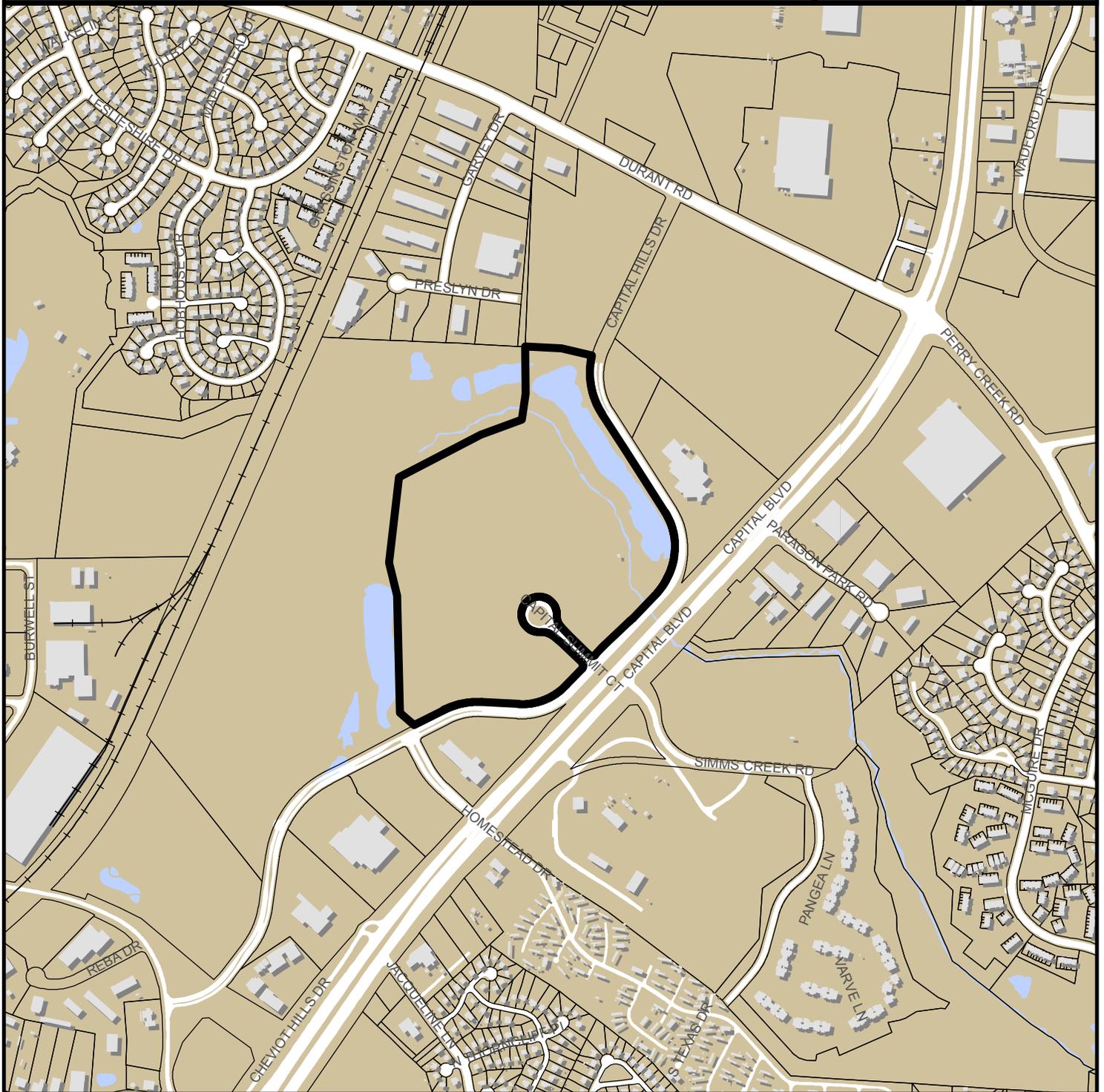


JAGUAR LAND ROVER RALEIGH

SR-63-2017



0 300 600 1,200 1,800 2,400 Feet

Zoning: **IX-3**
CAC: **North**

Drainage Basin: **Perry Creek**
Acreage: **51.49**
Sq. Ft.: **32,691**

Planner: **Michael Walters**
Phone: **(919) 996-2636**

Applicant: **Bill Daniel**
Phone: **(919) 467-9708**





Administrative Approval Action

SR-63-17, Jaguar Land Rover Raleigh
Transaction# 522788 / AA # 3685

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the north side of Capital Hills Drive, west of intersection of Capital Hills Drive and Capital Summit Court, adjacent to 2350 Capital Summit Court.

REQUEST: Development of a proposed 11.03 acre tract zoned IX-3 into a two story, 32,691 square foot automobile dealership.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** Due to existing streams, tree conservation area, significant grades, and necessary retaining walls, a design adjustment waiving the block perimeter requirement was approved.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by William G. Daniel & Associates, P.A.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

STORMWATER

1. This site will meet the impervious surface limitations set in the approved subdivision S-94-07.
2. Prior to any grading in accordance with Part 10A Section 9.4.4 a surety for the erosion control is required.
3. Prior to concurrent review or final site or ICP's an additional TN offset payment (the SWMF already exist) is required.
4. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;
5. That a nitrogen offset payment must be made to a qualifying mitigation bank;
6. That a stormwater control plan shall be approved by the Stormwater Engineer in compliance with S-94-07.
7. That all stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.



Administrative Approval Action

SR-63-17, Jaguar Land Rover Raleigh
Transaction# 522788 / AA # 3685

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PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

8. That the 11.03 tract proposed as an exempt subdivision is approved and recorded in the Wake County Register of Deeds.
9. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Subdivisions, Recombinations, Right Of Way and/or Easement Dedications, Tree Save Areas, the 5'x7' CORWLE around the water meter.

ENGINEERING

10. A cross access agreement between the proposed 11.03 acre tract and the adjacent parcel owned by MLC Automotice LLC. shall be approved by the Development Services Department for recording with the Wake County Register of Deeds, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one (1) day of lot recordation. A recorded copy of these documents must be provided to the Development Services Department.
11. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 12-7-2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

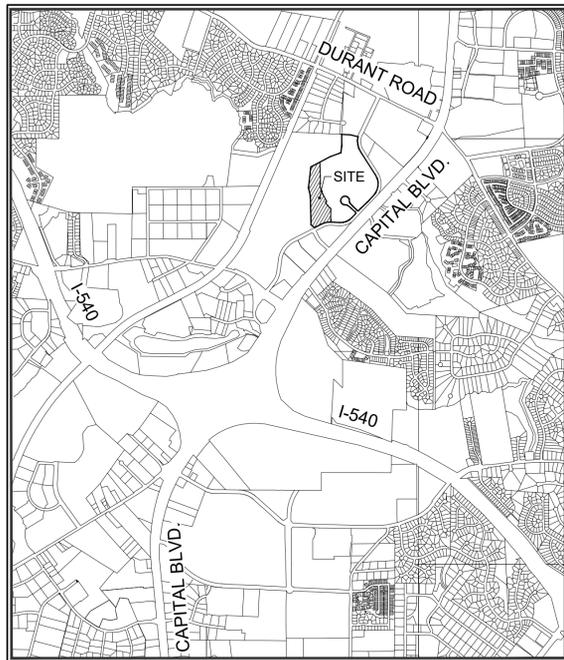
Signed:

(Planning Dir.)

Austin B. [Signature]

Date: 12/7/2017

Staff Coordinator: Michael Walters



VICINITY MAP
1" = 2,000'

PROPOSED PUBLIC IMPROVEMENT QUANTITIES

Number of Lot(s)	1
Lot <input type="checkbox"/> s by Phase	n/a
Number of Units	0
Livable Buildings	0
Open Space <input type="checkbox"/>	No
Number of Open Space Lots	0
Public Water (LF)	0
Public Sewer (LF)	0
Public Street (LF)	0
Public Sidewalk (LF)	0
Street Signs (LF)	0
Water Service Stubs	1
Sewer Service Stubs	1

PRIVATE IMPROVEMENT QUANTITIES

Private Water (LF)	827' (TOTAL)
8" DIP	289'
6" DIP	448'
4" DIP	90'
Private Sewer (LF)	488' (TOTAL)
4" PVC	151'
6" PVC	337'

Parking Calculations for Proposed Development

VEHICLE SALES COMPONENT (PROPOSED):
13,052 of @ 1 SP/1000 SF = 14 SPACES

VEHICLE SERVICE COMPONENT (PROPOSED):
19,639 of @ 1 SP/800 SF = 33 SPACES

TOTAL REQUIRED = 47 SPACES

TOTAL HC REQUIRED = 2 SPACES

TOTAL PROVIDED = 47 SPACES

TOTAL HC PROVIDED = 2 SPACES

DISPLAY PARKING = 93 SPACES

VEHICLE STORAGE = 183 SPACES

NOTES:
1. SEE VEHICLE PARKING KEY ON SHEET CS-4 FOR LOCATION OF REQUIRED, DISPLAY, AND VEHICLE STORAGE SPACES.
2. PARKING COUNT DOES NOT INCLUDE AREA OF LIMITED OUTDOOR STORAGE

Alternate Parking Calculation (if greater)

VEHICLE DISPLAY AREA: 37,480 SF
REQ'D = 1 SPACE/4500 SF
9 SPACES REQUIRED.

NOTE:
THIS ALTERNATE CALCULATION REQUIRES LESS SPACES. THEREFORE, PARKING SHALL BE BASED ON SALES/SERVICE COMPONENT

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT IF APPLICABLE.

COMPLIANCE WITH UDO SECTION 7.1.2.D.1

As cited in UDO Section 7.1.2.D.1, an acceptable means of mitigating for excess parking is to provide a level of stormwater management above that otherwise required by the UDO. Specifically, the rate of stormwater discharge from the area of excess parking is to be controlled to pre-development levels for the 2, 10, and 30-year return interval storm events. As described in the approved (and implemented) stormwater management plan for the Cheviot Assemblage (S-94-07), of which this lot is a part, this criteria is satisfied. In fact, the stormwater management plan for S-94-07 achieves control of stormwater discharge rates to pre-development levels for even the 100-year return interval storm event.

Control of Peak Rate of Stormwater Discharge

The Stormwater Management Plan for the Cheviot Assemblage (S-94-07) employs three SCMs as the primary elements—two wet ponds and a constructed wetland—to achieve compliance with the stormwater discharge and quality requirements associated with the City's UDO and the States Neuse River Basin Rules. Conventional stormwater collection and piping systems transport stormwater from the sites to the SCMs. The three SCMs have been completed, are functional, and currently in conformity to the City's inspection and maintenance requirements—see File #N-0015-08.

The combined effect of the 3 SCMs is that the peak rate of stormwater discharge for built-out development conditions for the 2-yr and 10-yr interval rainfall events are controlled so as to be less than the corresponding discharges for pre-development conditions. The projected rates of stormwater discharge are:

Storm Event	Pre-develop. Rate (CFS)	Post-develop. Rate (CFS)
2 YR	137.5	52.6
10 YR	187.9	99.7

Implementation of the proposed stormwater management plan achieves in full conformity to all applicable stormwater regulations of the City and the State.

* The BMP (Wetland #1) to which stormwater runoff from this site will be routed, is completed and operational. City asbuilts and certifications are current.

Full development of Cheviot Assemblage will result in nitrogen export levels as listed below:

SUMMARY OF NITROGEN EXPORT DATA WITH BMPs		
Total Stormwater Site Area = 191.23 Ac.	Total Nitrogen Export (#/Yr.)	Total Rate of Nitrogen Export (#/Ac./Yr.)
Nitrogen Export Prior to BMPs	2508.48	13.12
Total Amount of TN Reduction due to BMPs	1172.14	
Wetland 1 & Ponds #1&2		
Nitrogen Export After BMPs	1336.33	6.988097

The owner has contracted with Restoration Systems for purchase of 11,710.61 Nitrogen Offset Credits from RS's Neuse River Basin Riparian Buffer and Nutrient Mitigation Umbrella Bank. That amount of Nitrogen Offset Credits corresponds to the nutrient export above the target level of 3.6#/ac/yr calculated for Lots 2 through 8 as depicted on the preliminary S/D Plan (S-94-07), and further detailed in Stormwater Management Plan & Supporting Information for Cheviot Assemblage as prepared by Wm. G. Daniel & Associates, P.A. dated March 8, 2008 and as revised through March 31, 2009.

Impervious Area Allocation

As specified by the stormwater Management Plan for S-94-07, an allocation of impervious area was established for each lot within the project. That allocation is documented in Restrictive Covenants recorded in BK 14065, PG 543. The impervious area allocation for Lot 2 is 1,274,130 SF (or 29.25 AC.). The existing impervious area on Lot 2 is 201,247 SF (or 4.62 ac.). The proposed impervious area to be added by this site plan is 334,105 SF (or 7.67 ac.), for a total of 535,352 SF (or 12.29 ac.). This area of impervious coverage that will exist on Lot 2 after development of the proposed site plan is well below the impervious area allocation for Lot 2.

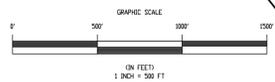
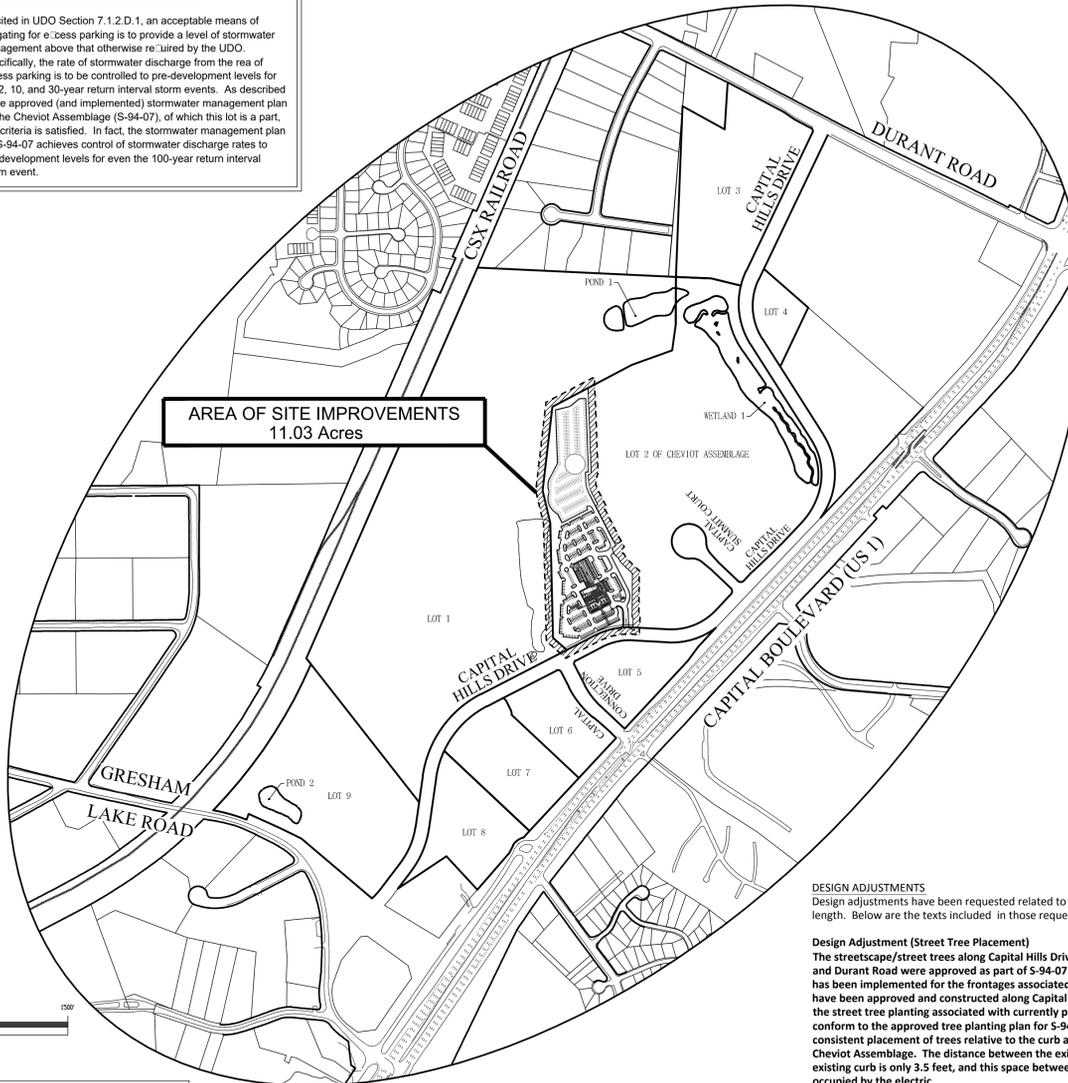
Proposed Impervious Conditions (shown in acres)

0.86 = Vehicular Display Area
5.94 = Remaining Vehicular Use Area
0.12 = Misc. Area (Walks, pad, etc.)
0.75 = Building
7.67 = Total Impervious Area
3.36 = Landscaped Area
11.03 = Total Site Area

PROJECT SEWER FLOW (gallons per day)

PROPOSED BLDG	EMPLOYEE	WASHBAY	AUTOMATIC CAR WASH	TOTAL
SALES	20	0	0	500 gpd
SERVICE	30	6	0	2250 gpd

NOTE: SEWER FLOW CALCULATIONS BASED ON EMPLOYEES @ 25 gpd & WASHBAYS @ 250 gpd each, and AUTOMATIC CAR WASHES @ 1200 gpd each.



Administrative Site Review Application (for UDO Districts only)

Development Services Customer Service Center | 1 Sedgefield Plaza, Suite 400 | Raleigh, NC 27601 | (919) 996-2491 | Fax: (919) 996-1331

Customer Service Office | 1001 - 1015 Sedgefield Plaza | Raleigh, NC 27601 | (919) 996-2491

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE: Detached, Attached, Apartment, Townhouse, General, Mixed Use, Open Lot

FOR OFFICE USE ONLY: Preconstruction, Request Permit Condition, Assigned Plan Code

Development Name: Jaguar Land Rover Raleigh

Zoning District: IX-3

Proposed Use: Automobile Dealership

Property Address: Capital Hills Drive

Walk County Property Identification Number(s) for each parcel to which these guidelines will apply: P.I.N. 1727.88.1973

What is your project type? Apartment, School, Shopping Center, Office, Industrial/Building, Retail, Other

WORK SCOPE: New City Code Section 10.2.2.1, summarize the project work scope, for additions, changes of use, or occupancy per Chapter 6 of the UDO, indicate impacts on parking requirements. Construction of an automobile dealership and associated infrastructure

DESIGN ADJUSTMENT OR ADMIN. ALTERNATE: Design adjustment requested for streetscape along Capital Hills Dr. - streetyard depicted as part of S-94-07.

CLIENT/DEVELOPER/OWNER: Company: MLC Automotive LLC, Name: Bill Daniel, Address: 5601 Capital Blvd Raleigh NC 27616, Phone: 919.876.5432, Email: keiks@leithinc.com, Fax: 919.976.3258

CONSULTANT (Contract Person for Plans): Company: William G. Daniel & Associates, P.A., Name: Bill Daniel, Address: 1150 SE Maynard Road Suite 260 Cary NC 27511, Phone: 919.467.9708, Email: bdaniel@wmgda.com, Fax: 919.460.7585

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information: Zoning District: IX-3, Proposed Building Use(s): Sales/Service, Existing Building(s) vs. R. gross: 0, Proposed Building(s) vs. R. gross: 32,691

Total Site Acres: Inside City Limits: Yes No 11.03, Total sq. ft. gross existing & proposed: 32,691

Off street parking: Required: 47, Provided: 47, Proposed height of building: 26'4"

CDM (Certificate of Appropriateness) case #: # of stories: 2, Ceiling height of 1st Floor: 17'0"

Stormwater Information: Existing Impervious Surface: 0 acres/square feet, Flood Hazard Area: Yes No , Proposed Impervious Surface: 7.67 acres/square feet, If Yes, please provide: Allow Soil Erosion Map Panel #, Neuse River Buffer: Yes No , Wetlands: Yes No , Flood Study

FOR RESIDENTIAL DEVELOPMENTS: 1. Total # of Apartment, Condominium or Residential Units, 2. Total # of Congregate Care or Life Care Dwelling Units, 3. Total Number of Hotel Units, 4. Overall Total # of Dwelling Units (1-4 Above)

SIGNATURE BLOCK (Applicable to all developments): I hereby designee William Daniel to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application. I have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use. MLC Automotive, LLC, Signed: Linda J. Keith, Date: 7/19/17

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

SITE DATA

OWNER: MLC Automotive, LLC, 5601 Capital Blvd., Raleigh, NC 27616, (919) 876-5432

BOM & PAGE: BM 2010 PG 84-93

TOWNSHIP: NEUSE

TOTAL ACREAGE: 11.03 Ac.

ZONING: IX-3

TOTAL DENUDED AREA: 12.60 Ac.

IMPERVIOUS AREA TOTAL: SEE CALC'S & NOTE THIS SHEET

WATERSHED: NEUSE

WAKE COUNTY PIN: 1727.88.1973

PROJECTED SEWER FLOW: 2750 GPD (SEE CALC'S THIS SHEET)

FLOOR AREA RATIO (F.A.R.): PROPOSED (0.75 ac/11.03ac) = 0.068

BUILDING LOT COVERAGE: PROPOSED (0.69 ac/11.03ac) = 0.063

TOTAL BUILDING SF: 32,691 SF

FIRST FLOOR: 30,071 SF

SECOND FLOOR: 2,620 SF

- NOTES:
- ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
 - BOUNDARY IS TAKEN FROM LOT 2 OF BM 2010 PG 84-93.
 - CONTOURS ARE A COMBINATION OF FIELD SURVEYED, PROPOSED ROADWAY GRADES, AND WAKE COUNTY CADASTRAL INFORMATION.
 - NO WETLANDS EXIST IN SITE PLAN AREA.
 - THIS SITE IS NOT FEMA MAPPED. (MAP # 37201172700J & 37201172800J)
 - CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING UTILITIES.
 - ALL DISTANCES ARE TO BACK OF CURB OR RIGHT-OF-WAY UNLESS OTHERWISE SPECIFIED.
 - MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY AND NO DRIVEWAY OR PARKING SPACES SHALL ENCROACH ON THIS MINIMUM CORNER CLEARANCE.
 - RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 100 FEET OF ALL STREET INTERSECTIONS.
 - NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, PARKED VEHICLES, SIGN OR OTHER OBJECTS BETWEEN THE HEIGHTS OF TWO (2) FEET AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
 - WC ACCESS RAMP WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH ENGINEERING STANDARD DRAWING STD #20.11. WHERE SIDEWALK IS NOT REQUIRED ALONG THE PUBLIC ROW, CURB IS TO BE DEPRESSED AT ALL RAMP LOCATIONS SHOWN ON STD #20.11.

SHEET NO.	DESCRIPTION
CS - 1	COVER
CS - 2	EXISTING CONDITIONS PLAN
CS - 3	SITE PLAN
CS - 4	UTILITY PLAN
CS - 5a	GRADING / DRAINAGE PLAN
CS - 5b	EROSION CONTROL PLAN
CS - 6	SOLID WASTE PLAN
L - 1	LANDSCAPE PLAN
A100	FLOOR PLAN
A300	BUILDING ELEVATIONS

Wm. G. Daniel & Assoc.
Engineering Planning Site Design
1150 SE MAYNARD ROAD
SUITE 260
CARY, NC 27511
(919) 467-9708
C-0329

Revisions
09.15.17 Per City of Raleigh 1st review
11.08.17 Per City of Raleigh 2nd review & utility modifications to address exempt S/D plat review.

City of Raleigh
Preliminary Subdivision
S-94-07

PRELIMINARY
SR-63-17
Transaction #522788

OWNER:
MLC Automotive, LLC
5601 Capital Blvd.
Raleigh, NC 27616
(919) 876-5432
keiks@leithinc.com

Project
Jaguar Land Rover Raleigh

Cover

Date
July 21, 2017

Scale
1" = 500'

Sheet

CS - 1

Revisions

- 09.15.17 Per City of Raleigh
1st review
- 11.08.17 Per City of Raleigh
2nd review & utility
modifications to
address exempt S/D
plat review.

**City of Raleigh
Preliminary Subdivision
S-94-07**

OWNER:
MLC Automotive, LLC
5601 Capital Blvd.
Raleigh, NC 27616
(919) 876-5432

Project
Jaguar Land Rover Raleigh

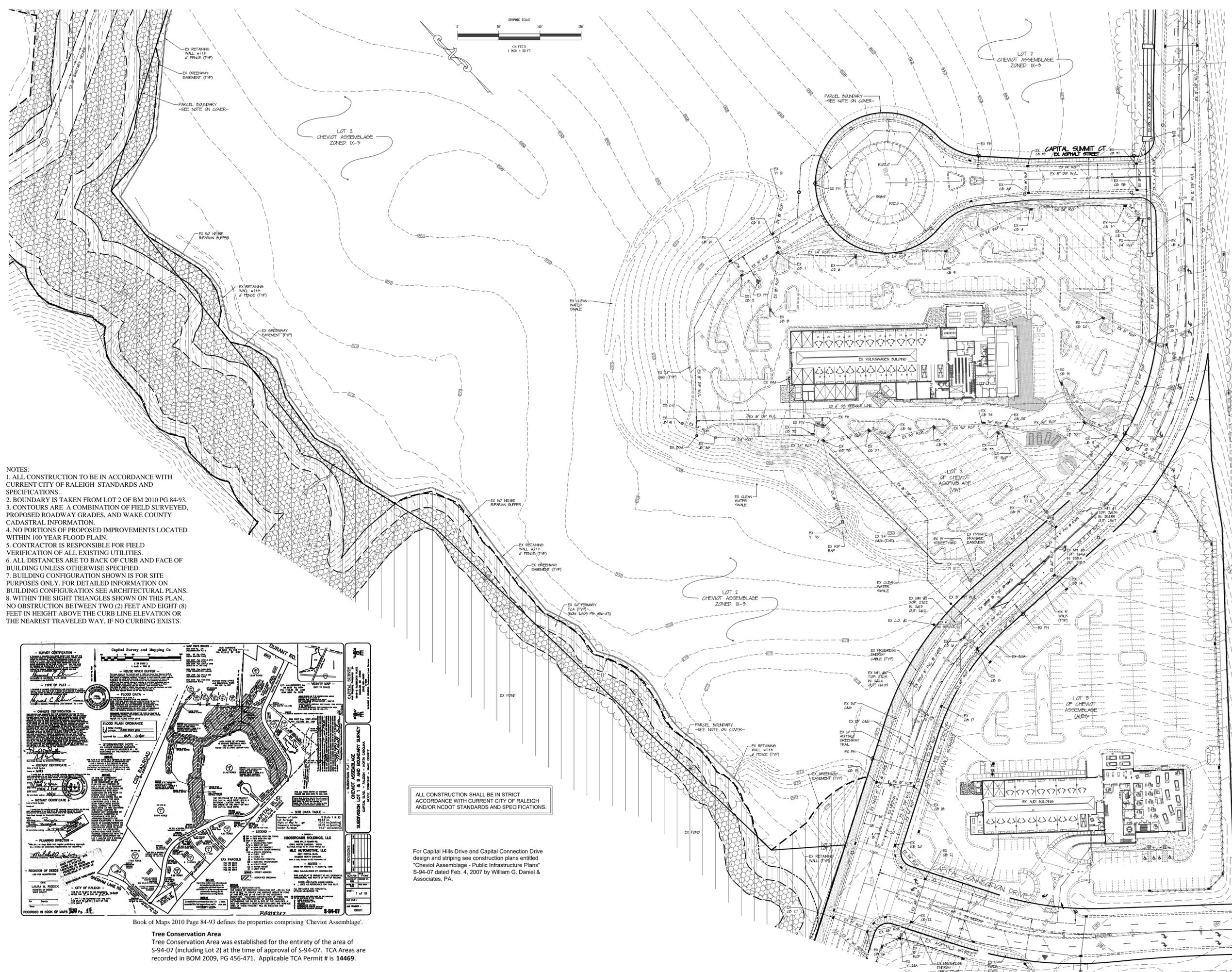
Existing Conditions

Date
July 21, 2017

Scale
1" = 60'

Sheet

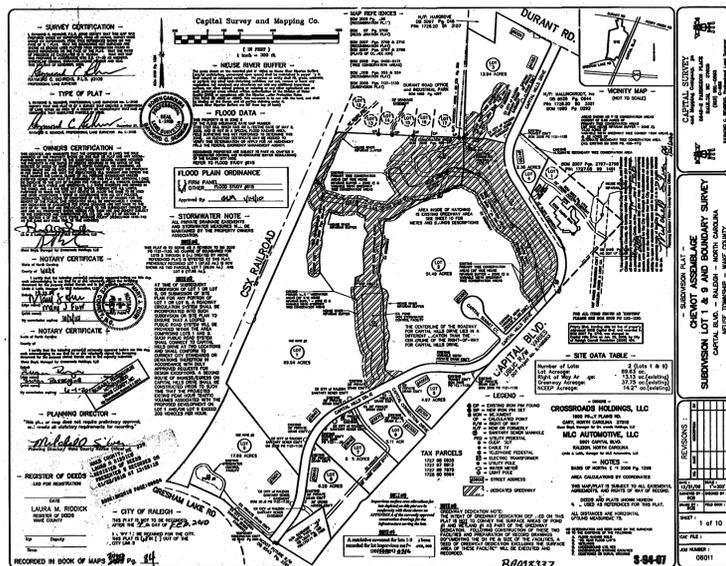
CS - 2



- NOTES:
1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 2. BOUNDARY IS TAKEN FROM LOT 2 OF BM 2010 PG 84-93.
 3. CONTOURS ARE A COMBINATION OF FIELD SURVEYED, PROPOSED ROADWAY GRADES, AND WAKE COUNTY CADASTRAL INFORMATION.
 4. NO PORTIONS OF PROPOSED IMPROVEMENTS LOCATED WITHIN 100 YEAR FLOOD PLAIN.
 5. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING UTILITIES.
 6. ALL DISTANCES ARE TO BACK OF CURB AND FACE OF BUILDING UNLESS OTHERWISE SPECIFIED.
 7. BUILDING CONFIGURATION SHOWN IS FOR SITE PURPOSES ONLY. FOR DETAILED INFORMATION ON BUILDING CONFIGURATION SEE ARCHITECTURAL PLANS.
 8. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CURRENT CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

For Capital Hills Drive and Capital Connection Drive design and striping see construction plans entitled "Cheviot Assemblage - Public Infrastructure Plans" S-94-07 dated Feb. 4, 2007 by William G. Daniel & Associates, PA.



Book of Maps 2010 Page 84-93 defines the properties comprising 'Cheviot Assemblage'.

Tree Conservation Area
Tree Conservation Area was established for the entirety of the area of S-94-07 (including Lot 2) at the time of approval of S-94-07. TCA Areas are recorded in BOM 2009, PG 456-471. Applicable TCA Permit # is 14469.

Revisions

- 09.15.17 Per City of Raleigh
1st review
- 11.08.17 Per City of Raleigh
2nd review & utility
modifications to
address exempt S/D
plat review.

**City of Raleigh
Preliminary Subdivision
S-94-07**

OWNER:
MLC Automotive, LLC
5601 Capital Blvd.
Raleigh, NC 27616
(919) 876-5432

Project
Jaguar Land Rover Raleigh

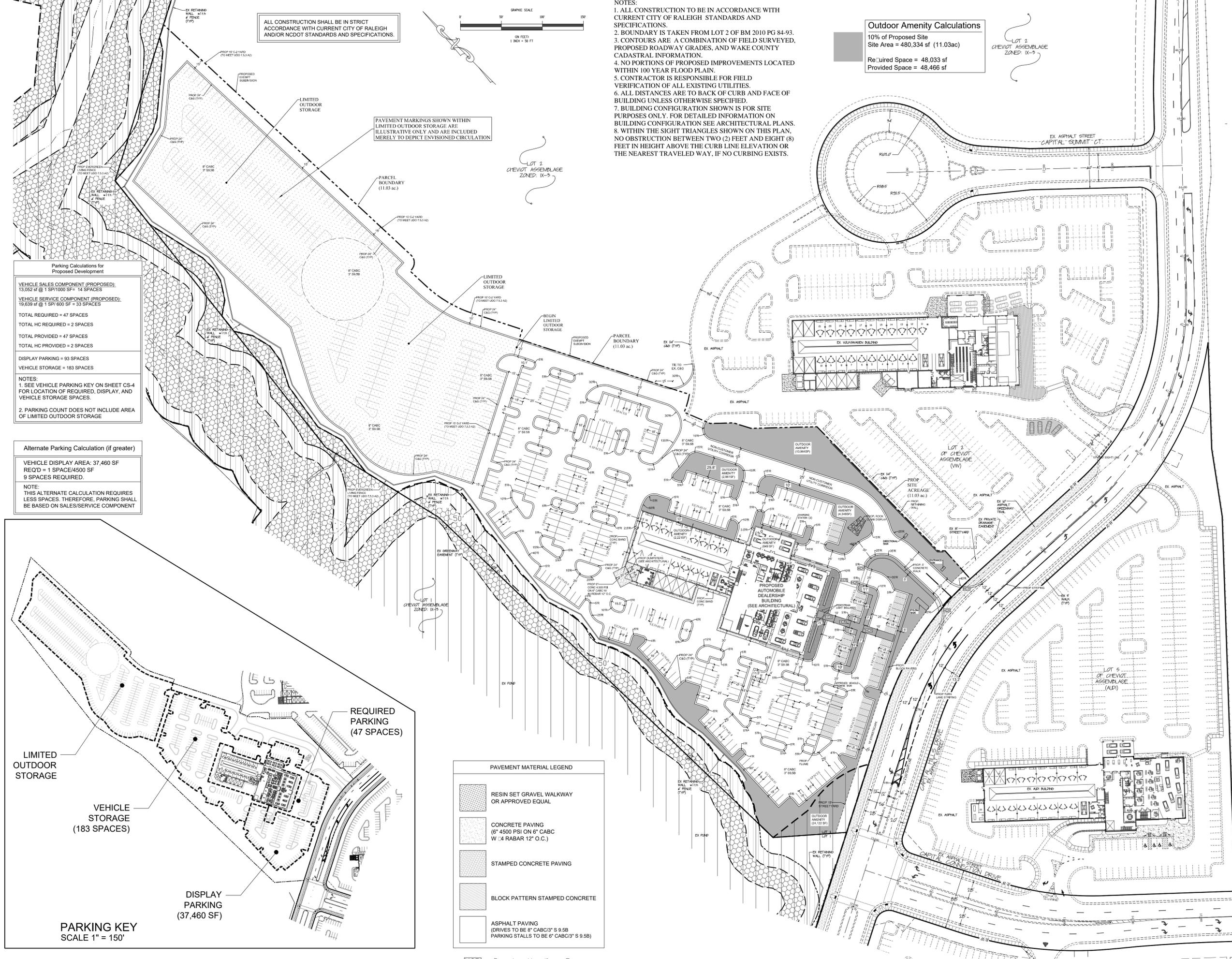
Site Plan

Date
July 21, 2017

Scale
1" = 60'

Sheet

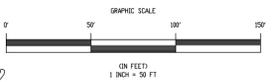
CS - 3



- NOTES:**
1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 2. BOUNDARY IS TAKEN FROM LOT 2 OF BM 2010 PG 84-93.
 3. CONTOURS ARE A COMBINATION OF FIELD SURVEYED, PROPOSED ROADWAY GRADES, AND WAKE COUNTY CADASTRAL INFORMATION.
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 8. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

Outdoor Amenity Calculations
10% of Proposed Site
Site Area = 480,334 sf (11.03ac)
Required Space = 48,033 sf
Provided Space = 48,466 sf

ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CURRENT CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



Parking Calculations for Proposed Development

VEHICLE SALES COMPONENT (PROPOSED):
13,052 sf @ 1 SP/1000 SF = 14 SPACES

VEHICLE SERVICE COMPONENT (PROPOSED):
19,639 sf @ 1 SP/600 SF = 33 SPACES

TOTAL REQUIRED = 47 SPACES
TOTAL HC REQUIRED = 2 SPACES

TOTAL PROVIDED = 47 SPACES
TOTAL HC PROVIDED = 2 SPACES

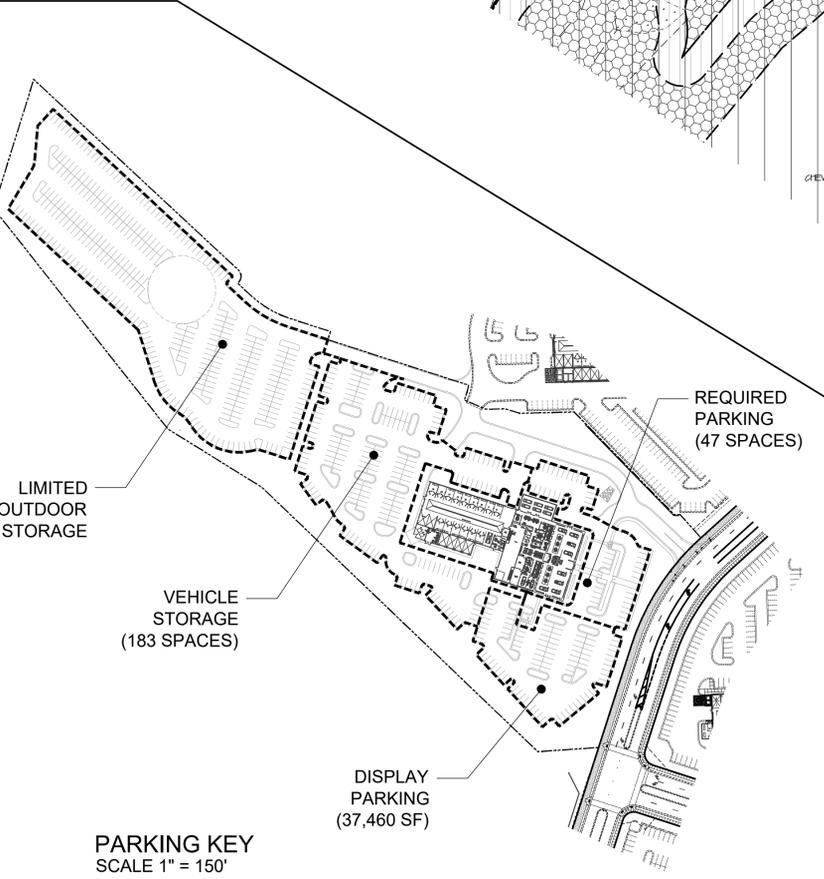
DISPLAY PARKING = 93 SPACES
VEHICLE STORAGE = 183 SPACES

NOTES:
1. SEE VEHICLE PARKING KEY ON SHEET CS-4 FOR LOCATION OF REQUIRED, DISPLAY, AND VEHICLE STORAGE SPACES.
2. PARKING COUNT DOES NOT INCLUDE AREA OF LIMITED OUTDOOR STORAGE

Alternate Parking Calculation (if greater)

VEHICLE DISPLAY AREA: 37,460 SF
REQ'D = 1 SPACE/4500 SF
9 SPACES REQUIRED.

NOTE:
THIS ALTERNATE CALCULATION REQUIRES LESS SPACES. THEREFORE, PARKING SHALL BE BASED ON SALES/SERVICE COMPONENT



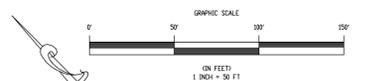
PAVEMENT MATERIAL LEGEND

[Pattern]	RESIN SET GRAVEL WALKWAY OR APPROVED EQUAL
[Pattern]	CONCRETE PAVING (6" 4500 PSI ON 6" C&C W/ #4 REBAR 12" O.C.)
[Pattern]	STAMPED CONCRETE PAVING
[Pattern]	BLOCK PATTERN STAMPED CONCRETE
[Pattern]	ASPHALT PAVING (DRIVES TO BE 8" C&C/3" S 9.5B PARKING STALLS TO BE 6" C&C/3" S 9.5B)

HCR Denotes Handicap Ramp

WATER & SEWER MODIFICATION NOTES:

- SEPARATE STUB PERMITS WILL BE OBTAINED FOR THE MODIFICATION OF WATERLINE CONNECTION IN CAPITAL HILLS DRIVE AND THE PROPOSED WATERLINE CONNECTION AT THE END OF CAPITAL SUMMIT COURT.
- ABANDONMENT AND/OR REMOVAL OF EXISTING WATERLINES AND SEWER SERVICE PIPING AS SHOWN ON THIS PLAN ARE TO BE COMPLETED PRIOR TO APPROVAL OF FINAL PLUMBING INSPECTION FOR THE PROPOSED JAGUAR / LAND ROVER BUILDING.
- WATERLINE MODIFICATIONS ARE TO BE SEQUENCED SUCH THAT PROPOSED RPDA AT THE END OF CAPITAL SUMMIT COURT IS OPERATIONAL PRIOR TO ELIMINATION OF THE EXISTING WATERLINE LOOP.



LIMITED OUTDOOR STORAGE

LIMITED OUTDOOR STORAGE

LOT 2 CHEVROT ASSEMBLAGE ZONED: IX-5

PROP CO: NON TRAFFIC RATED
 PROP CO*: TRAFFIC RATED

For Capital Hills Drive and Capital Connection Drive design and striping see construction plans entitled "Chevrot Assemblage - Public Infrastructure Plans" S-94-07 dated Feb. 4, 2007 by William G. Daniel & Associates, PA.

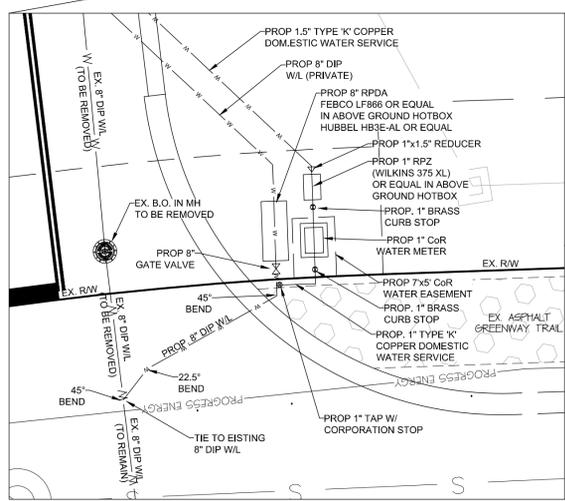
ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CURRENT CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

Fire hydrant to be 5' stor / 2 1/2" NST per City of Raleigh detail W-4 and W-5.

FIRE PROTECTION NOTE:
 FIRELINE BACKFLOW PREVENTION (Wilkins 375 DA OR EQUAL) TO BE LOCATED INSIDE DEDICATED RISER ROOM WITH ACCESS AND KNOX BOX. SEE FIRE PROTECTION PLANS FOR FINAL SPEC.

STANDARD UTILITY NOTES (as applicable):

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
- Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
- 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains
- Install water services with meters located at ROW or within a 2x2' Waterline Easement immediately adjacent. Please see plan for actual location of 1.5" service and meter. *NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.*
- Install 4" typical sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum. Please see plan for actual locations of cleanouts and specified slope.
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
- All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NCDOT Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact: Tim Beasley at (919) 259-7825 or timothy.beasley@raleighnc.gov for more information
- Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact: Joanne Helvey at (919) 212-9923 or joanne.helvey@raleighnc.gov for more information



Water Service Connection Inset 1' = 10"

Revisions
 09.15.17 Per City of Raleigh 1st review
 11.08.17 Per City of Raleigh 2nd review & utility modifications to address exempt S/D plat review.

City of Raleigh
 Preliminary Subdivision
 S-94-07

OWNER:
 MLC Automotive, LLC
 5601 Capital Blvd.
 Raleigh, NC 27616
 (919) 876-5432

Project
 Jaguar Land Rover Raleigh

Utility Plan

Date
 July 21, 2017

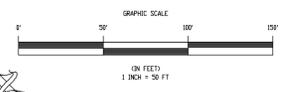
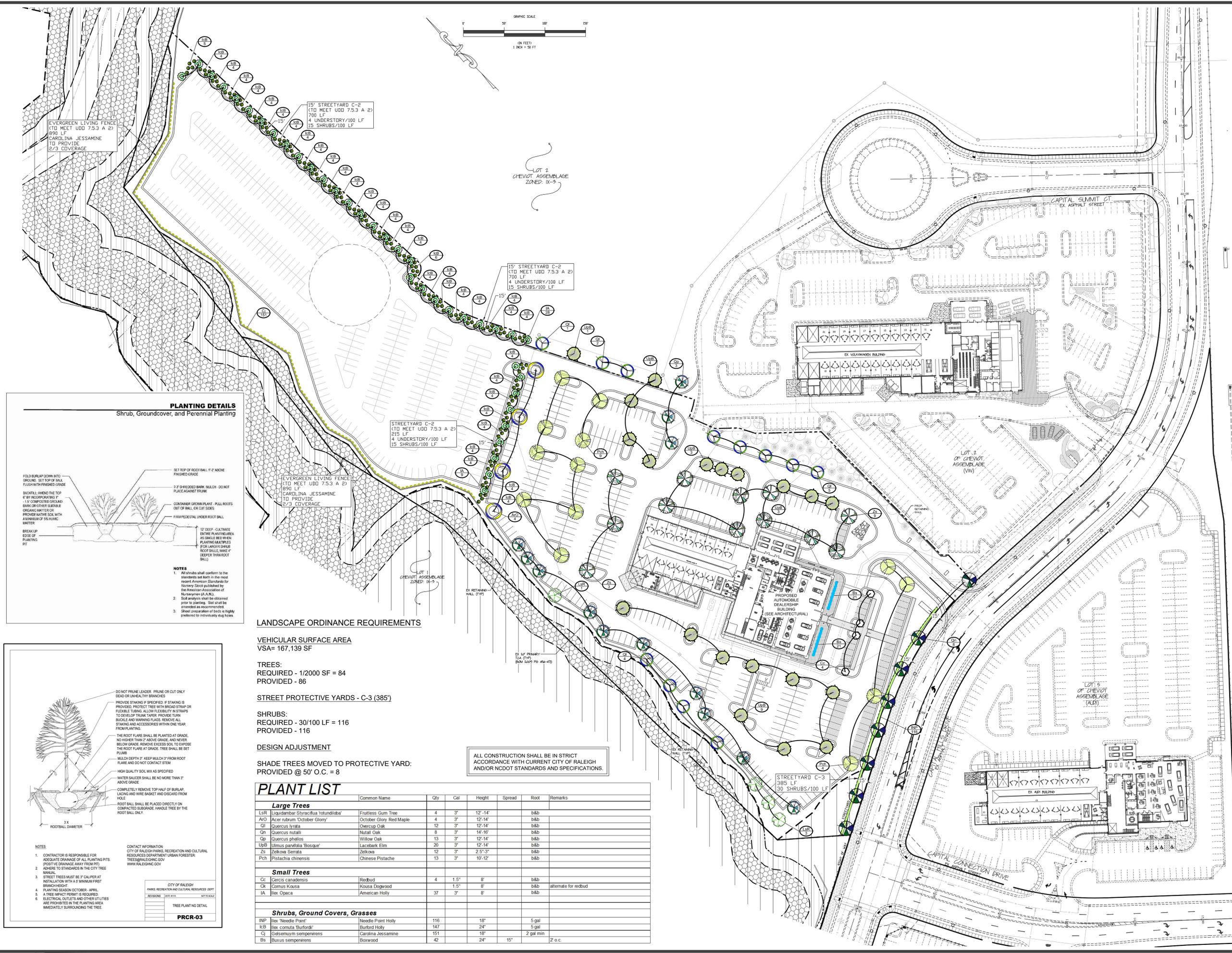
Scale
 1" = 60'

Sheet

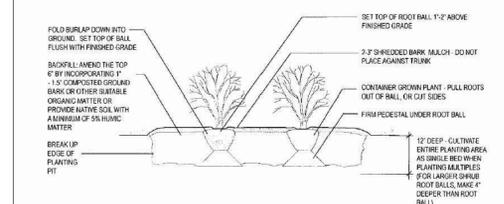
CS - 4

NO.	DESCRIPTION
1	09.15.17 Raleigh 1st review
2	11.08.17 Raleigh 2nd review & utility modifications to address exempt S/D plot review
3	
4	
5	
6	
7	
8	

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PLANTING DETAILS
 Shrub, Groundcover, and Perennial Planting



- NOTES**
- All shrubs shall conform to the standards set forth in the most recent American Standards for Nursery Stock published by the American Association of Nurserymen (A.A.N.S.).
 - Soil analysis shall be obtained prior to planting. Soil shall be amended as recommended.
 - Sheet preparation of beds is highly preferred to individually dig holes.

LANDSCAPE ORDINANCE REQUIREMENTS

VEHICULAR SURFACE AREA
 VSA= 167,139 SF

TREES:
 REQUIRED - 1/2000 SF = 84
 PROVIDED - 86

STREET PROTECTIVE YARDS - C-3 (385')

SHRUBS:
 REQUIRED - 30/100 LF = 116
 PROVIDED - 116

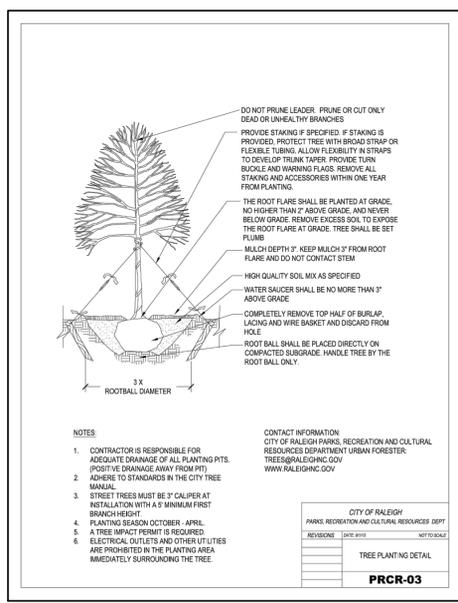
DESIGN ADJUSTMENT

SHADE TREES MOVED TO PROTECTIVE YARD:
 PROVIDED @ 50' O.C. = 8

ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CURRENT CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

PLANT LIST

Code	Common Name	Qty	Cal	Height	Spread	Root	Remarks
Large Trees							
LsR	Liquidambar styraciflua 'totundoba'	4	3"	12'-14'		b&b	
ArO	Acer rubrum 'October Glory'	4	3"	12'-14'		b&b	
QI	Quercus lyrata	12	3"	12'-14'		b&b	
Qn	Quercus nuttallii	8	3"	14'-16'		b&b	
Qp	Quercus phellos	13	3"	12'-14'		b&b	
LQp	Ulmus parvifolia 'Bosque'	20	3"	12'-14'		b&b	
Zs	Zelkova serrata	12	3"	2.5'-3'		b&b	
Pch	Pistachia chinensis	13	3"	10'-12'		b&b	
Small Trees							
Cc	Cercis canadensis	4	1.5"	6'		b&b	
Ck	Cornus Kousa	3	1.5"	8'		b&b	alternate for redbud
IA	Ilex Opaca	37	3"	8'		b&b	
Shrubs, Ground Covers, Grasses							
INP	Ilex 'Needle Point'	116		18"		5 gal	
ICB	Ilex cornuta 'Burfordi'	147		24"		5 gal	
Cj	Gelsemium sempervirens	151		18"		2 gal min	
Bs	Buxus sempervirens	42		24"	15"	2 o.c.	



CONTACT INFORMATION:
 CITY OF RALEIGH: PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER
 TREES@RALEIGH.GOV
 WWW.RALEIGHNC.GOV

CITY OF RALEIGH:
 PARKS, RECREATION AND CULTURAL RESOURCES DEPT
 JESSAMINE DATE: 06/13/17
 TREE PLANTING DETAIL
PRCR-03



**WINSTEAD
WILKINSON**
ARCHITECTS
P L L C

1848 Wake Forest Road
Raleigh, NC 27608
t. 919-832-2878
f. 919-832-7901
info@wwa.us.com

New Building for:
JAGUAR LAND ROVER
RALEIGH
RALEIGH, NORTH CAROLINA

PROJECT NUMBER
216149

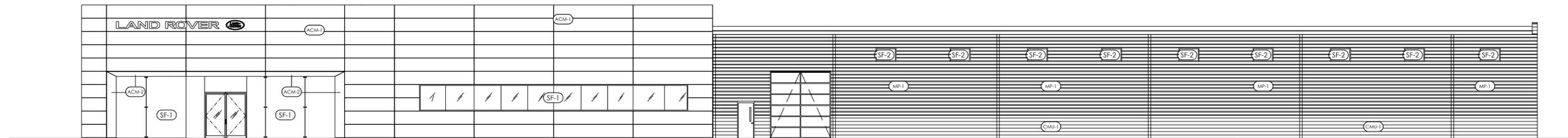
DATE
MARCH 23, 2017

REVISIONS

1. REVISION SEPT. 15, 2017
CITY COMMENTS

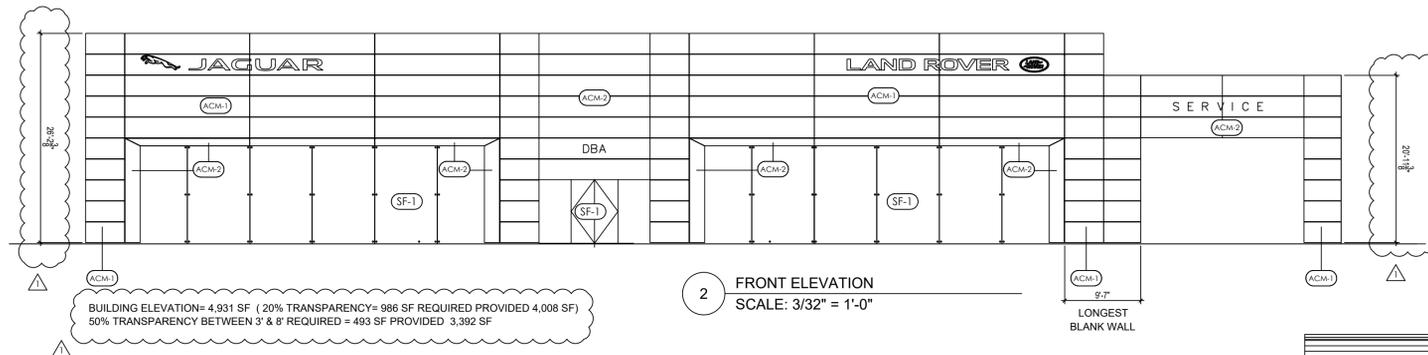
ELEVATIONS
PLAN

A300

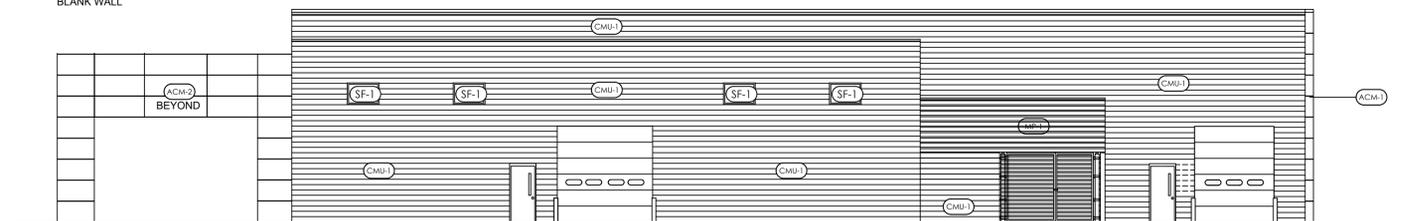


1 RIGHT SIDE ELEVATION
SCALE: 3/32" = 1'-0"

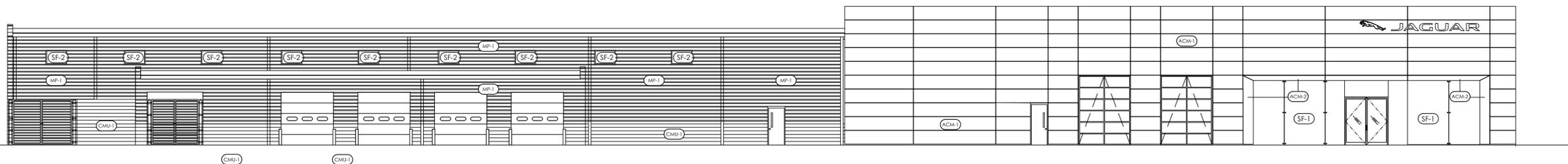
EXTERIOR FINISH SCHEDULE						
CODE	MATERIAL	MANUF.	SERIES	COLOR	DIM.	LOCATION
ACM-1	COMPOSITE METAL PANEL SYSTEM	ALUCOBOND		"JLR SUNSHINE GREY METALLIC"	2400 MM; 7'-10 1/2" LENGTHS	MAIN FACADE COLOR
ACM-2	COMPOSITE METAL PANEL SYSTEM	ALUCOBOND		"JLR CHAMPAGNE METALLIC"		CHAMFER COLOR CUSTOMER ENTRANCE
SF-1	FRAMELESS STRUCTURAL GLAZING	GC TO SUBMIT FOR APPROVAL		BUTT GLAZED STRUCTURAL STOREFRONT		SHOWROOMS
SF-2	ALUMINUM STOREFRONT	GC TO SUBMIT FOR APPROVAL		"CLEAR ANODIZED"		
CF-1	METAL COPING	GC TO SUBMIT FOR APPROVAL		MATCH "JLR SUNSHINE GREY METALLIC"	LONGEST LENGTH AVAILABLE	TOP OF MAIN FACADE METAL PANELS
CF-2	METAL COPING	GC TO SUBMIT FOR APPROVAL		GREY TO MATCH CMU	LONGEST LENGTH AVAILABLE	SERVICE BUILDING
CMU-1	SMOOTH-FACE CMU	JOHNSON CONCRETE COMPANY		JC-528 "DOVE TAIL"		SERVICE BUILDING
MP-1	HORIZONTAL TRAPEZOIDAL CLADDING	TATA TRISOMET		333 OR SIMILAR		SERVICE BUILDING



2 FRONT ELEVATION
SCALE: 3/32" = 1'-0"



3 REAR ELEVATION
SCALE: 3/32" = 1'-0"



4 LEFT SIDE ELEVATION
SCALE: 3/32" = 1'-0"

3 REAR ELEVATION
SCALE: 3/32" = 1'-0"