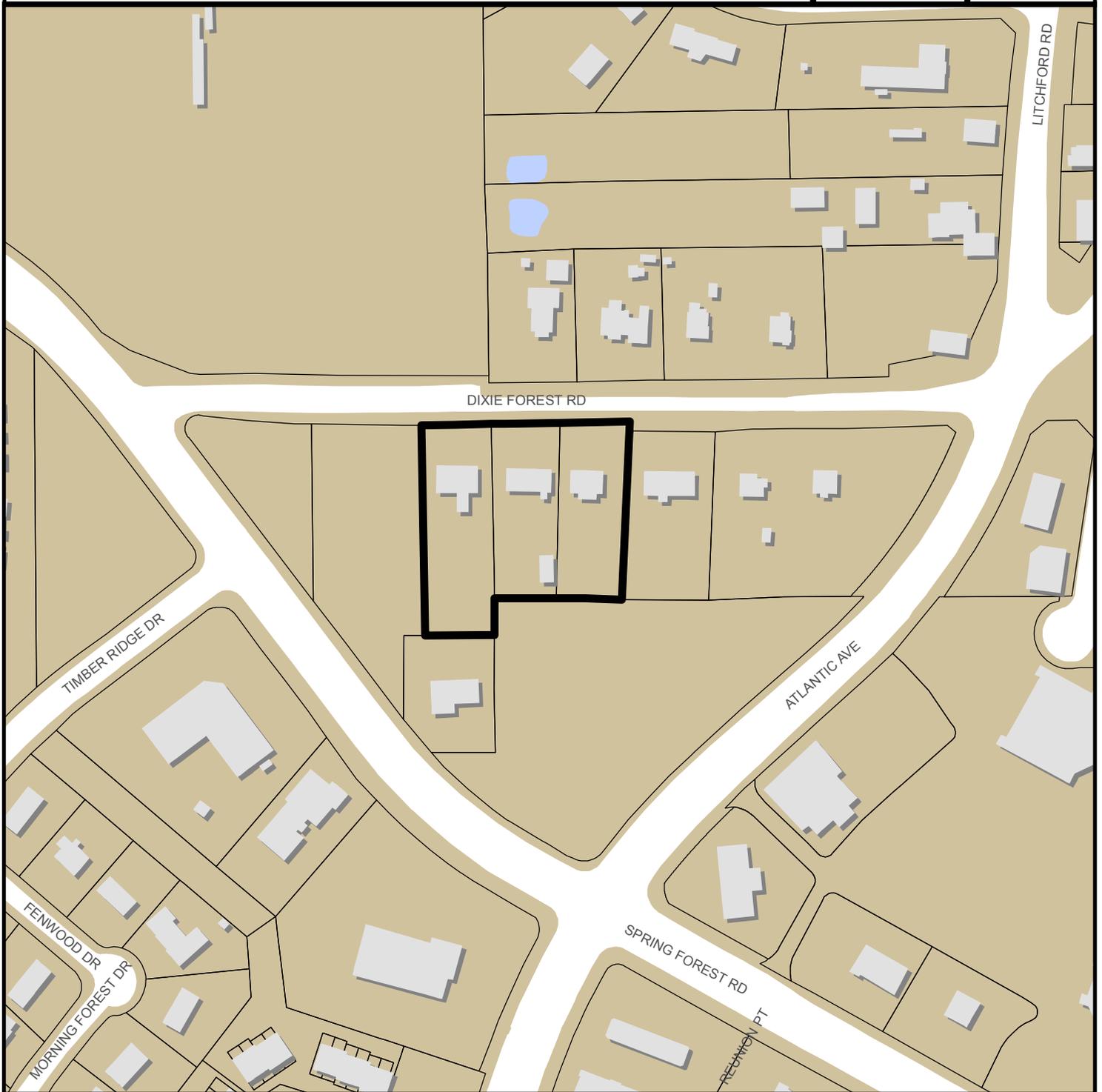


SAM'S GAS CANOPY SR-61-2017



DIXIE FOREST RD

LITCHFORD RD

TIMBER RIDGE DR

ATLANTIC AVE

FENWOOD DR

MORNING FOREST DR

SPRING FOREST RD

REUNION PT



Zoning: **CX-3-PL-CU**

CAC: **North**

Drainage Basin: **Marsh Creek**

Acreage: **1.85**

Sq. Ft.: **4,592**

Planner: **Daniel Stegall**

Phone: **(919) 996-2712**

Applicant: **Brian Soltz**

Phone: **(919) 848-6121**





Administrative Approval Action

Sam's Gas Canopy: SR-61-17,
Transaction# 521362, AA# 3681

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This site is located on the south side of Dixie Forest Road and east of the intersection of Dixie Forest Road/SR2014 and Spring Forest Road/SR2015. The site address is 2310 Dixie Forest Road and the PIN number is 1716891198.
- REQUEST:** Development of a 0.41 acre tract zoned Commercial Mixed Use-3 Story-Parking Limited-Conditional Use (CX-3-PL-CU). The applicant is proposing a Gas Canopy 18' in height for vehicle fuel sales and a solid waste collection facility.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** None.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Brian Soltz of Commercial Site Design, PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.
3. That the cross access connection to the adjacent lot to the south be shown on the concurrent review and is constructed prior to CO.

STORMWATER

4. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.
5. Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.



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URBAN FORESTRY

6. Obtain required stub and tree impact permits from the City of Raleigh. (*used with new streets and infrastructure*)

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

7. That a fee in lieu is paid for two street trees along Spring Forest Road. (There were two street trees that were initially located in a City of Raleigh Sanitary Sewer Easement).
8. Comply with all conditions of Z-13-10.
9. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Subdivisions, Recombinations, Right Of Way and/or Easement Dedications, and Tree Save Areas.
10. Provide fire flow analysis.

ENGINEERING

11. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
12. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department.
13. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' of sidewalk along Spring Forest Rd. shall be paid to the City of Raleigh.
14. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering.
15. A cross access agreement between all adjacent lots shall be approved by the Development Services Department for recording with the Wake County Register of Deeds, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one (1) day of lot recordation. A recorded copy of these documents must be provided to the Development Services Department.
16. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.



Administrative Approval Action

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17. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering program.

STORMWATER

18. Next Step: The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.
19. Next Step: The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office.
20. Next Step: All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
21. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.

Prior to issuance of building occupancy permit:

22. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
23. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
24. Next Step: All street lights and street signs required as part of the development approval are installed.
25. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
26. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 1-11-2021



Administrative Approval Action

Sam's Gas Canopy: SR-61-17,
Transaction# 521362, AA# 3681

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Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) *Angie Bily* Date: 4/11/2018

Staff Coordinator: Daniel L. Stegall



TRANSACTION # 521362
SR-61-17

DRAWING INDEX		REVISION	DESCRIPTION	1	2	3	4	5	6
CIVIL DRAWINGS									
C-0.0	COVER SHEET								
C-0.1	ZONING CONDITIONS								
C-1.0	RECOMBINATION PLAN								
C-1.1	EXISTING CONDITIONS AND DEMOLITION PLAN								
C-2.0	SITE PLAN								
C-2.1	TRUCK MANEUVER EXHIBIT								
C-3.0	LANDSCAPE PLAN								
C-4.1	GRADING PLAN								
C-4.2	STORMWATER BMP PLAN (CARWASH PROJECT)								
C-4.3	STORMWATER BMP DETAILS (CARWASH PROJECT)								
C-5.0	UTILITY PLAN								
C-8.0	SITE LIGHTING PLAN								
C-8.1	LIGHTING DETAILS								
A200A	GAS CANOPY ELEVATIONS								

SAM'S GAS CANOPY

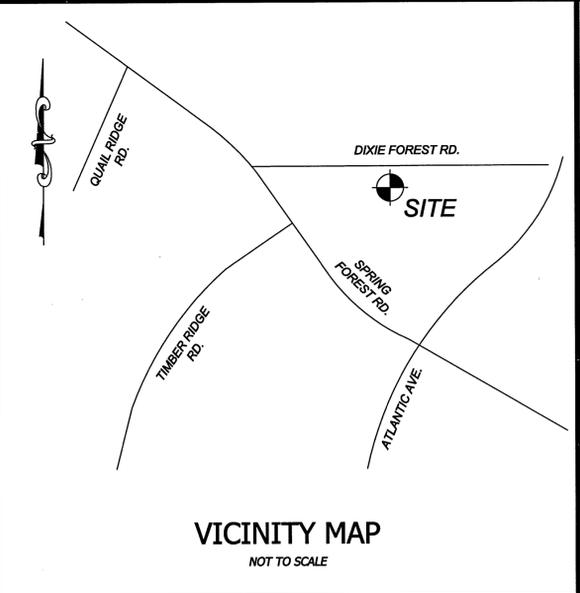
2310 DIXIE FOREST RD, RALEIGH, NC

ADMINISTRATIVE SITE PLAN

CONTACT:
COMMERCIAL SITE DESIGN, PLLC
 BRIAN SOLTZ
 8312 CREEDMOOR ROAD
 RALEIGH, NC 27613
 soltz@csitedesign.com
 (919) 848-6121

OWNER:
SXCW PROPERTIES II, LLC
 7935 COUNCIL PLACE, SUITE 200
 MATTHEWS, NC 28105
 PAYMOND NADIMI
 pnadimi@samsre.com
 (704) 940-3700

SITE INFORMATION	
SITE ADDRESS:	2310 DIXIE FOREST ROAD, RALEIGH, NC
OWNER / DEVELOPER:	SAM'S REAL ESTATE 7935 COUNCIL PLACE, SUITE 102 MATTHEWS, NORTH CAROLINA
DESIGNER:	COMMERCIAL SITE DESIGN, PLLC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 TEL: (919) 848-6121; FAX: (919) 848-3741
PARCEL IDENTIFICATION NUMBERS:	1716893261 (2316 DIXIE FOREST RD) 1716891195 (2310 DIXIE FOREST RD)
ZONING:	CX-3-PL-CU
EXISTING USE:	VACANT
PROPOSED USE:	VEHICLE FUEL SALES
BUILDING SETBACKS: RIGHT OF WAY SIDE REAR	5 FEET 6 FEET 6 FEET
PARKING SETBACKS: RIGHT OF WAY SIDE REAR	10 FEET 0 FEET OR 3 FEET 0 FEET OR 3 FEET
PARKING REQUIREMENTS:	NONE
PARKING PROVIDED:	NONE
GAS CANOPY PARCEL: FUTURE DEVELOPMENT PARCEL: TOTAL SITE AREA: DISTURBED AREA (INCLUDING RW): EXISTING IMPERVIOUS AREA: PROPOSED IMPERVIOUS AREA:	38,519 SF OR 0.88 ACRE 34,738 SF OR 0.80 ACRE 73,257 SF OR 1.69 ACRE 62,022 SF OR 1.42 ACRE 14,304 SF OR 0.33 ACRE OR 20% 26,308 SF OR 0.60 ACRE OR 69%
BUILDING AREA:	0 SF
CITY BUILD TO REQUIREMENTS:	PRIMARY STREET BUILD TO SETBACK IS 0' MINIMUM, 100' MAXIMUM 50% BUILDING WIDTH NOT APPLICABLE AS THERE IS NO BUILDING PROPOSED.
WATER:	CITY OF RALEIGH PUBLIC UTILITIES
SEWER:	CITY OF RALEIGH PUBLIC UTILITIES
AMENITY AREA PROVIDED:	3,893 SF OR 10%
TREE CONSERVATION AREA:	NOT REQUIRED PER UDO 9.1.2. THE SITE IS LESS THAN 2 ACRES.



CONTACTS:	
ZONING CITY OF RALEIGH DEVELOPMENT SERVICES MEADE BRADSHAW 919-996-2864	SANITARY SEWER CITY OF RALEIGH PUBLIC UTILITIES BRIAN CASEY 919-996-2176
SIGNAGE CITY OF RALEIGH DEVELOPMENT SERVICES JOCELYN COCHRANE 919-996-2472	GAS PSNC 877-776-2427
BUILDING & INSPECTIONS CITY OF RALEIGH DEVELOPMENT SERVICES CHIP SHANKLE 919-996-2630	ELECTRIC DUKE POWER 800-653-5307
STREET & HIGHWAY DATA CITY OF RALEIGH TRANSPORTATION DANIEL KING 919-996-2408	TELEPHONE ATA&T 877-439-0041
NC DOT: REID ELMORE 919-733-3213	FIRE CITY OF RALEIGH DEVELOPMENT SERVICES RYAN CUTRIGHT 919-996-2197
WATER CITY OF RALEIGH PUBLIC UTILITIES BRIAN CASEY 919-996-2176	CABLE SPECTRUM
STORM SEWER CITY OF RALEIGH STORM WATER SERVICES NATHAN BURDICK 919-996-3520	

Administrative Site Review Application (for UDO Districts only)

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2493 | ext 919-996-1831
Litchford Satellite Office | 8350 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	<input type="checkbox"/> Transaction Number
<input type="checkbox"/> Attached	<input type="checkbox"/> Assigned Project Coordinator
<input type="checkbox"/> Apartment	<input type="checkbox"/> Assigned Team Leader
<input type="checkbox"/> Townhouse	
<input checked="" type="checkbox"/> General	
<input type="checkbox"/> Mixed Use	
<input type="checkbox"/> Open Lot	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

Development Name: Sam's Gas Canopy

Zoning District: CX-3-PL-CU | Overlay District (if applicable): | Inside City Limits? Yes No

Proposed Use: Vehicle Fuel Sales

Property Address(es): 2310 & 2316 DIXIE FOREST ROAD | Major Street Locator: Spring Forest & Atlantic Ave

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1716891195 | P.I.N. 1716893261 | P.I.N. | P.I.N.

What is your project type? Apartment Elderly Facilities Hospitals Hotels/Hotels Office
 Mixed Residential Non-Residential Condo School Shopping Center Banks Industrial Building
 Duplex Telecommunication Tower Religious Institutions Residential Condo Retail Cottage Court
 Other: if other, please describe: Gas Canopy

WORK SCOPE: Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
Construct new gas canopy.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE: Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

CLIENT/DEVELOPER/OWNER	Company SXCW Properties II, LLC Name (s) Payman Nadimi
	Address 7935 Council Place, Ste 200, Matthews, NC 28105
	Phone (704) 940-3700 Email pnadimi@samsre.com Fax
CONSULTANT (Contact Person for Plans)	Company Commercial Site Design, PLLC Name (s) Brian Soltz
	Address 8312 Creedmoor Rd, Raleigh, NC 27613
	Phone 919-848-6121 Email soltz@csitedesign.com Fax

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) CX-3-PL-CU	Proposed building use(s) GAS CANOPY
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 0
Overlay District n/a	Proposed Building(s) sq. ft. gross 0
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 0
Off street parking: Required Provided	Proposed height of building(s) 20'
COA (Certificate of Appropriateness) case #	# of stories 1
BOA (Board of Adjustment) case # A-	Ceiling height of 1 st floor N/A
CUD (Conditional Use District) case # 2-13-10	
Stormwater Information	
Existing Impervious Surface 15,421 SF acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 26,308 SF acres/square feet	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils
Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	FEMA Map Panel #
	Flood Study
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 3br 2br 3br 4br or more
2. Total # of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate Commercial Site Design, PLLC to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed:	Date: 7-3-2017
Printed Name: Payman Nadimi	
Signed: _____	Date: _____
Printed Name: _____	

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16



SRE SAM'S REAL ESTATE
 SAM'S GAS CANOPY
 2310 DIXIE FOREST ROAD
 RALEIGH, NORTH CAROLINA
 SAM'S REAL ESTATE
 7935 COUNCIL PLACE, SUITE 102
 MATTHEWS, NC 28105
 COVER SHEET
 DESIGNED BY: JLR
 DRAWN BY: RCN
 CHECKED BY: FLG
 SCALE: AS SHOWN
 DATE: 05-24-17
 SHEET: SRE-1601
 811
 Know what's below.
 Call before you dig.
 CALL 1-800-632-4949 OR 811
 WWW.NC811.ORG
 NC ONE-CALL CENTER
 IT'S THE LAW!
 Sheet
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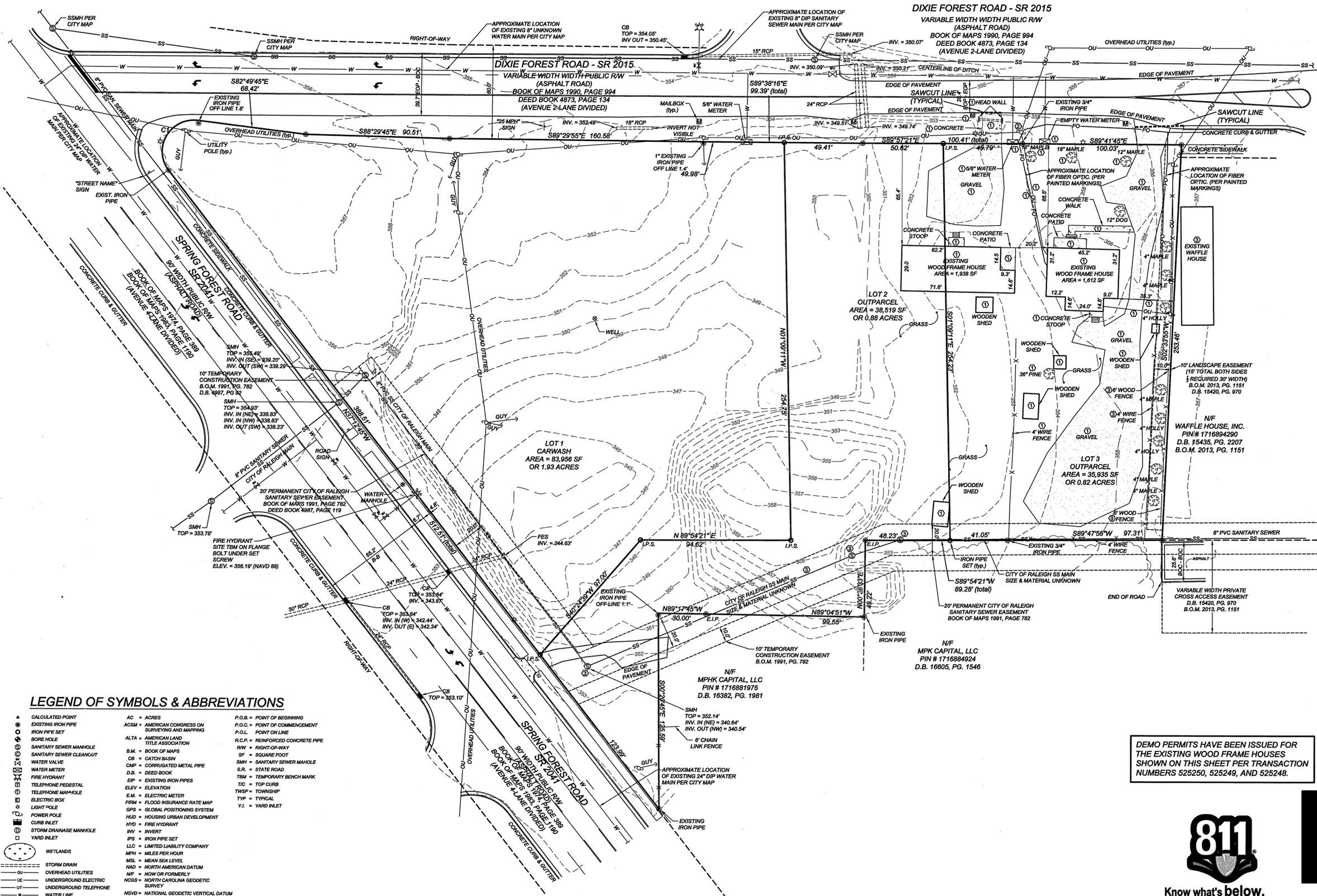
X:\SME - Sam's Real Estate\1601 - Raleigh, NC (Dixie Forest)\CAD\0.0 SME-1601 COVER.GC.dwg, 11/28/2017 12:46:07 PM, chrisn

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	46.91'	20.00'	47.56'	36.87'	S29°58'45"W	134°23'00"

DEMOLITION KEYNOTES:

- REMOVE EXISTING ITEM, COORDINATE REMOVAL WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
- RELOCATE EXISTING ITEM, COORDINATE RELOCATION WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
- ITEM TO REMAIN.
- ADJUST EXISTING APPURTENANCE TO MATCH FINISHED GRADE. COORDINATE ADJUSTMENT WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES, OR LOCAL UTILITY COMPANY.

----- SAWCUT LINE



LEGEND OF SYMBOLS & ABBREVIATIONS

- | | | |
|---------------------------|---|-----------------------------------|
| ▲ CALCULATED POINT | AC = ACRES | P.O.B. = POINT OF BEGINNING |
| — EXISTING IRON PIPE | ACSM = AMERICAN CONGRESS ON SURVEYING AND MAPPING | P.O.C. = POINT OF COMMENCEMENT |
| — IRON PIPE SET | ALTA = AMERICAN LAND TITLE ASSOCIATION | P.O.L. = POINT ON LINE |
| ○ BORE HOLE | B.M. = BOOK OF MAPS | R.C.P. = REINFORCED CONCRETE PIPE |
| — SANITARY SEWER MANHOLE | CB = CATCH BASIN | R.W. = RIGHT-OF-WAY |
| — SANITARY SEWER CLEANOUT | CMF = CORRUGATED METAL PIPE | SF = SQUARE FOOT |
| — WATER VALVE | D.B. = DEED BOOK | SMH = SANITARY SEWER MAHOLE |
| — WATER METER | E.P. = EXISTING IRON PIPES | S.R. = STATE ROAD |
| — FIRE HYDRANT | ELEV = ELEVATION | TBM = TEMPORARY BENCH MARK |
| — TELEPHONE PEDESTAL | ERM = FLOOD INSURANCE RATE MAP | TIC = TOP CURB |
| — TELEPHONE MANHOLE | GPS = GLOBAL POSITIONING SYSTEM | TWP = TOWNSHIP |
| — ELECTRIC BOX | HUD = HOUSING URBAN DEVELOPMENT | TYP = TYPICAL |
| — LIGHT POLE | HYD = FIRE HYDRANT | Y.I. = YARD INLET |
| — POWER POLE | INV = INVERT | |
| — CURB INLET | IPS = IRON PIPE SET | |
| — STORM DRAINAGE MANHOLE | LLC = LIMITED LIABILITY COMPANY | |
| — YARD INLET | MPH = MILES PER HOUR | |
| — WETLANDS | MSL = MEAN SEA LEVEL | |
| — STORM DRAIN | NAD = NORTH AMERICAN DATUM | |
| — OVERHEAD UTILITIES | NF = NOW OR FORMERLY | |
| — UNDERGROUND ELECTRIC | NSPS = NORTH CAROLINA GEODETIC SURVEY | |
| — UNDERGROUND TELEPHONE | NGVD = NATIONAL GEODETIC VERTICAL DATUM | |
| — WATER LINE | NSPS = NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS | |
| — SANITARY SEWER LINE | NTS = NOT TO SCALE | |
| — GAS LINE | PG. = PAGE | |
| — FENCE LINE | | |

NO.	DATE	BY	ISSUE
1.	06-09-17	JWR	CLIENT CHECK SET
2.	07-03-17	JWR	SITE PLAN SUBMITTAL #1
3.	06-05-17	JWR	SITE PLAN SUBMITTAL #2



SAM'S GAS CANOPY
2310 DIXIE FOREST ROAD
RALEIGH, NORTH CAROLINA
SAM'S REAL ESTATE
7935 COUNCIL PLACE, SUITE 102
MATTHEWS, NC 28105

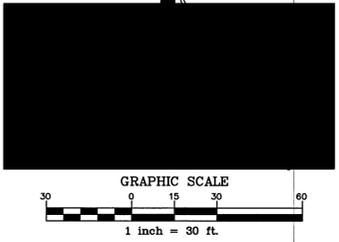
DESIGNED BY	DRAWN BY	CHECKED BY	FLG
JLR	JLR	RCN	
DATE	DATE	XREF NUMBER	SHEET NUMBER
05-24-17	05-24-17		SHE-1601
SCALE	1" = 30'		

EXISTING CONDITIONS AND DEMOLITION PLAN

DEMO PERMITS HAVE BEEN ISSUED FOR THE EXISTING WOOD FRAME HOUSES SHOWN ON THIS SHEET PER TRANSACTION NUMBERS 525250, 525249, AND 525248.

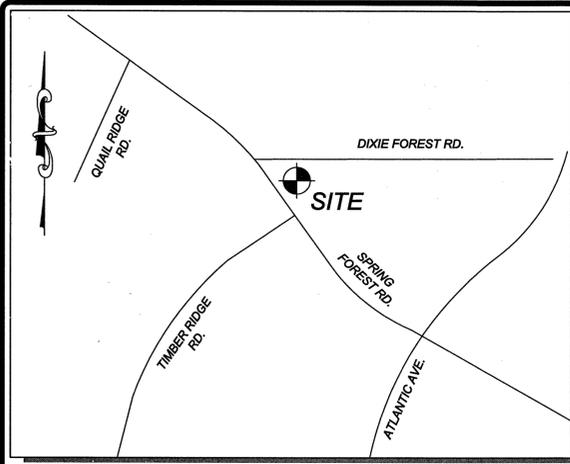


Know what's below.
 Call before you dig.
 nc811.org or 1-800-632-4949



C-1.1

X:\SHE - Sam's Real Estate\1601 - Raleigh, NC (Dixie Forest)\CAD\C1.1 SHE-1601.DEN\05-24-17 11:29:2017 4:02:34 PM JWR 1:30



VICINITY MAP
NOT TO SCALE

SITE NOTES:

- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA 811 OR CALL 1-800-632-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS. ACCESS SHALL BE LIMITED UNTIL PERMISSION IS GRANTED.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
- ALL SITE DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES AND REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
- ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- ALL WORK IN RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS.
- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 37201716000, WITH AN EFFECTIVE DATE OF MAY 2, 2006.

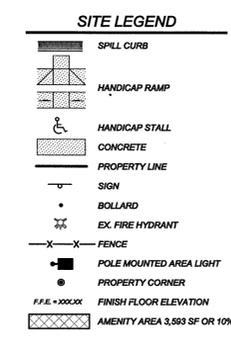
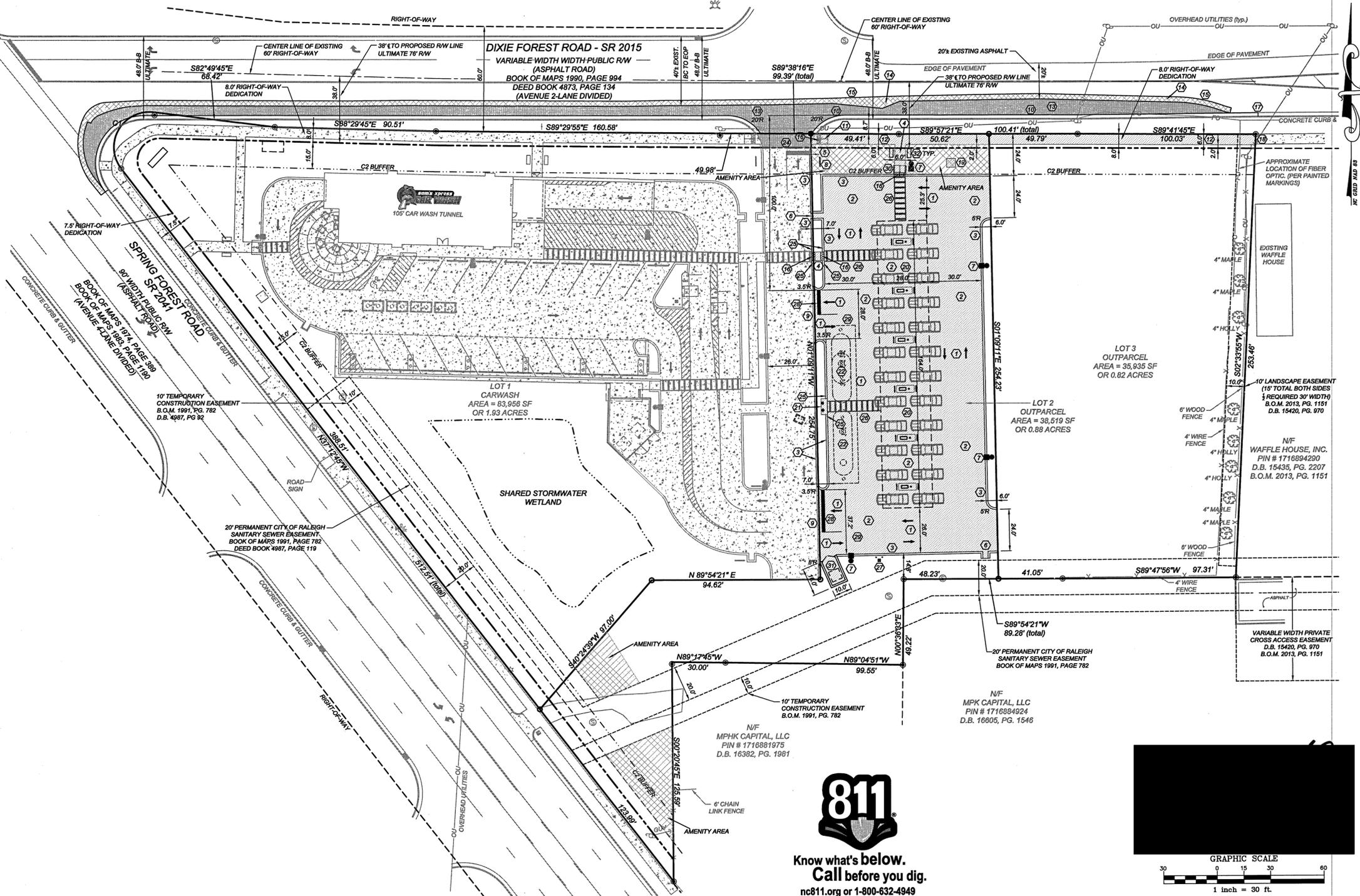
CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	46.91'	20.00'	47.56'	S29°58'45"W	134°23'00"

STATEMENT OF COMPLIANCE WITH UDO SECTION 6.4.11.C.4 VEHICLE FUEL SALES (INCLUDING GASOLINE) IN A CX-DISTRICT

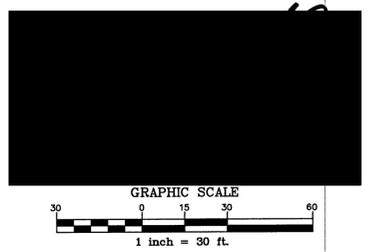
- THERE ARE ADJACENT RESIDENTIAL DISTRICTS OR USES.
- THERE ARE NO FUEL PUMP ISLANDS WITHIN 25 FEET OF ANY PUBLIC STREET.

SITE KEY NOTES:

- PAINT WHITE TRAFFIC ARROWS PER DETAIL SHEET (PRIVATE PROPERTY)
- CONSTRUCT CONCRETE PAVEMENT PER DETAILS SHEET. ALL JOINTS TO BE SEALED WITH MASTER SEAL NP-1 (HIGH PERFORMANCE POLYURETHANE SEALANT) OR EQUIVARIANT.
- CONSTRUCT 12" MOUNTABLE CURB PER SEE DETAILS SHEET.
- CONSTRUCT CONCRETE WALK PER DETAIL SHEET (PRIVATE PROPERTY)
- "STOP" SIGN PER MUTCD STANDARDS
- CONCRETE FLUME. SEE DETAIL.
- PROPOSED PEDESTRIAN SCALE LIGHT POLE
- PROPOSED ENTRY/EXIT SIGNS. EXACT LOCATION TO BE COORDINATED WITH CONSTRUCTION MANAGER. SIGNAGE TO BE PERMITTED BY OTHERS.
- MATCH EXISTING PAVEMENT.
- ALL CURB & GUTTER INSIDE PUBLIC RIGHT-OF-WAY SHALL BE 30" WIDE PER CITY & NCDOT SPECIFICATIONS.
- WHEELCHAIR RAMP IN PUBLIC RW PER CITY & NCDOT SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH CITY & DOT INSPECTORS.
- 8.0' WIDE CONCRETE SIDEWALK IN PUBLIC RIGHT-OF-WAY PER CITY OF RALEIGH SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH CITY INSPECTOR.
- ASPHALT PAVEMENT INSIDE PUBLIC RIGHT-OF-WAY PER CITY & DOT SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH CITY & DOT INSPECTORS. REFER TO DRIVEWAY PERMIT & ENCROACHMENT AGREEMENT.
- MILL 1.5" THICK x 3" WIDE EXISTING ASPHALT. APPLY TACK COAT. OVERLAY 1.5" THICK ASPHALT SURFACE COURSE PER CITY & DOT SPECIFICATIONS.
- CONTRACTOR TO PERFORM TRAFFIC CONTROL PER CITY AND DOT STANDARDS.
- ADA COMPLIANT TACTILE WARNING SURFACE
- MATCH EXISTING CURB AND GUTTER.
- MATCH EXISTING SIDEWALK.
- TRANSFORMER PAD
- GAS STATION CANOPY AND PUMP ISLANDS WITH BOLLARDS. SEE ARCHITECTURAL PLANS TO VERIFY DIMENSIONS.
- EMERGENCY PHONE AND EMERGENCY SHUTOFF. SEE PLAN BY OTHERS. CONCRETE PAD FLUSH WITH PAVEMENT (NO CURB)
- UNDERGROUND STORAGE TANKS. SEE PLANS BY OTHERS.
- REMOTE VENT RISERS AND HOOP BOLLARD. SEE PLAN BY OTHERS.
- ASPHALT / CONCRETE TRANSITION. SEE DETAIL.
- NOSE DOWN CURB. SEE DETAIL.
- PROPOSED CROSSWALK ON PRIVATE PROPERTY PER DETAIL SHEET
- TIRE AIR STATION WITH TWO BOLLARDS
- 24" SOLID WHITE STOP BAR
- 4" WIDE WHITE STRIPE
- WHEELCHAIR RAMP ON PRIVATE PROPERTY. SEE DETAIL.
- CONSTRUCT CONCRETE DUMPSTER PAD (10' W X 16' L MIN.) WITH GATES AND ENCLOSURE. MATERIALS TO MATCH BUILDING. SEE ARCHITECTURAL PLANS FOR DETAILS.
- INSTALL TWO BENCHES ON EITHER SIDE OF SIDEWALK PER 2-13-10 CONDITION(K)



Know what's below.
Call before you dig.
nc811.org or 1-800-632-4949



NO.	DATE	BY	ISSUE
1	06/05/17	JWR	CONTRACT SET
2	06/05/17	JWR	SITE PLAN SUBMITTAL #1
3	06/05/17	JWR	SITE PLAN SUBMITTAL #2



SAM'S GAS CANOPY
2310 DIXIE FOREST ROAD
RALEIGH, NORTH CAROLINA

SAM'S REAL ESTATE
7935 COUNCIL PLACE, SUITE 102
MATTHEWS, NC 28105

DESIGNED BY	DRAWN BY	CHECKED BY	FLG
JLR	JLR	RCN	
DATE	DATE	DATE	DATE
05-24-17	05-24-17	05-24-17	05-24-17
SCALE	SCALE	SCALE	SCALE
1" = 30'	1" = 30'	1" = 30'	1" = 30'

Sheet
C-2.0

X:\SHE - Sam's Real Estate\1601 - Raleigh, NC (Dixie Forest)\CAD\C2.0 SHE-1601 SITE.CAD, 11/29/2017 4:06:37 PM, 1:30

UTILITY NOTES:

- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPES, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR SHALL CONTACT "NORTH CAROLINA ONE CALL" AT 1-800-632-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE BEST AVAILABLE SOURCE AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXACT LOCATIONS OF EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITIES, EITHER PUBLIC OR PRIVATE, SHOWN HEREON OR NOT SHOWN HEREON. ANY REPAIRS SHALL BE DONE TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY.
- THE GENERAL CONTRACTOR SHALL CONFIRM ALL NEW UTILITY TAP LOCATIONS WITH THE UTILITY OWNERS.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
- MINIMUM COVER FOR CONDUITS SHALL BE 36 INCHES UNLESS OTHERWISE SHOWN OR NOTED ON THESE PLANS.
- ALL MANHOLES, VALVES AND MONUMENT FRAMES SHALL BE SET TO FINISH GRADE AFTER PAVING.
- THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDERS. TRENCHES SHALL BE SHORED IN ACCORDANCE WITH OSHA.
- OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING 5 FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH PUBLIC UTILITIES AND CROSS CONNECTION CONTROL REGULATIONS AND STANDARDS.
- SITE UTILITY CONTRACTOR TO PROVIDE WATER, SANITARY SEWER, AND ROOF DRAIN LEADERS TO WITHIN 5 FEET OF THE BUILDING. CONTRACTOR SHALL COORDINATE SITE PLAN CONNECTIONS WITH THE ARCHITECTURAL BUILDING PLANS.
- UNDERGROUND CONDUITS TO SIGNS, LOT LIGHTS, ETC., SHALL BE PLACED IN GRASS OR LANDSCAPE AREAS WHENEVER POSSIBLE. THE LOCATION OF THE CONDUIT AS SHOWN ON THESE PLANS SHALL BE CONSIDERED TO BE SCHEMATIC WITH ACTUAL LOCATION TO BE VERIFIED BY THE GENERAL CONTRACTOR. PVC SCH. 40 SLEEVES SHALL BE INSTALLED FOR ALL CONDUIT CROSSING UNDER PAVED AREAS.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES AND CIRCUITING.

CITY OF RALEIGH STANDARD UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 20' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE GRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & 3-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER).

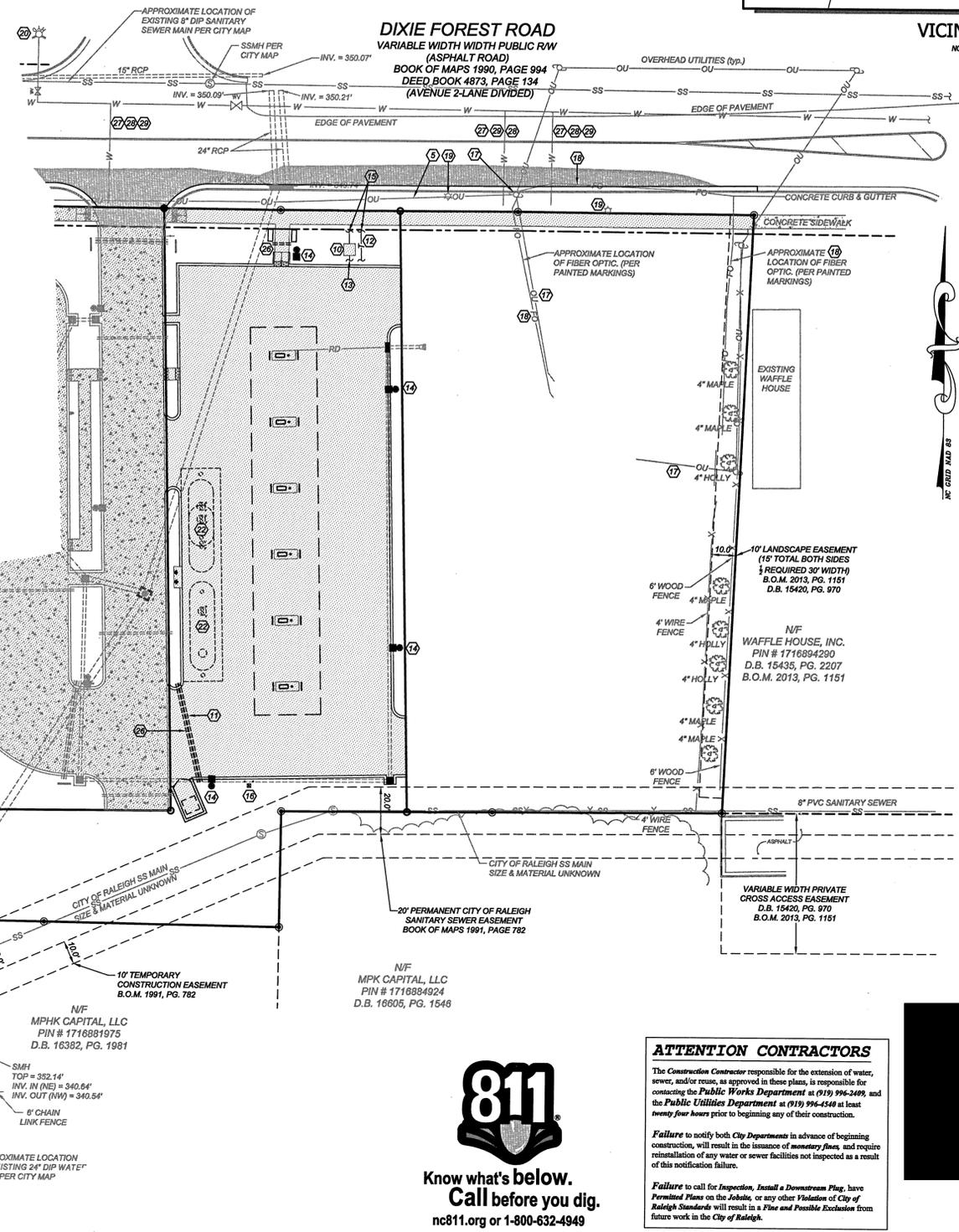
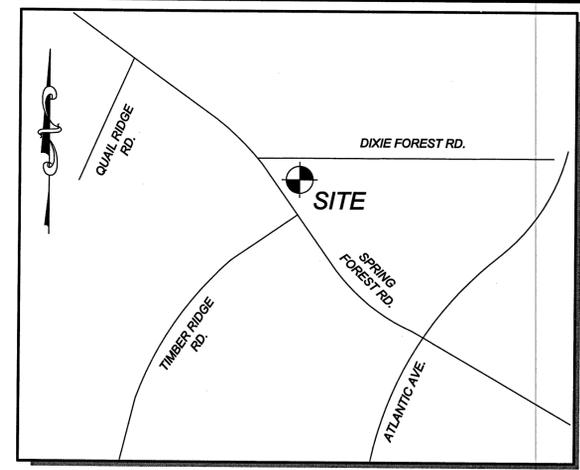
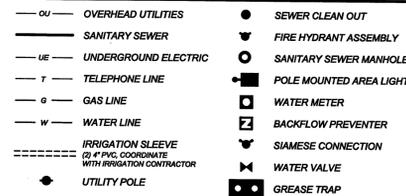
SEE ELECTRICAL SITE PLAN FOR ALL CONDUIT / ELECTRICAL WIRING ROUTING

REFER TO ARCHITECT'S PLANS (SITE LIGHTING SHEET) FOR ALL SITE CONDUITS AND WIRING, INCLUDING PAY STATION WIRING REQUIREMENTS.

UTILITY KEYNOTES:

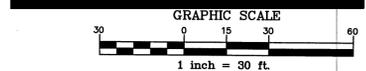
- PROPOSED 2" WATER TAP PER CITY OF RALEIGH STANDARDS. CONTRACTOR SHALL VERIFY LOCATION, SIZE, DEPTH, AND CONDITION OF EXISTING WATER MAIN PRIOR TO CONSTRUCTION.
- PROPOSED 2" DOMESTIC WATER METER BOX (DO NOT INSTALL METER) PER CITY OF RALEIGH STANDARDS.
- PROPOSED ABOVE GRADE, HEATED, INSULATED ENCLOSURE PER CITY OF RALEIGH STANDARDS FOR FUTURE 2" RPZ BACKFLOW PREVENTER.
- PROPOSED 2" DOMESTIC WATER SERVICE FROM MAIN TO METERS. USE 2" TYPE "K" COPPER PER TOWN REQUIREMENTS. PAST METERS USE 2" PVC ON PRIVATE PROPERTY.
- CURB STOP IN CURB STOP BOX PER CITY OF RALEIGH STANDARDS. CONTRACTOR TO COORDINATE W/ CITY OF RALEIGH.
- 2" SERVICE VALVE PER CITY OF RALEIGH STANDARDS. CONTRACTOR TO COORDINATE W/ CITY OF RALEIGH.
- PROPOSED PRIVATE 6" PVC SANITARY SEWER SERVICE AT 1/8 INCH PER LINEAR FOOT MINIMUM SLOPE. SEE BEDDING DETAIL.
- INSTALL 4' I.D. PRECAST SANITARY SEWER MANHOLE OVER EXISTING SANITARY SEWER MAIN PER CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. PRIOR TO BEGINNING ANY CONSTRUCTION, CONTRACTOR TO EXCAVATE AND FIELD VERIFY LOCATION, DEPTH, SIZE, MATERIAL, AND CONDITION OF EXISTING SEWER MAIN.
- PROPOSED SANITARY SEWER CLEANOUT PER CITY OF RALEIGH STANDARD DETAIL.
- PROPOSED GROUND MOUNTED TRANSFORMER. CONTRACTOR TO INSTALL PAD AND COORDINATE WITH POWER COMPANY PRIOR TO CONSTRUCTION.
- PROPOSED 4" EMPTY CONDUIT.
- PROPOSED TELEPHONE SERVICE. CONTRACTOR TO COORDINATE W/ TELEPHONE COMPANY.
- PROPOSED ELECTRICAL SERVICE. CONTRACTOR TO COORDINATE W/ POWER COMPANY. INSTALL (2) 6" PVC CONDUITS FROM TRANSFORMER TO CT CABINET TO BE PROVIDED BY GENERAL CONTRACTOR. ELECTRICAL WIRING SPECIFIED BY POWER COMPANY.
- PROPOSED LIGHT POLE LOCATION. POLE BASE TOP SHALL BE FORMED TO SHED WATER. SEE SIGHT LIGHTING PLAN BY CREE FOR DETAILS.
- CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES TO EXTEND ELECTRICAL AND TELEPHONE SERVICES TO PROPERTY.
- TIRE AIR STATION, 2 BOLLARDS, AND CONDUIT.
- CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES TO RELOCATE ALL EXISTING POWER POLES AND OVERHEAD UTILITIES OFF OF PRIVATE PROPERTY AND TO COORDINATE WITH ROAD WIDENING.
- CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES TO RELOCATE EXISTING FIBER OPTIC AND ALL EXISTING UTILITIES OUT OF ROAD WIDENING AREA. REMOVE FROM PRIVATE PROPERTY.
- CONTRACTOR TO COORDINATE WITH UTILITY COMPANY TO RELOCATE EXISTING LIGHT POLE OUTSIDE OF ROAD WIDENING AREA. REMOVE FROM PRIVATE PROPERTY.
- EXISTING HYDRANT TO REMAIN.
- EXTEND PROPOSED 2" PVC WATER SERVICE TO HOSE BIBS.
- UNDERGROUND STORAGE TANKS. SEE PLANS BY OTHERS.
- EMERGENCY PHONE AND EMERGENCY SHUT-OFF. SEE PLANS BY OTHERS.
- REMOTE VENT RISERS AND HOOP BOLLARDS. SEE PLANS BY OTHERS.
- INSTALL HOSE BIB.
- COORDINATE IRRIGATION CONNECTION AND SLEEVES WITH IRRIGATION CONTRACTOR.
- REMOVE / ABANDON EXISTING WATER SERVICE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS. SEE CITY OF RALEIGH STANDARD UTILITY NOTE 6.
- CONTRACTOR TO PERFORM TRAFFIC CONTROL PER CITY AND DOT STANDARDS.
- CONTRACTOR TO CUT AND PATCH EXISTING PAVEMENT, CURB AND GUTTER, AND SIDEWALK AS NEEDED PER CITY AND DOT SPECIFICATIONS.

UTILITY LEGEND



Know what's below.
Call before you dig.
nc811.org or 1-800-632-4949

ATTENTION CONTRACTORS
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4548 at least twenty-four hours prior to beginning any of their construction.
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



NO.	DATE	ISSUE / CHECKED BY
1	06-26-17	JWR SITE PLAN SUBMITTAL #1
2	07-26-17	JWR SITE PLAN SUBMITTAL #2
3	08-03-17	JWR SITE PLAN SUBMITTAL #2

NO.	DATE	ISSUE / CHECKED BY
1	06-26-17	JWR SITE PLAN SUBMITTAL #1
2	07-26-17	JWR SITE PLAN SUBMITTAL #2
3	08-03-17	JWR SITE PLAN SUBMITTAL #2



SAM'S GAS CANOPY
2310 DIXIE FOREST ROAD
RALEIGH, NORTH CAROLINA
SAM'S REAL ESTATE
7935 COUNCIL PLACE, SUITE 102
MATTHEWS, NC 28105

DESIGNED BY	JLR	SCALE	1" = 30'
DRAWN BY	RCN	CHECKED BY	FLG
DATE	05-24-17	JOB NUMBER	811-601

Sheet
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QUANTITIES
 QUANTITIES SHOWN IN LIST ARE FOR THE CONVENIENCE OF CONTRACTORS AND BELIEVED TO BE SUBSTANTIALLY CORRECT, BUT THE ACCURACY OF QUANTITIES IN LIST ARE NOT GUARANTEED.

NOTE:
 ANY PLANTING WITHIN THE NCDOT RIGHT OF WAY REQUIRES A NCDOT PLANTING PERMIT

SEEDING SCHEDULE
 FOR SHOULDERS, SIDE DITCHES & SLOPES (MAX 2:1)

DATE	TYPE	PLANTING RATE
AUG 15-NOV 1	TALL FESCUE	300 #/AC
NOV 1-MAR 1	TALL FESCUE	300 #/AC
MAR 1-APR 15	AND ABRUZZI RYE	25 #/AC
APR 15-JUN 30	TALL FESCUE	300 #/AC
JUL 15-AUG 15	HULLED COMMON BERMUDA GRASS	25 #/AC
	TALL FESCUE	120 #/AC
	AND BROWNTOP MILLET OR SORGHUM-SUDAN HYBRIDS	30 #/AC

FOR SLOPES (3:1 TO 2:1)

MAR 1-JUN 1	TALL FESCUE	50 #/AC
(MAR 1-JUNE 30)	OR ADD WEEPING LOVEGRASS	10 #/AC
(MAR 1-JUNE 30)	OR ADD HULLED COMMON	25 #/AC
JUN 1-SEPT 1	TALL FESCUE AND BROWNTOP MILLET	120 #/AC
	OR SORGHUM-SUDAN HYBRIDS	30 #/AC
SEPT 1-MAR 1 (NOV 1-MAR 1)	TALL FESCUE ADD ABRUZZI RYE	120 #/AC 25 #/AC

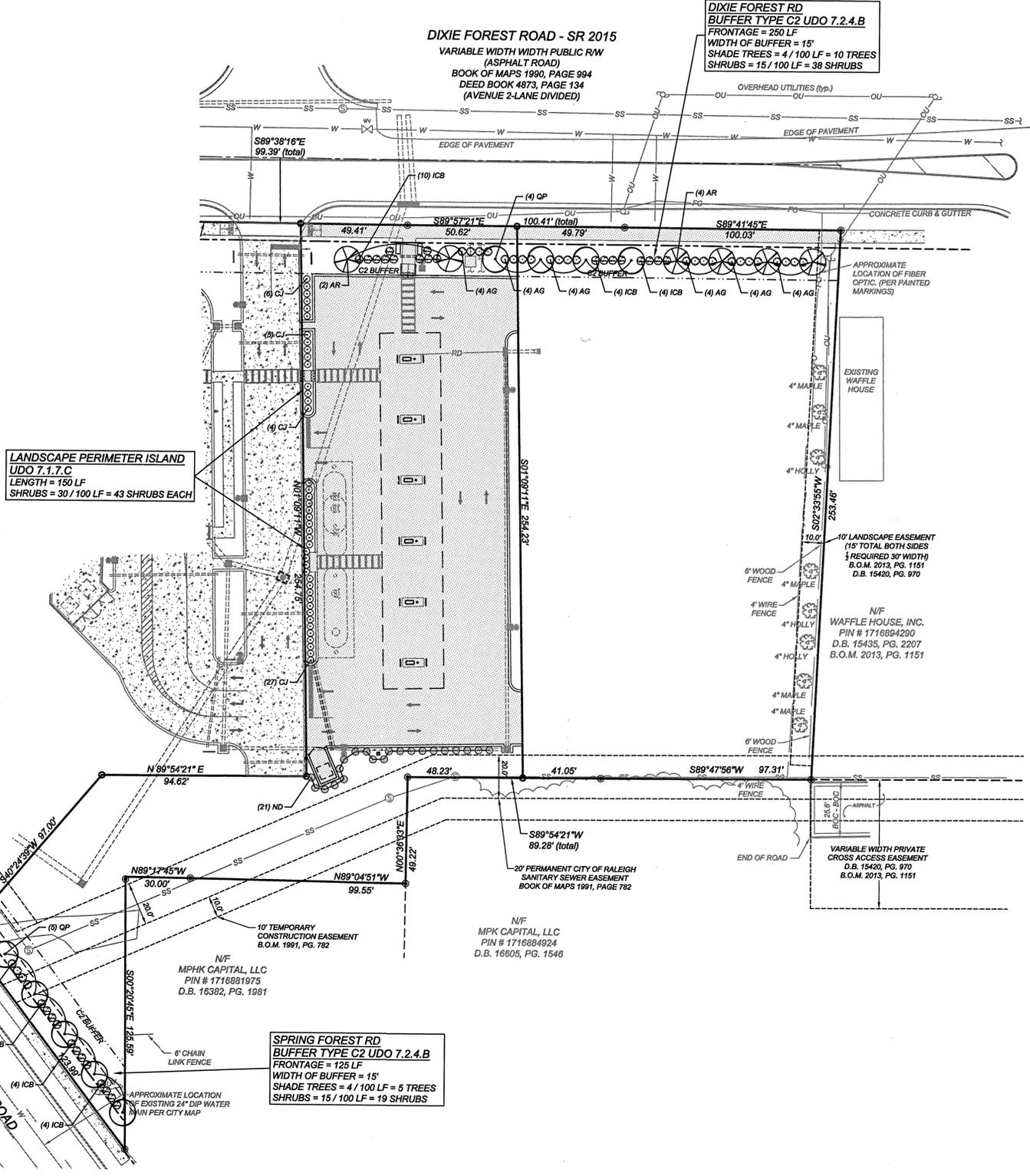
CONSULT CONSERVATION ENGINEER OR SCS FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENIED AREAS. ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS. OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.
 ***TEMPORARY-REFEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW OVER 12" IN HEIGHT BEFORE MOWING. OTHERWISE FESCUE MAY BE SHADED OUT.

TREE PLANTING SCHEDULE

SYMBOL	KEY	NO.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	COMMENTS
AR	6	ACER RUBRUM "OCT. GLORY"	OCTOBER GLORY RED MAPLE	3" MIN.	10' MIN.	B & B	CANOPY	
QP	9	QUERCUS PHELLOS	WILLOW OAK	3" MIN.	10' MIN.	B & B	CANOPY	

SHRUB PLANTING SCHEDULE

SYMBOL	KEY	NO.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	COMMENTS
ICB	30	ILEX CORNUTA ROTUNDA "NANA"	DWARF BURFORD HOLLY	-	36" MIN.	5 GAL.	EVERGREEN	
CJ	42	CLEYERA JAPONICA	CLEYERA	-	18" MIN.	3 GAL.	EVERGREEN	
ND	18	NANDINA DOMESTICA NANA "HARBOR DWARF"	DWARF NANDINA	-	18" MIN.	3 GAL.	DECIDUOUS	
AG	32	ABELIA GRANDIFLORA	FLOWERING ABELIA	-	36" MIN.	5 GAL.	EVERGREEN	



LANDSCAPE NOTES:

- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL OWN HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA ONE CALL AT 1-800-632-4343 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- ENTIRE SITE SHALL BE SODED UNLESS SPECIFIED ON PLAN OR REQUESTED BY CONSTRUCTION MANAGER USE LOCALLY ADAPTED SOIL.
- THE GENERAL CONTRACTOR SHALL LEAVE THIS SITE AT 6" FROM FINISHED GRADE. THE LANDSCAPE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
- PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE DEAD OR DYING PLANT MATERIAL AT HIS EXPENSE. THIS REPLACEMENT SHALL NOT BE CONSIDERED A GUARANTEED REPLACEMENT.
- ALL PLANTING SHALL BE PLACED WITHIN A MULCHED PLANTING BED. ALL STRAPPING AND THE TOP 2/3 OF WIRE BASKETS MUST BE CUT AWAY AND REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
- ALL LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARD DETAILS AND SPECIFICATIONS.
- ALL AREAS NOT MULCHED SHALL BE SEED OR SODED IN ACCORDANCE WITH THE AREA SPECIFIED ON PLANS WITH GRASS SPECIES RECOMMENDED FOR REGION AS PRESCRIBED IN THE SEEDING SCHEDULE AS SHOWN ON THIS SHEET.
- SITE LIGHTING SHALL NOT BE PLACED IN CONFLICT WITH PLANTED TREES.
- TREE PROTECTION FENCING TO BE PROVIDED AROUND TREE PRESERVATION AREAS IN ACCORDANCE WITH CITY STANDARDS.
- COORDINATE ALL WORK WITH SITE LAYOUT AND SITE GRADING, DRAINAGE & UTILITIES PLAN.
- MULCH ALL AREAS, THAT ARE NOT SEED OR SODED, SHALL USE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL AS SPECIFIED TO A DEPTH OF 3"-4".
- THE SELECTION AND INSTALLATION OF PLANTS AND PLANTING METHODS SHALL CONFORM WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE CITY STANDARD DETAILS AND SPECIFICATIONS, WHICHEVER IS STRICTER.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. DRAWINGS SHALL RULE OVER PLANT LISTS.
- SUBSTITUTIONS SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL, PRIOR TO INSTALLATION. SUBSTITUTIONS MAY REQUIRE ADDITIONAL APPROVAL BY THE GOVERNING JURISDICTION.
- ALL LANDSCAPING SOIL AND FILL SHALL BE FREE FROM WEEDS, REFUSE, AND DEBRIS AT ALL TIMES.
- TREES AND LARGE SHRUBS SHALL BE ADEQUATELY SUPPORTED, AS NECESSARY, USING ABORTIVE FOR GUYS ON TREES. SUCH SUPPORTS SHALL BE FASTENED TO THE SUPPORT TREES AND SHRUBS FROM INJURY. TREES AND SHRUBS SHALL BE FASTENED TO THE SUPPORT WITH AN ACCEPTABLE COMMERCIAL TREE OF PLASTIC OR HOSE COVERED WIRE.
- CONTRACTOR BID SHALL INCLUDE IRRIGATION LAYOUT AND INSTALLATION. SEE PROPOSED IRRIGATION SLEEVE LOCATIONS ON THIS SHEET.

NO.	DATE	BY	ISSUE
1	06-09-17	JWR	CLIENT CHECK SET
2	07-05-17	JWR	SITE PLAN SUBMITTAL #1
3	08-09-17	JWR	SITE PLAN SUBMITTAL #2



SAM'S GAS CANOPY
 2310 DIXIE FOREST ROAD
 RALEIGH, NORTH CAROLINA

SAM'S REAL ESTATE
 7935 COUNCIL PLACE, SUITE 102
 MATTHEWS, NC 28105

LANDSCAPE PLAN

DISTORTED BY	DRAWN BY	CHECKED BY	FLG
JLR	RCN	RCN	JOB NUMBER
DATE	05-24-17	DATE	SME-1601
SCALE	1" = 30'	SCALE	



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