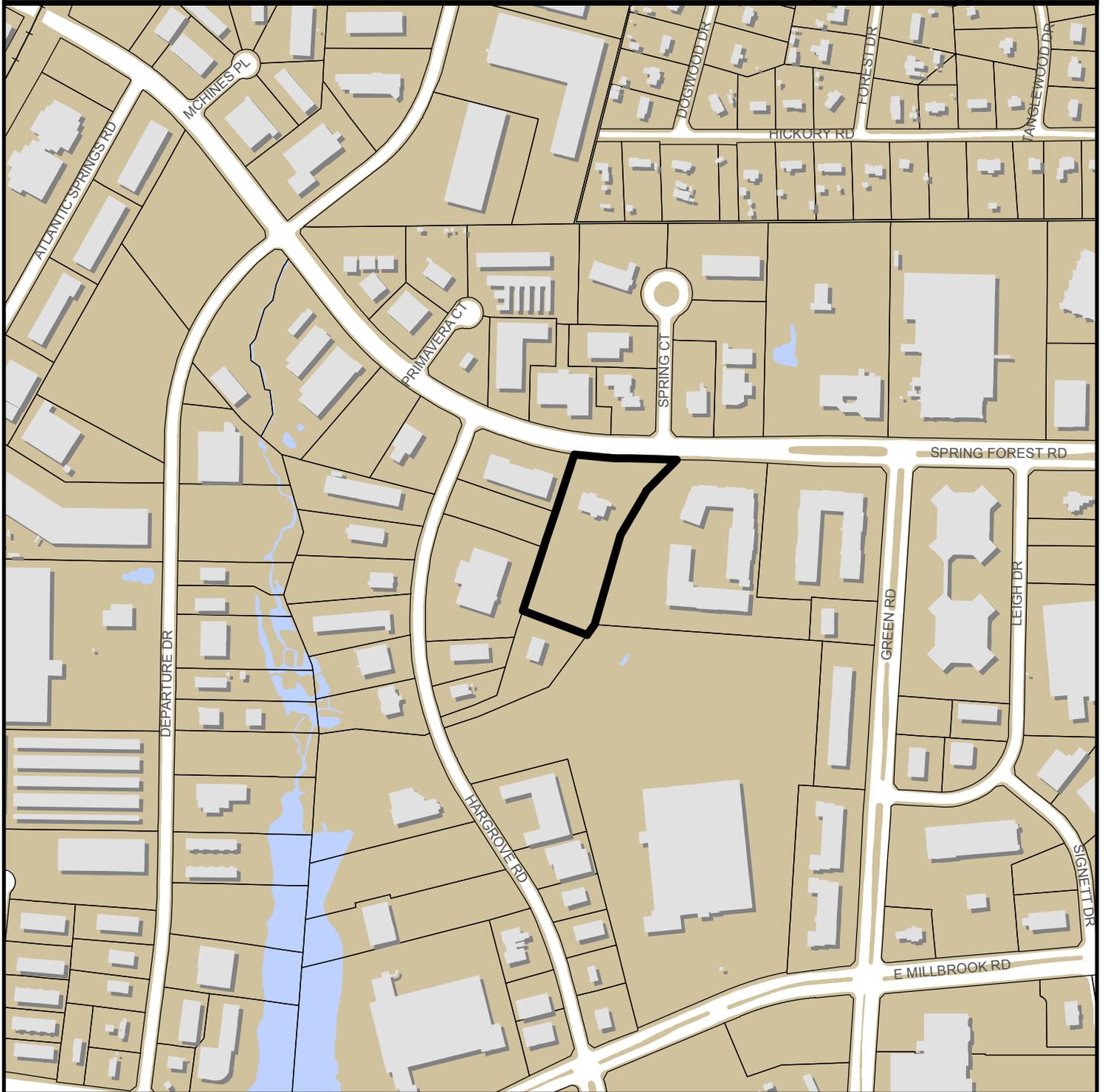


STRATEGIC CONNECTIONS SR-58-2017



Zoning: **IX-3-PL**
CAC: **North**
Drainage Basin: **Marsh Creek**
Acreage: **4.64**
Sq. Ft.: **44,486**

Planner: **Daniel Stegall**
Phone: **(919) 996-2712**
Applicant: **Strategic
Connections, Inc**
Phone: **(919) 878-0500**





Administrative Approval Action

SR-58-17, Strategic Connections
Transaction# 519266, AA# 3678

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Spring Forest Road west of the intersection of Capital Boulevard and Spring Forest Road. The site address is 3000 Spring Forest Road and the PIN number is 1726164038.

REQUEST: Development of a 4.64 acre tract zoned Industrial Mixed Use- 3 Stories-Parking Limited (IX-3-PL). Renovation of an existing 16,458 square foot two story office building with an construction of an additional 28,028 square feet of indoor warehouse storage area to host a light industrial use is proposed for the site.

Note: **The applicant was able to expand towards the rear of the site without necessitating compliance with build-to requirements. The additional indoor area expansion is strictly for storage, loading areas and kitchen space which is an exception to build-to requirements per UDO Section 3.4.2ii page 3-16.**

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:

- Two Design Adjustments have been approved for this project, noted below.
- 1) Due to existing conditions of developed properties surrounding this site, a Design Adjustment has been approved waiving the block perimeter requirement (8.3).
 - 2) Due to conflict of established tree conservation outside the right-of-way, a Design Adjustment has been approved to eliminate the 5' general utility placement easement on the Avenue, 4-lane divided street section.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by William Harry Mitchell of Mitchell Design Group.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

3. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of a mass grading permit or other site permit, whichever comes first.
4. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.



Administrative Approval Action

SR-58-17, Strategic Connections
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Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

URBAN FORESTRY

5. Obtain required stub and tree impact permits from the City of Raleigh.
6. Next Step: Prior to the issuance of a mass grading permit or other site permit, whichever comes first, submit a final tree conservation plan with a permit approved by Urban Forestry staff that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required.
7. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

1. Provide fire flow analysis.

ENGINEERING

2. The required right of way for Spring Forest Road providing ½-104' right-of-way shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
3. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' sidewalk width on Spring Forest Road to supplement the 5' existing sidewalk is paid to the City of Raleigh.
4. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering.
5. Next Step: In accordance with Part 10A Section 8.1.3, a surety for incomplete public improvements is provided to the City of Raleigh Development Services – Development Engineering
6. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

STORMWATER

19. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering program.
20. Next Step: The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.
21. Next Step: The flood prone areas, as approved by the City Stormwater Engineer, must be shown on the preliminary plan and shall be shown on the recorded map;
22. Next Step: The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office.



Administrative Approval Action

SR-58-17, Strategic Connections
Transaction# 519266, AA# 3678

City of Raleigh
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23. Next Step: All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
24. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.

Prior to issuance of building occupancy permit:

1. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
2. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering.
3. Next Step: All street lights and street signs required as part of the development approval are installed.
4. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
5. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
6. Next Step: Final inspection of all required Tree Conservation and right of way tree protection areas by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 11-21-2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Planning Dir./Designee)

Date: 11/21/2017

Staff Coordinator: Daniel L. Stegall

NEW HEADQUARTERS FOR STRATEGIC CONNECTIONS

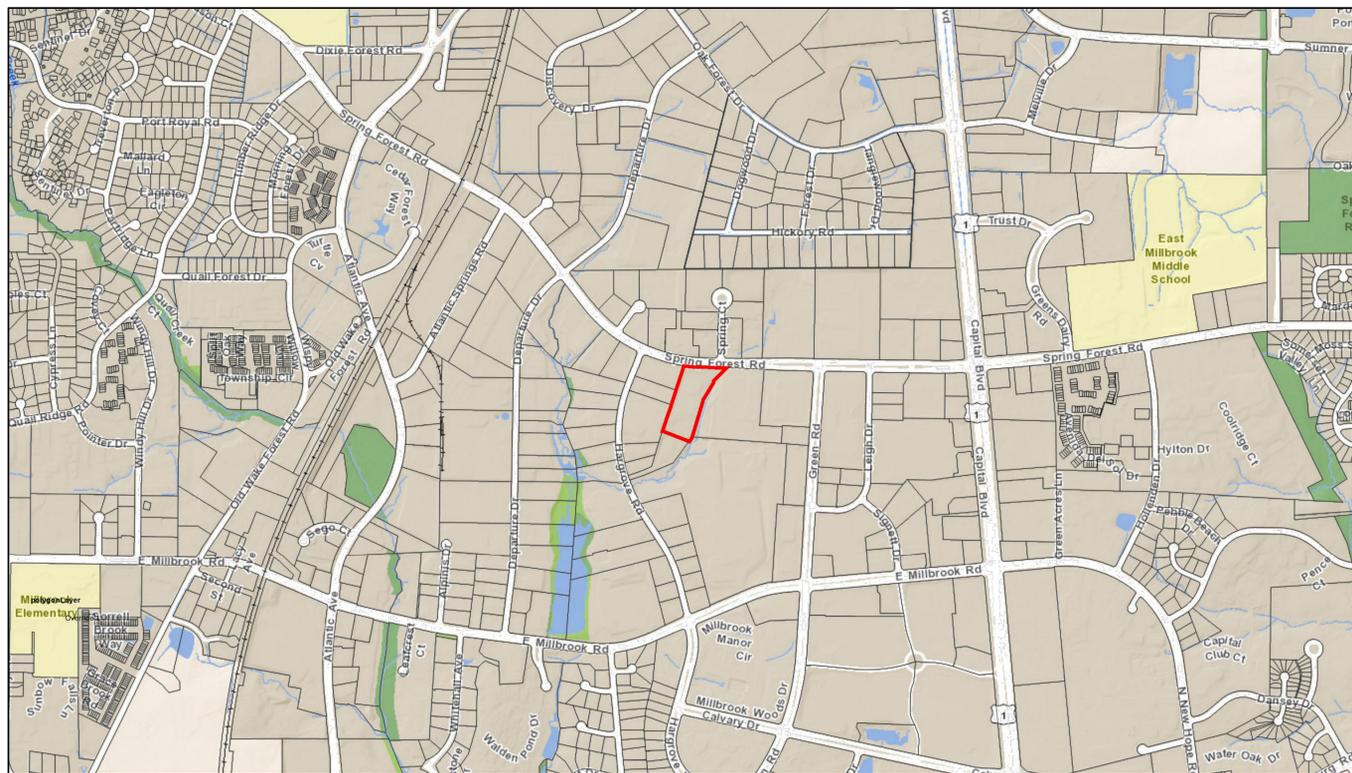
3000 SPRING FOREST ROAD

RALEIGH WAKE COUNTY NORTH CAROLINA

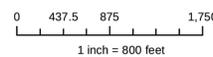
ADMINISTRATIVE SITE REVIEW



TRANSACTION NUMBER: 519266
SR-58-17



3000 SPRING FOREST ROAD RALEIGH



Disclaimer
Maps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.

OWNER: STEC NO. 17-4595, LLC
C/O STATEWIDE TITLE EXCHANGE CORPORATION
117 N. MERRITT AVENUE
SALISBURY, NC 28144-2651

AND

GSM PROPERTIES, LLC
8930 NC 39 HWY
ZEBULON, NC 27597

DEVELOPER CONTACT: EDDIE KEITH, PRESIDENT
(919) 878-0550
eddie.keith@strategicmail.net

SITE PLAN CONTACT: HARRY MITCHELL
E-MAIL: harry@mitchelldesgroup.com
PHONE: (919) 280-0354



Administrative Site Review Application (for UDO Districts only)



DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot
Transaction Number	
Assigned Project Coordinator	
Assigned Team Leader	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: **Strategic Connections**

Zoning District: **IX-3-PL** Overlay District (if applicable): **N/A** Inside City Limits? Yes No

Proposed Use: **Warehouse and Storage Addition to Existing Office Building**

Property Address(es): **3000 Spring Forest Road** Major Street Location: **Spring Forest Road**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N.	P.I.N.	P.I.N.	P.I.N.
1726.16.4038			

What is your project type? Apartment Elderly facilities Hotels/Motels Office Mixed residential Non-residential Condo School Shopping Center Banks Industrial Building Duplex Telecommunication Tower Religious Institutions Residential Condo Retail Cottage Court Other: if other, please describe:

WORK SCOPE
Per City Code Section 10.2.8.0.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 8 of the UDO), indicate impacts on parking requirements.
28,028 SF WAREHOUSE/STORAGE ADDITION TO EXISTING OFFICE BUILDING WITH PARKING IMPROVEMENTS. EXISTING SITE PARKING (81 SPACES) EXCEEDS PROPOSED PARKING (78 SPACES). BASED ON UDO STANDARDS (1450), EXISTING OFFICE BUILDING PARKING REQUIREMENTS=41 SPACES

DESIGN ADJUSTMENT OR ADMIN ALTERNATE
Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE.
Design Adjustment Application submitted to Transportation.

CLIENT/DEVELOPER/OWNER
Company: **Strategic Connections, Inc.** Name(s): **Eddie Keith, President**
Address: **2712 Spring Forest Road, Raleigh, N.C. 27616**
Phone: **(919) 878-0550** Email: **Eddie.Keith@strategicmail.net** Fax: **(919) 875-8712**

CONSULTANT
(Contact Person for Plans)
Company: **Mitchell Design Group, PLLC** Name(s): **Wm. Harry Mitchell, PE**
Address: **P.O. Box 2007, Wake Forest, N.C. 27588**
Phone: **(919) 280-0354** Email: **harry@mitchelldesgroup.com** Fax:

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s): IX-3-PL	Proposed building use(s): Warehouse and Exist. Office
If more than one district, provide the acreage of each: N/A	Existing Building(s) sq. ft. gross: 16,458 SF
Overlay District: N/A	Proposed Building(s) sq. ft. gross: 28,028 SF
Total Site Acres: Inside City Limits <input type="checkbox"/> Yes <input type="checkbox"/> No: 4.644 ACRES	Total sq. ft. gross (existing & proposed): 44,486 SF
Off street parking: Required: 37 Provided: 78	Proposed height of building(s) OFFICE: 27 FT./WHSE: 22 FT.
COA (Certificate of Appropriateness) case #: N/A	# of stories: 2 STORIES (OFFICE)
BOA (Board of Adjustment) case #: N/A	Ceiling height of 1 st floor: 9 FT.
CUD (Conditional Use District) case #: N/A	
Stormwater Information	
Existing Impervious Surface: 1,622/70,665 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Impervious Surface: 2,426 acres/square feet	If Yes, please provide Alluvial Soils: YES FEMA Map Panel #: N/A
Neuse River Buffer <input type="checkbox"/> Yes <input type="checkbox"/> No Wetlands: <input type="checkbox"/> Yes <input type="checkbox"/> No	Flood Study: N/A
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units: N/A	5. Bedroom Units: 1br 2br 3br 4br or more: N/A
2. Total # of Congregate Care Or Life Care Dwelling Units: N/A	6. Infill Development 2.2.7: N/A
3. Total Number of Hotel Units: N/A	7. Open Space (only) or Amenity: N/A
4. Overall Total # of Dwelling Units (1-6 Above): N/A	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **Wm. Harry Mitchell** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

If we have read, acknowledged, and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: **Eddie Keith** Date: **8/15/2017**

Printed Name: **Eddie Keith**

Signed: _____ Date: _____

Printed Name: _____

SHEETS

COVER	C1.0
EXISTING CONDITIONS PLAN	C1.1
DEMOLITION PLAN	C1.2
SITE LAYOUT PLAN	C2.1
SITE PLAN NOTES AND DETAILS	C2.2
OUTDOOR AMENITY AREA PLAN	C2.3
PAVEMENT PLAN - SIGNAGE, MARKINGS, ACCESS, ETC.	C2.4
UTILITY AND FIRE PROTECTION PLAN	C3.1
CITY OF RALEIGH UTILITY NOTES & DETAILS	C3.2
EROSION CONTROL PLAN - PHASE 1	C4.1
EROSION CONTROL PLAN - PHASE 2	C4.2
EROSION CONTROL PLAN - PHASE 3	C4.3
EROSION CONTROL PLAN - PHASE 4	C4.4
GRADING AND DRAINAGE PLAN	C5.1
STORMWATER PLAN	C5.2
STORMWATER NOTES & DETAILS	C5.3
LANDSCAPE PLAN	C6.1
LANDSCAPE SUMMARY & DETAILS	C6.2
TREE CONSERVATION PLAN	C6.3
FLOOR PLAN (FIRST FLOOR)	A1.1
FLOOR PLAN (SECOND FLOOR)	A1.2
BUILDING ELEVATIONS	A2

SYMBOLS LEGEND

CI	CURB INLET	STORM	STORM MANHOLE
LP	LIGHT POLE	STORM MH 4	STORM LINE
PP	POWER POLE	EIPNIP	EXISTING/NEW FIN
YI	YARD INLET	OVNPNR	OVERHEAD POWER LINES
CO	CLEANOUT		HANDICAP PARKING
GV	GATE VALVE		HYDRANT & VALVE
MH	SANITARY LINE		
WL	WATER LINE		
F	FENCE		

LEGEND

C & G	CURB & GUTTER	OVNPNR	OVERHEAD POWER
D.B.	DEED BOOK	WM	WATER METER
PG.	PAGE	CO	SEWER CLEANOUT
ESMT.	EASEMENT	WV	WATER VALVE
HYD.	HYDRANT	RCP	REINFORCED CONCRETE PIPE
CONC.	CONCRETE	DI	DRAINAGE INLET
RAW	RIGHT OF WAY	GM	GAS METER
F.F	FACE TO FACE	EM	ELECTRICAL METER
PP	POWER POLE	PM	POWER METER
CP	COMPUTED POINT	EP	EXISTING IRON PIPE
LP	LIGHT POLE	FB	POWER BOX
NIP	NEW IRON PIPE	YI	YARD INLET
CON	CONCRETE SIDEWALK		

PO Box 2007
Wake Forest, NC 27588
Telephone: 919.280.0354

3000 SPRING FOREST ROAD
NEW HEADQUARTERS FOR STRATEGIC CONNECTIONS
RALEIGH WAKE COUNTY NORTH CAROLINA

DATE: **6/9/2017**

REVISIONS

1	8/18/2017
2	10/9/2017

DRAWN BY: ACE	CHECKED BY: WHM
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SHEET TITLE

COVER SHEET

SHEET NUMBER

C1.0
1 OF 27

2 SECOND REVIEW COMMENTS
1 FIRST REVIEW COMMENTS

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS AND NCDOT IF APPLICABLE



**MITCHELL
DESIGN GROUP**

PO Box 2007
Wake Forest, NC 27588
Telephone: 919.280.0354

3000 SPRING FOREST ROAD
RALEIGH
WAKE COUNTY
NORTH CAROLINA

DATE 6/9/2017	
REVISIONS	
1	8/18/2017
2	10/9/2017

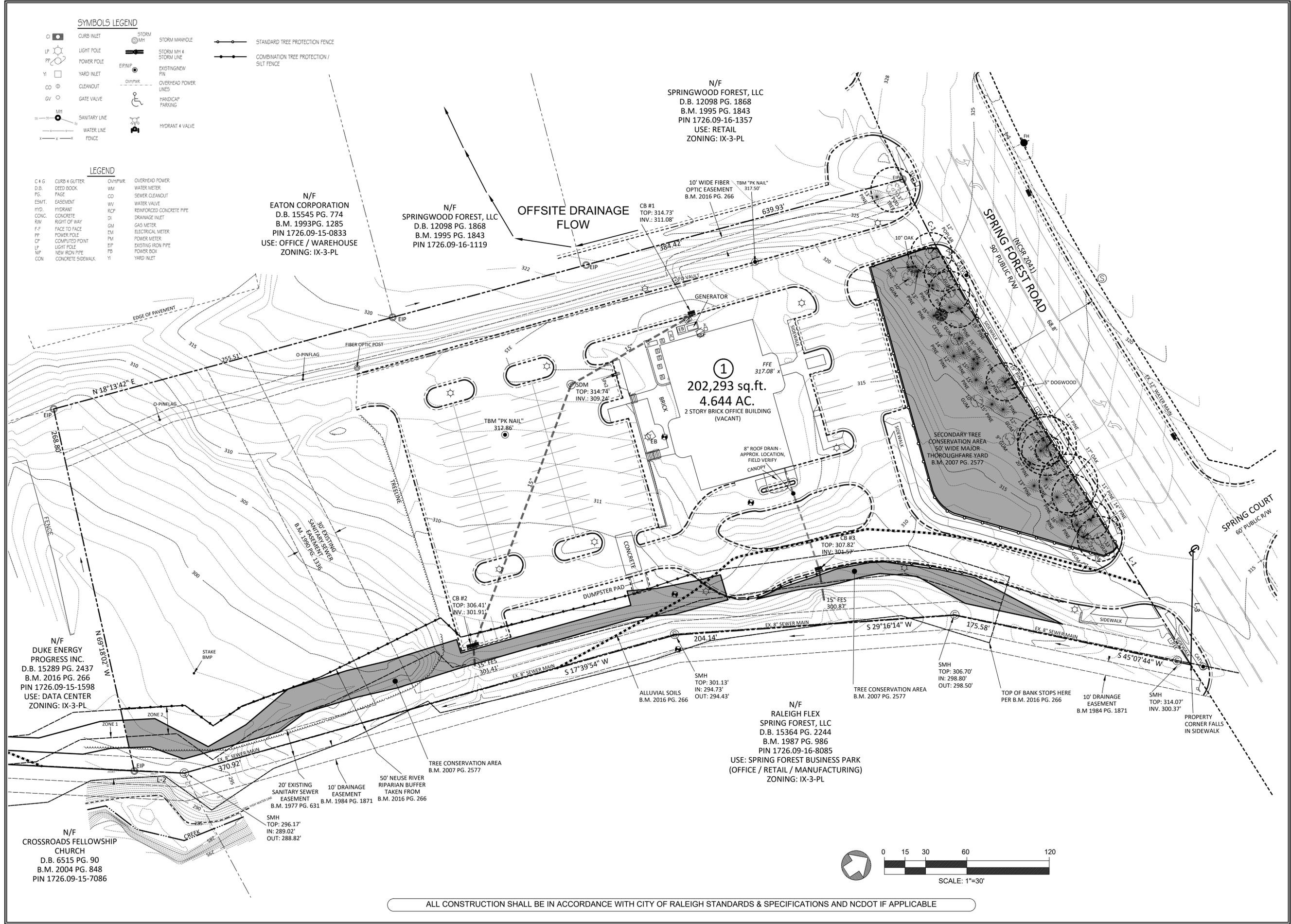
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WHM

SHEET TITLE
EXISTING
CONDITIONS
PLAN

SHEET NUMBER

C1.1
2 OF 27



- SYMBOLS LEGEND**
- CURB INLET
 - LIGHT POLE
 - POWER POLE
 - YARD INLET
 - CLEANOUT
 - GATE VALVE
 - SANITARY LINE
 - WATER LINE
 - FENCE
 - STORM MANHOLE
 - STORM MH & STORM LINE
 - EXISTING NEW PIN
 - OVERHEAD POWER LINES
 - HANDICAP PARKING
 - HYDRANT & VALVE
 - STANDARD TREE PROTECTION FENCE
 - COMBINATION TREE PROTECTION / SILT FENCE

- LEGEND**
- C & G CURB & GUTTER
 - D.B. DEED BOOK
 - PG. PAGE
 - ESMT. EASEMENT
 - HYD. HYDRANT
 - CONC. CONCRETE
 - R/W. RIGHT OF WAY
 - F.F. FACE TO FACE
 - PP. POWER POLE
 - CP. COMPUTED POINT
 - LP. LIGHT POLE
 - WF. NEW ROW PIPE
 - CON. CONCRETE SIDEWALK
 - OVHPWR. OVERHEAD POWER
 - WM. WATER METER
 - CO. SEWER CLEANOUT
 - WV. WATER VALVE
 - RCV. REINFORCED CONCRETE PIPE
 - DI. DRAINAGE INLET
 - GM. GAS METER
 - EM. ELECTRICAL METER
 - PM. POWER METER
 - EIP. EXISTING IRON PIPE
 - FB. POWER BOX
 - YI. YARD INLET

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS AND NCDOT IF APPLICABLE



PO Box 2007
Wake Forest, NC 27588
Telephone: 919.280.0354

3000 SPRING FOREST ROAD
NORTH CAROLINA
WAKE COUNTY
RALEIGH

DATE	
6/9/2017	
REVISIONS	
1	8/18/2017
2	9/13/2017
3	10/9/2017
4	11/3/2017

DRAWN BY: ACE
CHECKED BY: WHM

SHEET TITLE

SITE LAYOUT

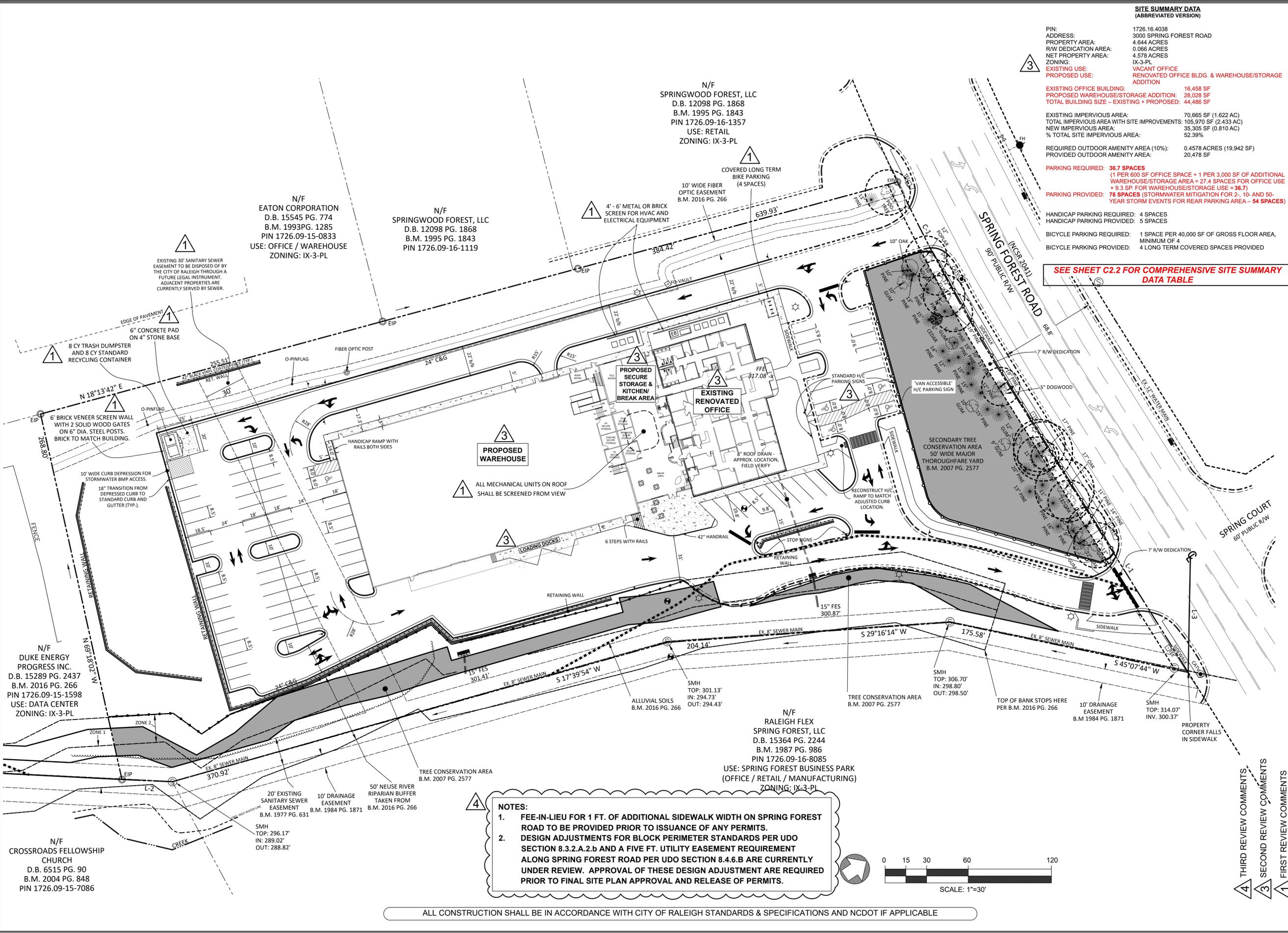
SHEET NUMBER

C2.1
4 OF 27

SITE SUMMARY DATA (ABBREVIATED VERSION)

PIN:	1726.16.4038
ADDRESS:	3000 SPRING FOREST ROAD
PROPERTY AREA:	4.644 ACRES
R/W DEDICATION AREA:	0.066 ACRES
NET PROPERTY AREA:	4.578 ACRES
ZONING:	IX-3-PL
EXISTING USE:	VACANT OFFICE
PROPOSED USE:	RENOVATED OFFICE BLDG. & WAREHOUSE/STORAGE ADDITION
EXISTING OFFICE BUILDING:	16,458 SF
PROPOSED WAREHOUSE/STORAGE ADDITION:	28,028 SF
TOTAL BUILDING SIZE - EXISTING + PROPOSED:	44,486 SF
EXISTING IMPERVIOUS AREA:	70,865 SF (1.622 AC)
TOTAL IMPERVIOUS AREA WITH SITE IMPROVEMENTS:	105,970 SF (2.433 AC)
NEW IMPERVIOUS AREA:	35,305 SF (0.810 AC)
% TOTAL SITE IMPERVIOUS AREA:	52.39%
REQUIRED OUTDOOR AMENITY AREA (10%):	0.4578 ACRES (19,942 SF)
PROVIDED OUTDOOR AMENITY AREA:	20,478 SF
PARKING REQUIRED:	36.7 SPACES (1 PER 600 SF OFFICE SPACE + 1 PER 3,000 SF OF ADDITIONAL WAREHOUSE/STORAGE AREA = 27.4 SPACES FOR OFFICE USE + 9.3 SP. FOR WAREHOUSE/STORAGE USE = 36.7)
PARKING PROVIDED:	78 SPACES (STORMWATER MITIGATION FOR 2-, 10- AND 50-YEAR STORM EVENTS FOR REAR PARKING AREA - 54 SPACES)
HANDICAP PARKING REQUIRED:	4 SPACES
HANDICAP PARKING PROVIDED:	5 SPACES
BICYCLE PARKING REQUIRED:	1 SPACE PER 40,000 SF OF GROSS FLOOR AREA, MINIMUM OF 4
BICYCLE PARKING PROVIDED:	4 LONG TERM COVERED SPACES PROVIDED

SEE SHEET C2.2 FOR COMPREHENSIVE SITE SUMMARY DATA TABLE



NOTES:

- FEE-IN-LIEU FOR 1 FT. OF ADDITIONAL SIDEWALK WIDTH ON SPRING FOREST ROAD TO BE PROVIDED PRIOR TO ISSUANCE OF ANY PERMITS. DESIGN ADJUSTMENTS FOR BLOCK PERIMETER STANDARDS PER UDO SECTION 8.3.2.A.2.b AND A FIVE FT. UTILITY EASEMENT REQUIREMENT ALONG SPRING FOREST ROAD PER UDO SECTION 8.4.6.B ARE CURRENTLY UNDER REVIEW. APPROVAL OF THESE DESIGN ADJUSTMENT ARE REQUIRED PRIOR TO FINAL SITE PLAN APPROVAL AND RELEASE OF PERMITS.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS AND NCDOT IF APPLICABLE

4 THIRD REVIEW COMMENTS
3 SECOND REVIEW COMMENTS
1 FIRST REVIEW COMMENTS

N/F EATON CORPORATION
D.B. 15545 PG. 774
B.M. 1993 PG. 1285
PIN 1726.09-15-0833
USE: OFFICE / WAREHOUSE
ZONING: IX-3-PL

N/F SPRINGWOOD FOREST, LLC
D.B. 12098 PG. 1868
B.M. 1995 PG. 1843
PIN 1726.09-16-1119

N/F SPRINGWOOD FOREST, LLC
D.B. 12098 PG. 1868
B.M. 1995 PG. 1843
PIN 1726.09-16-1357
USE: RETAIL
ZONING: IX-3-PL

N/F DUKE ENERGY PROGRESS INC.
D.B. 15289 PG. 2437
B.M. 2016 PG. 266
PIN 1726.09-15-1598
USE: DATA CENTER
ZONING: IX-3-PL

N/F RALEIGH FLEX SPRING FOREST, LLC
D.B. 15364 PG. 2244
B.M. 1987 PG. 986
PIN 1726.09-16-8085
USE: SPRING FOREST BUSINESS PARK (OFFICE / RETAIL / MANUFACTURING)
ZONING: IX-3-PL

N/F CROSSROADS FELLOWSHIP CHURCH
D.B. 6515 PG. 90
B.M. 2004 PG. 848
PIN 1726.09-15-7086



**MITCHELL
DESIGN GROUP**

PO Box 2007
Wake Forest, NC 27588
Telephone: 919.280.0354

3000 SPRING FOREST ROAD
NEW HEADQUARTERS FOR
STRATEGIC CONNECTIONS
RALEIGH WAKE COUNTY NORTH CAROLINA

DATE	
6/9/2017	
REVISIONS	
1	8/18/2017
2	9/13/2017
3	10/9/2017

DRAWN BY	CHECKED BY
ACE	WHM

SHEET TITLE
UTILITY AND FIRE PROTECTION PLAN

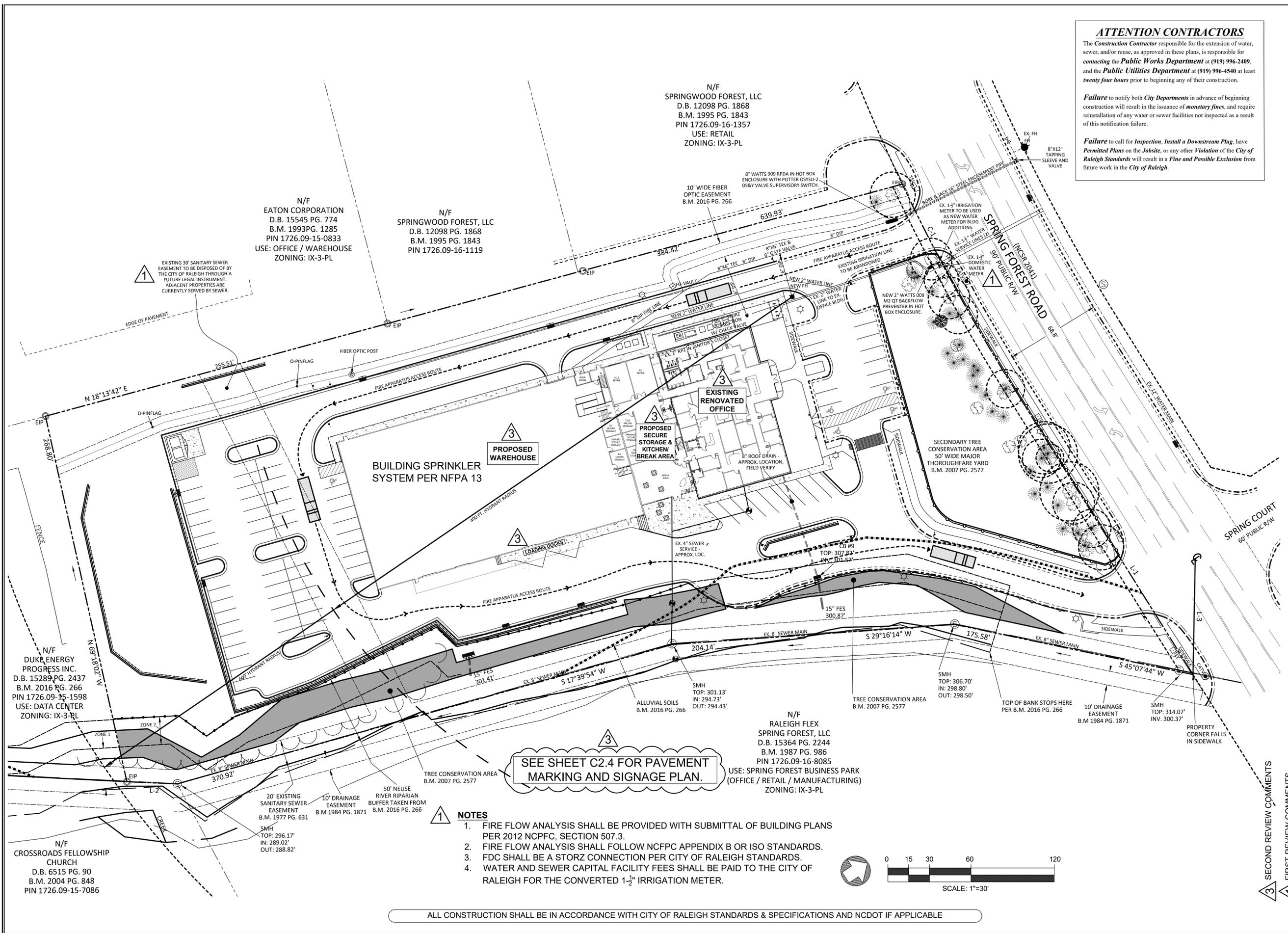
SHEET NUMBER

C3.1
8 OF 27

ATTENTION CONTRACTORS
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

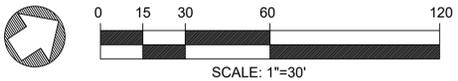
Failure to notify both City Departments in advance of beginning construction will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of the City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



SEE SHEET C2.4 FOR PAVEMENT MARKING AND SIGNAGE PLAN.

- NOTES**
1. FIRE FLOW ANALYSIS SHALL BE PROVIDED WITH SUBMITTAL OF BUILDING PLANS PER 2012 NCFPC, SECTION 507.3.
 2. FIRE FLOW ANALYSIS SHALL FOLLOW NCFPC APPENDIX B OR ISO STANDARDS.
 3. FDC SHALL BE A STORZ CONNECTION PER CITY OF RALEIGH STANDARDS.
 4. WATER AND SEWER CAPITAL FACILITY FEES SHALL BE PAID TO THE CITY OF RALEIGH FOR THE CONVERTED 1-1/2" IRRIGATION METER.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS AND NCDOT IF APPLICABLE

3 SECOND REVIEW COMMENTS
1 FIRST REVIEW COMMENTS

N/F EATON CORPORATION
D.B. 15545 PG. 774
B.M. 1993 PG. 1285
PIN 1726.09-15-0833
USE: OFFICE / WAREHOUSE
ZONING: IX-3-PL

N/F SPRINGWOOD FOREST, LLC
D.B. 12098 PG. 1868
B.M. 1995 PG. 1843
PIN 1726.09-16-1119

N/F DUKE ENERGY
PROGRESS INC.
D.B. 15289 PG. 2437
B.M. 2016 PG. 266
PIN 1726.09-15-1598
USE: DATA CENTER
ZONING: IX-3-RL

N/F CROSSROADS FELLOWSHIP
CHURCH
D.B. 6515 PG. 90
B.M. 2004 PG. 848
PIN 1726.09-15-7086

N/F RALEIGH FLEX
SPRING FOREST, LLC
D.B. 15364 PG. 2244
B.M. 1987 PG. 986
PIN 1726.09-16-8085
USE: SPRING FOREST BUSINESS PARK
(OFFICE / RETAIL / MANUFACTURING)
ZONING: IX-3-PL

SMH
TOP: 306.70'
IN: 298.80'
OUT: 298.50'

SMH
TOP: 314.07'
INV. 300.37'

SMH
TOP: 301.13'
IN: 294.73'
OUT: 294.43'

SMH
TOP: 296.17'
IN: 289.02'
OUT: 288.82'

SMH
TOP: 296.17'
IN: 289.02'
OUT: 288.82'

1 EXISTING 30" SANITARY SEWER EASEMENT TO BE DISPOSED OF BY THE CITY OF RALEIGH THROUGH A FUTURE LEGAL INSTRUMENT. ADJACENT PROPERTIES ARE CURRENTLY SERVED BY SEWER.



**MITCHELL
DESIGN GROUP**

PO Box 2007
Wake Forest, NC 27588
Telephone: 919.280.0354

3000 SPRING FOREST ROAD
**NEW HEADQUARTERS FOR
STRATEGIC CONNECTIONS**
RALEIGH WAKE COUNTY NORTH CAROLINA

DATE	
6/9/2017	
REVISIONS	
1	8/18/2017
2	9/13/2017
3	10/9/2017

DRAWN BY	CHECKED BY
ACE	WHM

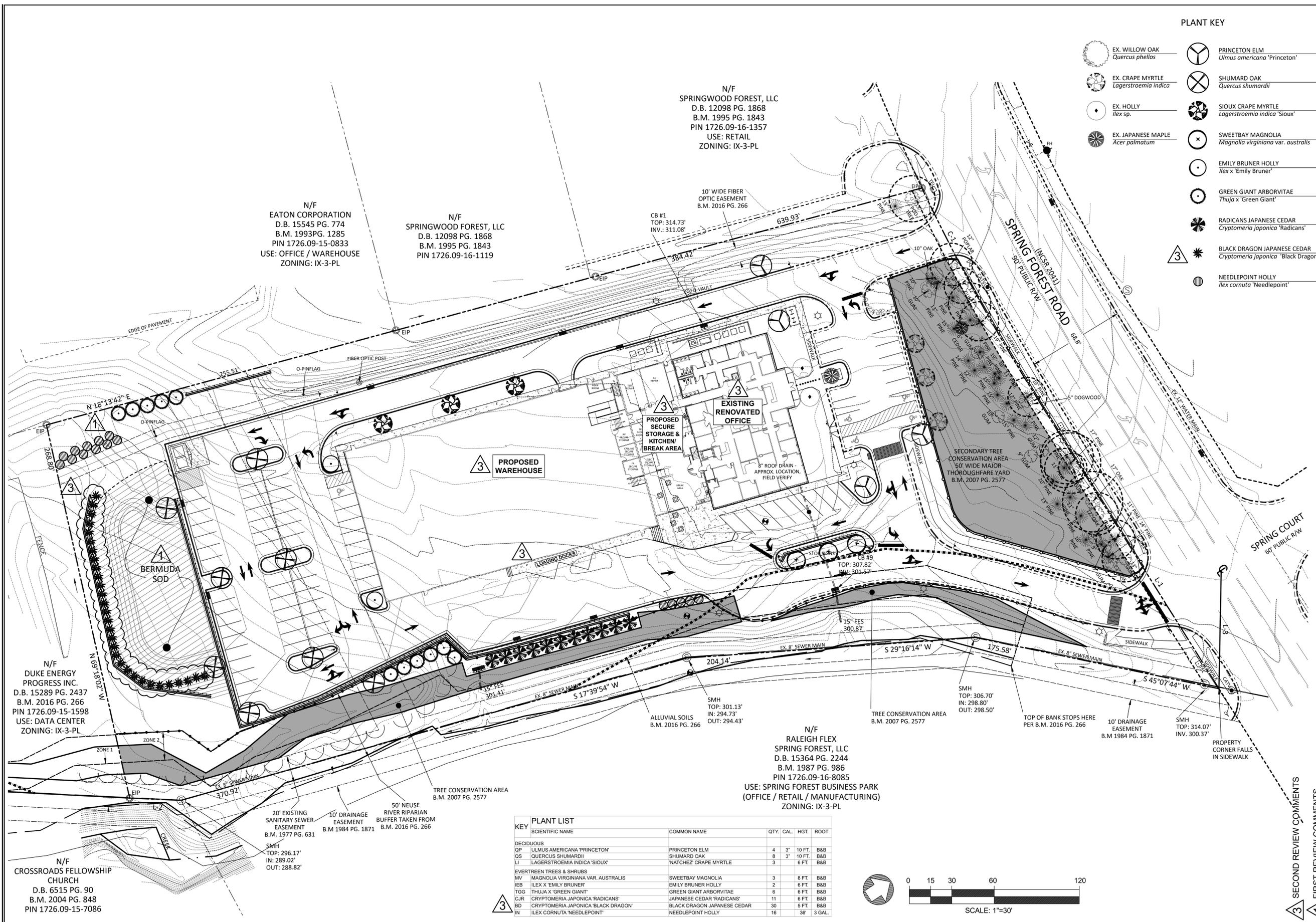
SHEET TITLE
**LANDSCAPE
PLAN**

SHEET NUMBER

C6.1
18 OF 27

PLANT KEY

- EX. WILLOW OAK
Quercus phellos
- EX. CRAPE MYRTLE
Lagerstroemia indica
- EX. HOLLY
Ilex sp.
- EX. JAPANESE MAPLE
Acer palmatum
- PRINCETON ELM
Ulmus americana 'Princeton'
- SHUMARD OAK
Quercus shumardii
- SIOUX CRAPE MYRTLE
Lagerstroemia indica 'Sioux'
- SWEETBAY MAGNOLIA
Magnolia virginiana var. australis
- EMILY BRUNER HOLLY
Ilex x 'Emily Bruner'
- GREEN GIANT ARBORVITAE
Thuja x 'Green Giant'
- RADICANS JAPANESE CEDAR
Cryptomeria japonica 'Radicans'
- BLACK DRAGON JAPANESE CEDAR
Cryptomeria japonica 'Black Dragon'
- NEEDLEPOINT HOLLY
Ilex cornuta 'Needlepoint'



N/F
EATON CORPORATION
D.B. 15545 PG. 774
B.M. 1993PG. 1285
PIN 1726.09-15-0833
USE: OFFICE / WAREHOUSE
ZONING: IX-3-PL

N/F
SPRINGWOOD FOREST, LLC
D.B. 12098 PG. 1868
B.M. 1995 PG. 1843
PIN 1726.09-16-1119

N/F
SPRINGWOOD FOREST, LLC
D.B. 12098 PG. 1868
B.M. 1995 PG. 1843
PIN 1726.09-16-1357
USE: RETAIL
ZONING: IX-3-PL

N/F
DUKE ENERGY
PROGRESS INC.
D.B. 15289 PG. 2437
B.M. 2016 PG. 266
PIN 1726.09-15-1598
USE: DATA CENTER
ZONING: IX-3-PL

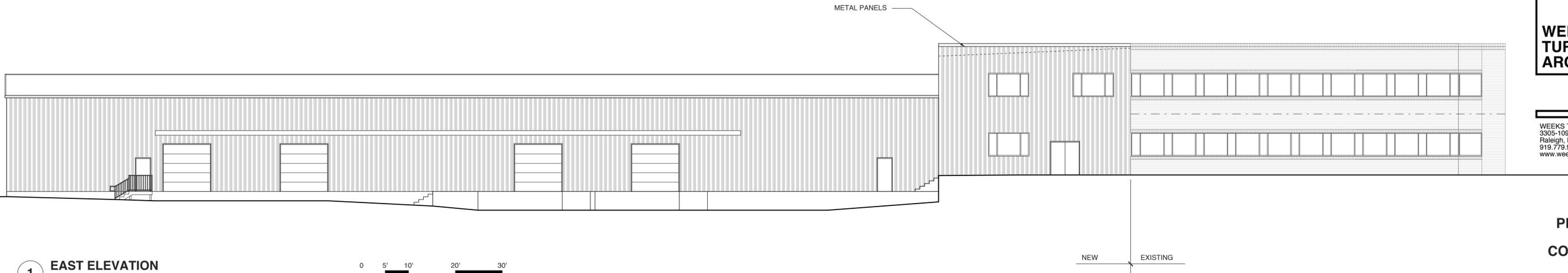
N/F
CROSSROADS FELLOWSHIP
CHURCH
D.B. 6515 PG. 90
B.M. 2004 PG. 848
PIN 1726.09-15-7086

N/F
RALEIGH FLEX
SPRING FOREST, LLC
D.B. 15364 PG. 2244
B.M. 1987 PG. 986
PIN 1726.09-16-8085
USE: SPRING FOREST BUSINESS PARK
(OFFICE / RETAIL / MANUFACTURING)
ZONING: IX-3-PL

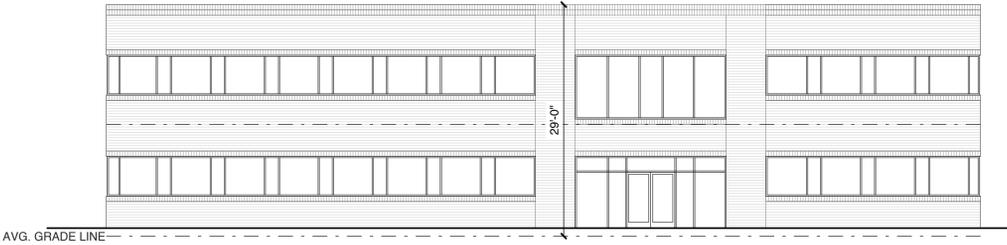
PLANT LIST						
KEY	SCIENTIFIC NAME	COMMON NAME	QTY.	CAL.	HGT.	ROOT
DECIDUOUS						
QP	ULMUS AMERICANA 'PRINCETON'	PRINCETON ELM	4	3"	10 FT.	B&B
QS	QUERCUS SHUMARDII	SHUMARD OAK	8	3"	10 FT.	B&B
LI	LAGERSTROEMIA INDICA 'SIOUX'	'NATCHEZ' CRAPE MYRTLE	3		6 FT.	B&B
EVERGREEN TREES & SHRUBS						
MV	MAGNOLIA VIRGINIANA VAR. AUSTRALIS	SWEETBAY MAGNOLIA	3		8 FT.	B&B
IEB	ILEX X 'EMILY BRUNER'	EMILY BRUNER HOLLY	2		6 FT.	B&B
TGG	THUJA X 'GREEN GIANT'	GREEN GIANT ARBORVITAE	6		6 FT.	B&B
CJR	CRYPTOMERIA JAPONICA 'RADICANS'	JAPANESE CEDAR 'RADICANS'	11		6 FT.	B&B
BD	CRYPTOMERIA JAPONICA 'BLACK DRAGON'	BLACK DRAGON JAPANESE CEDAR	30		5 FT.	B&B
IN	ILEX CORNUTA 'NEEDLEPOINT'	NEEDLEPOINT HOLLY	16	36"	3 GAL.	

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS AND NCDOT IF APPLICABLE

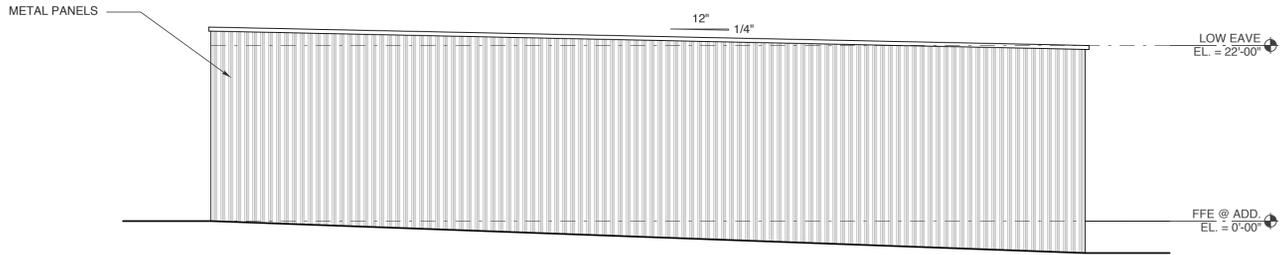
3 SECOND REVIEW COMMENTS
1 FIRST REVIEW COMMENTS



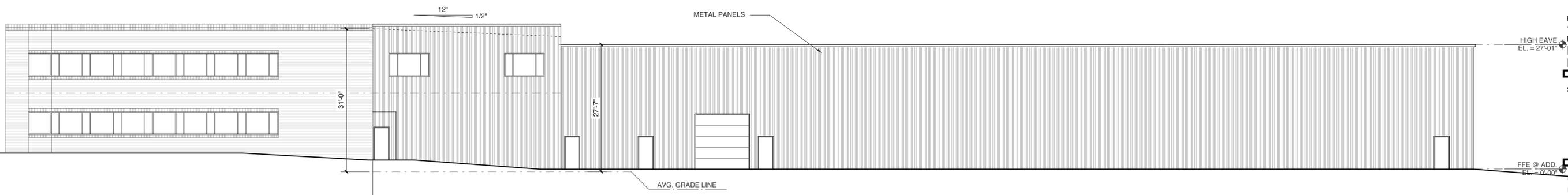
1 EAST ELEVATION
SCALE: 3/32" = 1'-0"



1 NORTH ELEVATION-EXISTING
SCALE: 3/32" = 1'-0"



1 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



1 WEST ELEVATION
SCALE: 3/32" = 1'-0"

**FOR PERMIT
PROCESS ONLY**

PROJECT TITLE
**STRATEGIC
CONNECTIONS**
3000 SPRING FOREST RD.
RALEIGH, NORTH CAROLINA

PROJECT NO.
1712
DRAWING TITLE
**ELEVATIONS
PHASE 2**

SHEET 0 OF 0

A2

PLOT DATE 11/1/17
REVISION 00/00/08

This original sheet is 24" x 36"; other dimensions indicate it has been altered.
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