



Administrative Approval Action

SR-72-18 / XPress Auto Center Addition
Transaction #564939, AA#3980

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This site is located north of Poole Road, east of S. New Hope Road located at 731 S. New Hope Rd.
- REQUEST:** Development of a 1.55 acre tract zoned IX-3-PK for an 864 square foot addition to an existing 1,920 square foot major vehicle repair, automotive garage service center.
- DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** A design adjustment has been submitted to both the block perimeter and cross access requirements of UDO Article 8.3. Cross access exists to the parcel on the south but is not feasible to the properties to the east and north.
- Case A-114-18 granted approval of a variance for an alternate landscape to the required -PK zoning overlay frontage, of a 50 ft SHOD-1 overlay buffer along S. New Hope Rd.
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 5/17/2019 by *Veteran Engineering Associates*.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME** – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

☒ **BUILDING PERMITS** – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A fee-in-lieu for 1' in sidewalk width across the entire frontage shall be paid to the City of Raleigh (UDO 8.1.10).
2. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.



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3. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

The following are required prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. All street lights and street signs required as part of the development approval are installed.
5. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
6. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 6-19-2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Development Services Dir./Designee) Angie B. Lyle Date: 6/19/19

Staff Coordinator: Jermon Purifoy

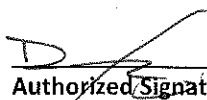
Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Xpress Auto Center	
	Development Case Number	SR-72-2018	
	Transaction Number	564939	
	Design Adjustment Number	DA - 12 - 2019	
STAFF RESPONSE	Staff recommendation based upon the findings in the applicable code(s):		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	<input checked="" type="checkbox"/> Raleigh Street Design Manual	
	Staff SUPPORTS <input checked="" type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.		
	DEPARTMENTS		
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering <i>4-9-19</i>	<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.	
	<input type="checkbox"/> Public Utilities		
	CONDITIONS:		
<div style="height: 150px; border: 1px solid black;"></div>			
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			



DANIEL G. KUNK, PE
 ENGINEER, RENEW MATERIALS

5/31/19
 Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.3 Blocks Lots, Access



**DEVELOPMENT
SERVICES
DEPARTMENT**

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;
YES ☒ NO ☐
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES ☒ NO ☐
- C. The requested design adjustment does not increase congestion or compromise Safety;
YES ☒ NO ☐
- D. The requested design adjustment does not create any lots without direct street Frontage;
YES ☒ NO ☐
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- YES ☒ NO ☐

STAFF FINDINGS

The design adjustment to the block perimeter is deemed reasonable as the proposed request is in harmony with the code requirements of UDO Section 8.3.6. The presence of existing buildings, site layout of developed properties and incompatible adjoining uses prohibit a public street connection. The surrounding uses are industrial in nature and any project of a public street would be through existing developments that bound a cul-de-sac. Additionally, a public street connection onto South New Hope Road would be less than 300 feet from the intersection of South New Hope Road (4 Lane Avenue Divided Street type) and Poole Road (6 Lane Avenue Divided Street type.) The limited spacing does not meet NCDOT or City of Raleigh intersection spacing requirements (RSDM Table 14.)

The developer has also submitted to the cross access requirements of UDO Article 8.3 and RSDM Section 9.5.3. The design adjustment to the block perimeter requirements is deemed reasonable due to the site layout of developed properties and incompatible adjoining uses. The cross access connection to lots 28, 102 and 103 would bring the potential for industrial vehicles coming through the passenger vehicle based use at the subject site.

Staff Response Raleigh Street Design Manual



**DEVELOPMENT
SERVICES
DEPARTMENT**

- A. The requested design adjustment meets the intent of the Raleigh Street Design Manual;
YES ☒ NO ☐
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES ☒ NO ☐
- C. The requested design adjustment does not increase congestion or compromise safety;
YES ☒ NO ☐
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
YES ☒ NO ☐
- E. The requested design adjustment has been designed and certified by a Professional Engineer.
YES ☒ NO ☐

STAFF FINDINGS

The design adjustment to the cross access requirements of UDO Article 8.3 and RSDM Section 9.5.3 is deemed reasonable based on the criteria for design adjustment submittal. The site layout of developed properties and incompatible adjoining uses prohibit a connection to adjacent lots 28, 102 and 103. The cross access connection to lots 28, 102 and 103 would bring the potential for industrial vehicles coming through the passenger vehicle based use at the subject site.

The subject site has recorded cross access with the adjacent lot 27 and has the lone driveway access on S New Hope Road. The two adjoining parcels to the north have recorded cross access between those two lots with the driveway access on Trademark Drive.

K/R REAL ESTATE, LLC

PROPOSED SITE PLAN
X/RESS AUTO CENTER

NO.	DATE	BY	REVISION
1	2/2/19		REV. QTY. COORDINATES
2	2/2/19		REV. QTY. COMMENTS



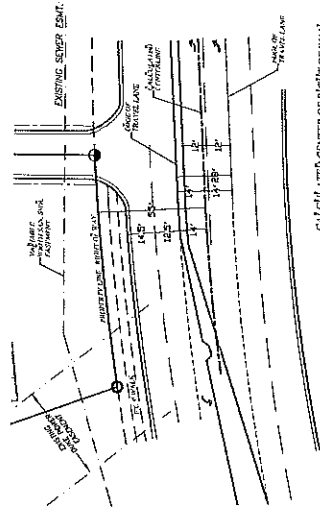
PRELIMINARY PLANS
NOT RELEASED FOR
CONSTRUCTION



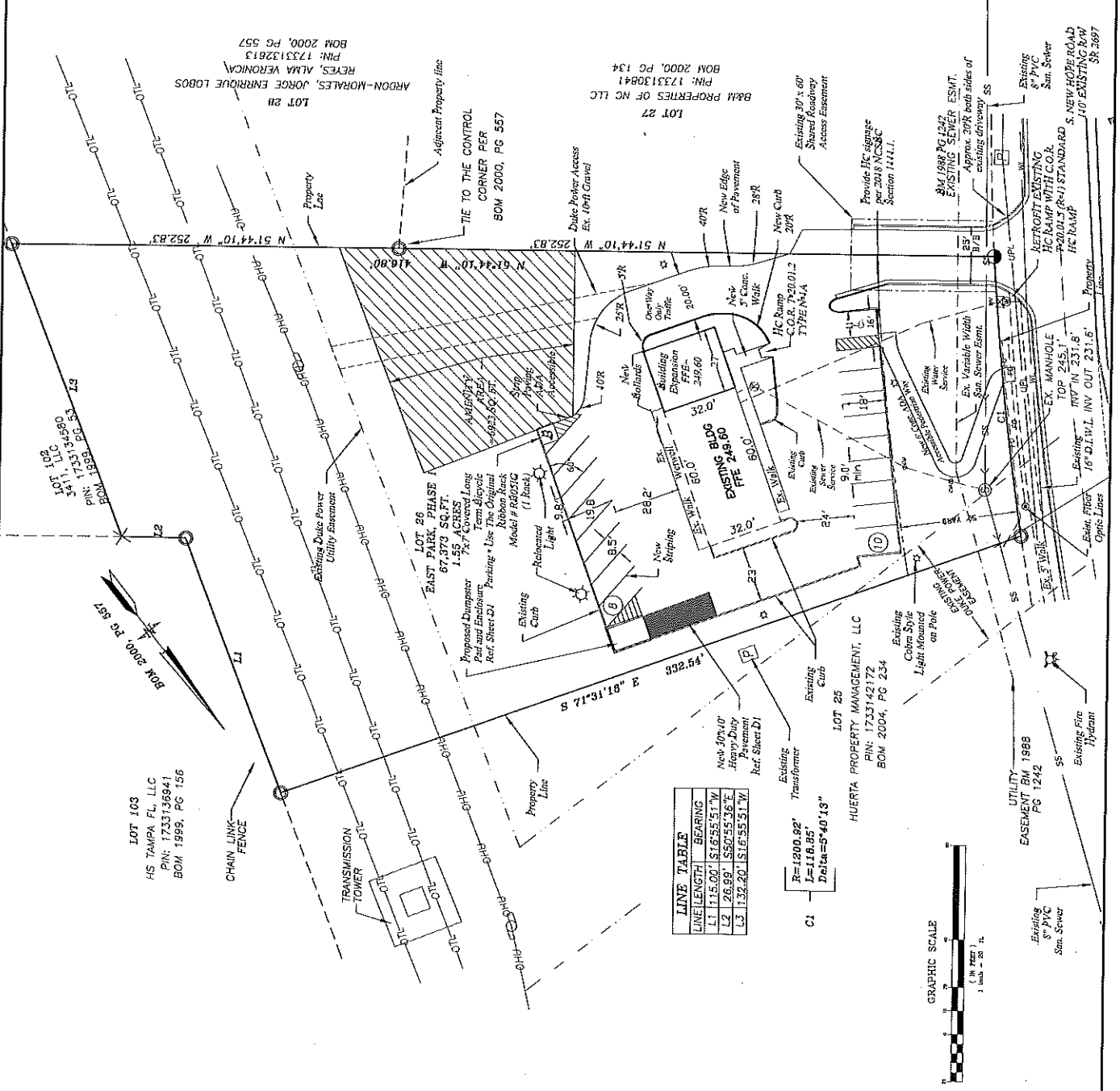
This drawing and/or the design shown are the property of Veteran Engineering Associates, Inc. The design is preliminary and is not to be used for construction without the written consent of an authorized officer of Veteran Engineering Associates, Inc. No part of this drawing may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Veteran Engineering Associates, Inc. No part of this drawing may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Veteran Engineering Associates, Inc.

- Existing Iron Pipe
- Ex. Iron Pipe Set (Unless Otherwise Designated)
- Ex. Property Corner
- Ex. PK Nail
- Ex. Cable TV Box
- Ex. Fire Hydrant
- Ex. Drop Inlet
- Ex. Utility Pole
- Ex. Telephone Box
- Ex. Light Pole
- Ex. Sewer Clean Out
- Ex. Back Flow Preventer in Hot Box
- Ex. Water Meter
- Power Box
- Ex. Gas Meter
- Ex. Sewer Manhole
- Ex. Curb Inlet
- 111 Denotes Elevation
- Outdoor Amenity Area
- Pervious Area
- B Covered Long Term Bicycle Parking

MECHANICAL EQUIPMENT TO BE INSTALLED ON ROOF.
MAXIMUM SLOPE ON THE PROPOSED 4'-11" WALK IS 5%.



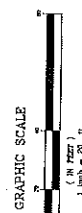
CALCULATED CENTER OF RIGTH OF WAY
S. NEW HOPE ROAD
140' NEW SET-BACK



LINE TABLE

LINE LENGTH	BEARING
L1 115.00'	S16°55'51"W
L2 26.99'	S50°55'56"E
L3 132.20'	S16°35'51"W

C1 R=1200.82'
I=118.85'
Delta=5°40'13"



Design Adjustment Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions.

This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT OWNER CONTACT REQUEST	Project Name <i>X-PRESS AUTO CENTER</i>		
	Case Number <i>SR-7218</i>		
	Transaction Number <i>564939</i>		
	Name <i>KJR REAL ESTATE, LLC</i>		
	Address <i>731 SOUTH NEW HOPE RD</i>		City <i>RALEIGH</i>
	State <i>NC</i>	Zip Code <i>27610</i>	Phone <i>919-212-6264</i>
	Name <i>THOMAS R. KAGARKE</i>		Firm <i>VETERAN ENGINEERING ASSOC, INC</i>
	Address <i>PO Box 1625</i>		City <i>DURHAM</i>
	State <i>NC</i>	Zip Code <i>27702</i>	Phone <i>919-601-4035</i>
	I am seeking a Design Adjustment from the requirements set forth in the following:		
<input type="checkbox"/> <u>UDO Art. 8.3 Blocks, Lots, Access</u>		- See page 2 for findings	
<input type="checkbox"/> <u>UDO Art. 8.4 New Streets</u>		- See page 3 for findings	
<input type="checkbox"/> <u>UDO Art. 8.5 Existing Streets</u>		- See page 4 for findings	
<input checked="" type="checkbox"/> <u>Raleigh Street Design Manual</u>		- See page 5 for findings	
Provide details about the request; (please attach a memorandum if additional space is needed):			
<i>See attached memorandum.</i>			

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Stephen J. Burk as manager
Owner/Owner's Representative Signature

1-17-19
Date

CHECKLIST

Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input checked="" type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
Development Services, Development Engineering
One Exchange Plaza, Suite 500
Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA -
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Raleigh Street Design Manual

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of the Raleigh Street Design Manual;

Traffic flow will not be improved by cross access in this particular application due to the fact that traffic will immediately be put back onto S. New Hope Road.

- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;

The design adjustment is not in conflict with the Comprehensive Plan because the traffic flow continues to be upon S. New Hope Road.

- C. The requested design adjustment does not increase congestion or compromise safety;

Since the traffic would naturally go right back unto S. New Hope Road, no increase in congestion exists, as the access onto the proposed project is right in/right out, safety is not compromised. All uses along the particular block where this project is located are accessed by right in/right out driveways along S. New Hope Road.

- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and

No additional maintenance is needed or required for the approval of this design adjustment.

- E. The requested design adjustment has been designed and certified by a Professional Engineer.

Thomas R. Kagarise, P.E., President of Veteran Engineering Associates, Inc. is the designer. NCPE Registration # 11622.

Individual Acknowledgement



DEVELOPMENT
SERVICES
DEPARTMENT

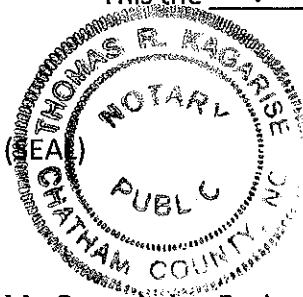
STATE OF NORTH CAROLINA

INDIVIDUAL

COUNTY OF Wake

I, Thomas R. Kagarise, a Notary Public do hereby certify that
Kristopher David Brock personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This the 17th day of January, 2019.



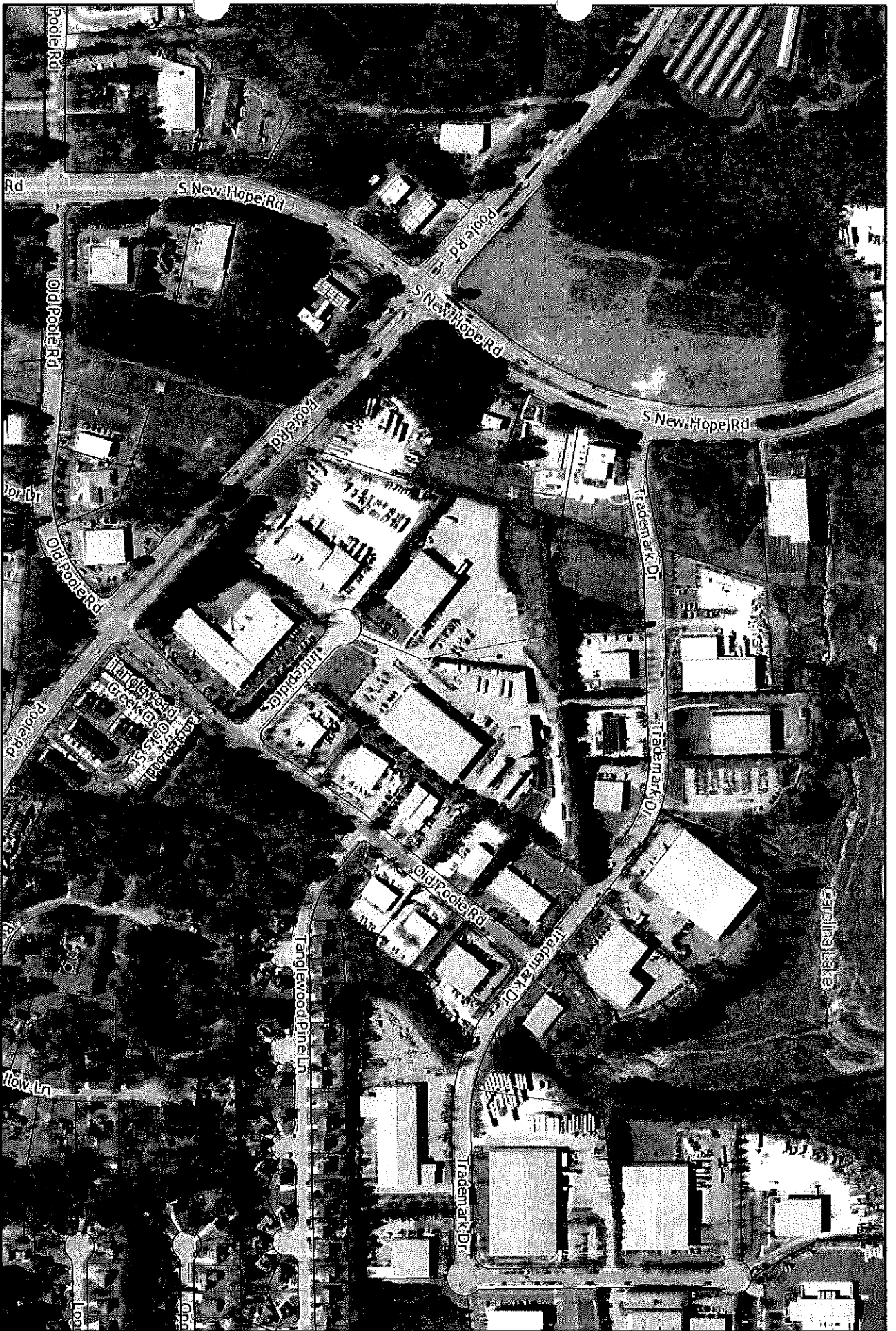
Notary Public Thomas R. Kagarise

My Commission Expires: 5/20/2022

Memorandum

Design Adjustment: Request design adjustment to the requirement to provide cross access.

Per Chapter 9 of the RSDM, cross access is required to the adjacent lots. However, in this particular instance cross access does not provide a benefit to the public as traffic would return immediately to S. New Hope Road. To the South there is a shared driveway and the property to the North has recently been developed without provisions for cross access.



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 and are NOT surveys. No warranties, expressed or implied,
 are provided for the data therein, its use, or its interpretation.

Design Adjustment Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name <i>XPRESS AUTO CENTER</i>		
	Case Number <i>SR-7218</i>		
	Transaction Number <i>564939</i>		
	Name <i>KJR REAL ESTATE, LLC</i>		
OWNER	Address <i>731 SOUTH NEW HOPE RD</i>		City <i>RALEIGH</i>
	State <i>NC</i>	Zip Code <i>27610</i>	Phone <i>919-212-6264</i>
	Name <i>THOMAS R. KAGARISE</i>		
CONTACT	Address <i>PO Box 1625</i>		City <i>DURHAM</i>
	State <i>NC</i>	Zip Code <i>27702</i>	Phone <i>919-601-4035</i>
	Firm <i>VETERAN ENGINEERING ASSOC, INC</i>		
REQUEST	I am seeking a Design Adjustment from the requirements set forth in the following:		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings	
	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings	
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings	
	Provide details about the request; (please attach a memorandum if additional space is needed):		
	<i>See attached memorandum</i>		

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Kristen Dan Burt as manager
Owner/Owner's Representative Signature

1-17-19
Date

CHECKLIST	
Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
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Development Services, Development Engineering
One Exchange Plaza, Suite 500
Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA -
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Article 8.3, Blocks, Lots, Access

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;
This project is located within a very large industrial subdivision that by nature requires large lots. Furthermore, the existing industrial subdivision is approximately 95 percent developed with existing uses. Connectivity to the East [rear] of the property would invite the public to travel in the rear of an existing industrial use
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
The design adjustment is not in conflict with the Comprehensive Plan because the traffic flow continues to be upon S. New Hope Road.
- C. The requested design adjustment does not increase congestion or compromise Safety;
Correct.
- D. The requested design adjustment does not create any lots without direct street Frontage;
Correct.
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- 1 - Steep topography to the East**
2 - Power transmission towers / easements to the East
3 - Existing properties and layout are developed
4 - Industrial site to the East
5 - as the public would be traversing behind an existing industrial site.
6 - this request does not conflict with an approved or built roadway project

Individual Acknowledgement



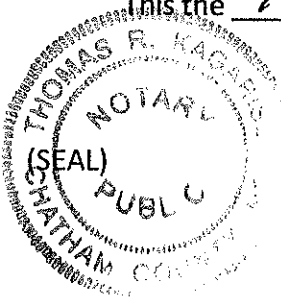
DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA
COUNTY OF Wake

INDIVIDUAL

I, Thomas R. Kagari'se, a Notary Public do hereby certify that
Kristopher David Brock personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This the 17th day of January, 2019.



Notary Public Thomas R. Kagari'se

My Commission Expires: 5/20/2022

Memorandum

Design Adjustment: Request design adjustment to the requirement of block perimeter according to UDO 8.3



Article 8.3. Blocks, Lots, Access

Sec. 8.3.1. Intent

A. The intent of the maximum block perimeter and connectivity regulations is to provide a well-connected street network.

Response: Given that the existing block has been developed except for the parcel at the intersection of Poole Road and S. New Hope Road. The existing street network is already well connected. However, the block perimeter exceeds the maximum length of 4000 linear feet. The existing block perimeter is approximately 5400 linear feet.

The property to the North has recently been developed without provisions for connectivity to the Xpress Auto Center project. The undeveloped property to the South shares a common driveway with the Xpress Auto Center so that connectivity is already provided.

This project does not propose the construction of a new street. Connectivity to the East can only be obtained thru an industrial site which is not possible due to topographic concerns and existing major transmission lines/power easements, which are in the rear or Eastern side of the Xpress Auto Center project site.

SITE DEVELOPMENT DATA

1. PIN: 1733132932
2. TRACT ACREAGE: 1.55 ACRES
3. PROPOSED USE : OIL CHANGE FACILITY - VEHICLE REPAIR (MAJOR)
4. SCOPE OF WORK : EXPAND OFFICE SITTING AREA FOR CLIENTS
5. ZONING : IX-3-PK
6. ELECTRIC PROVIDER : DUKE ENERGY PROGRESS
7. SEWER/WATER PROVIDER : CITY OF RALEIGH
8. EXISTING BUILDING SQUARE FOOTAGE = 1920 SQ. FT.
9. PROPOSED EXPANSION SQUARE FOOTAGE = 864 SQ. FT.
10. BUILDING SETBACKS :
FRONT = 3 FT
SIDE = 0 or 6 FT
REAR = 0 or 6 FT
11. PARKING SETBACKS :
FRONT = 10 FT
SIDE (Lot Line) = 0 or 3 FT
REAR = 0 or 3 FT
12. FRONTAGE SETBACK (PK) :
FRONT = 50 FT
13. PROVIDED PARKING : 18 SPACES
14. REQ'D PARKING FOR EXISTING BUILDING/USE : 1920/600 = 3.2 SPACES
PROPOSED BUILDING EXPANSION/USE : 864/600 = 1.4 SPACES
TOTAL REQUIRED PARKING : 5 PARKING SPACES
15. OUTDOOR AMENITY AREA = 1.55AC (67373 SF) x 0.1 = 0.155 ACRES = 6737 SQ. FT.
AMENITY AREA PROVIDED = 6923 SQ. FT.
16. EXISTING SITE IMPERVIOUS = 20,300 SF = 0.466 AC
17. PROPOSED SITE IMPERVIOUS = 20,179 SF = 0.463 AC
18. PRE DEVELOPMENT NITROGEN EXPORT
0.466 ac x 21.2 lb/ac/yr = 9,879 lb/yr
1.084 ac x 1.2 lb/ac/yr = 1,301 lb/yr
11.18 lb/yr / 1.55 ac = 7.213 lb/ac/yr
POST DEVELOPMENT NITROGEN EXPORT
0.463 ac x 21.2 lb/ac/yr = 9,815 lb/yr
1.087 ac x 1.2 lb/ac/yr = 1,304 lb/yr
11.119 lb/yr / 1.55 ac = 7.173 lb/ac/yr
19. PROPOSED - 4 LONG TERM COVERED BICYCLE SPACES - covered and weather resistant
Use THE ORIGINAL RIBBON RACK MODEL RB05IG
20. PER UDO 3.3.1 THE MAXIMUM BUILDING HEIGHT SHALL NOT EXCEED 50 FEET

SPECIFIC NOTES

1. EXISTING PARKING EXCEEDS 150% OF THE REQUIRED PARKING THIS CONDITION IS ACCEPTABLE BECAUSE THE POST DEVELOPMENT RUNOFF RATES FOR THE 2, 10 AND 30 YEAR DO NOT EXCEED THE 3 PRE DEVELOPMENT RUNOFF RATES FOR SAID STORM EVENTS.
2. NO RIGHT OF WAY DEDICATION IS REQUIRED FOR THIS SITE PLAN.
3. SITE PLAN CONFORMS WITH VEHICLE REPAIR (MAJOR) IN ACCORD WITH UDO SECTION 6.5.6.D.2(c-e)
- THERE SHALL BE NO DISMANTLING OF VEHICLES FOR SALVAGE
- THE STORAGE OF IMPOUNDED VEHICLES IS NOT PERMITTED
- NO OUTSIDE SPEAKER SYSTEM IS PERMITTED
- NO OVERNIGHT STORAGE OF VEHICLES
4. OWNER TO PAY FEE IN LIEU FOR 1 FOOT OF EXISTING SIDEWALK
5. OWNER TO PAY FEE IN LIEU FOR 2 STREET TREES IN THE RIGHT OF WAY
6. MECHANICAL EQUIPMENT TO BE INSTALLED ON ROOF.

GENERAL NOTES

1. BOUNDARY AND TOPOGRAPHIC SURVEY BY TURNING POINT SURVEYING, LLC
CIVIL PLANS PREPARED, DESIGNED AND DRAWN BY VETERAN ENGINEERING ASSOCIATES, INC.
2. THE PURPOSE OF THESE PLANS IS TO EXPAND THE EXISTING BUILDING IN EFFORT TO PROVIDE A WAITING ROOM FOR CLIENTS WHILE THEIR VEHICLES ARE BEING SERVICED.
3. ALL SOIL FILL MATERIAL SHALL BE SUITABLE, STABLE SOILS THAT ARE FREE OF ORGANIC MATERIAL CONTAIN NO ROCKS.
4. THERE ARE EXISTING UNDERGROUND UTILITIES ON THIS SITE. CONTRACTOR SHALL CALL NC NO-CUTS AND LOCAL AUTHORITIES TO VERIFY ALL UTILITY LOCATIONS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR WILL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. AN EXISTING UTILITIES SHOWN HEREIN ARE TO BE CONSIDERED APPROXIMATE. SHOULD THE CONTRACTOR FIND THAT THERE MAY BE A CONFLICT WITH INFORMATION SHOWN IN THESE CONTRACT DOCUMENTS, THE CONTRACTOR WILL REPORT THE INFORMATION FOUND TO THE ENGINEER OF RECORD AND THEN AWAIT FURTHER DIRECTION FROM THE OWNER.
5. THERE IS NO FEMA 100-YR FLOODPLAIN ON THIS SITE.
6. DEVELOPER SHALL COORDINATE A PRE-CONSTRUCTION CONFERENCE PRIOR TO ANY SITE DISTURBANCES WITH ALL APPROPRIATE PERMIT-ISSUING AUTHORITIES. THE CONFERENCE WILL BE ATTENDED BY A REPRESENTATIVE FROM THE DEVELOPERS ENGINEER, CONTRACTOR, ZONING DIVISION, PUBLIC WORKS, AND THE CITY ENGINEER.
7. NO STORMWATER CONTROLS ARE REQUIRED FOR THIS PROJECT.

SIGNAGE NOTES:

8. NO SIGNAGE OR MONUMENTATION IS PROPOSED AT THIS TIME.

9. A COPY OF THE APPROVED SITE PLAN MUST BE DISPLAYED IN A KIOSK AT THE SITE SHOWING LOT CONFIGURATION, EASEMENTS, STREETS, AMMENITIES, AND OTHER DESIGN FEATURES (WATER, SEWER, OPEN SPACE, ETC).

PUBLIC WORKS NOTES:

10. DEVELOPER/OWNER IS RESPONSIBLE FOR SCHEDULING AND COORDINATING AN ON-SITE PRE-CONSTRUCTION MEETING WITH ALL APPLICABLE APPROVING AGENCIES PRIOR TO ANY SITE DISTURBANCE.
11. THE DEVELOPER/OWNER/CONTRACTORS SHALL BE RESPONSIBLE FOR THE PROMPT REMOVAL OF ANY AND ALL MUD, SOILS, STONE AND/OR CONSTRUCTION RELATED MATERIALS DEPOSITED UPON THE STREET SURFACES INCIDENTAL TO ON-SITE DEVELOPMENT ACTIVITIES AND DELIVERIES. THIS WOULD INCLUDE MAINTENANCE AS NEEDED FOR THE REQUIRED CONSTRUCTION DRIVE ACCESS. DESIGNATE CONSTRUCTION ENTRANCE.
12. THE DEVELOPER/OWNER/CONTRACTOR SHALL FURNISH AND MAINTAIN WORK ZONE TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH NCDOT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR WORK ZONE OPERATIONS WITHIN ALL PUBLIC STREET RIGHT-OF-WAYS.

TRUTH IN DRAINAGE STATEMENT: THE PROPOSAL MEETS OR EXCEEDS LOCAL AND STATE DESIGN GUIDELINES.

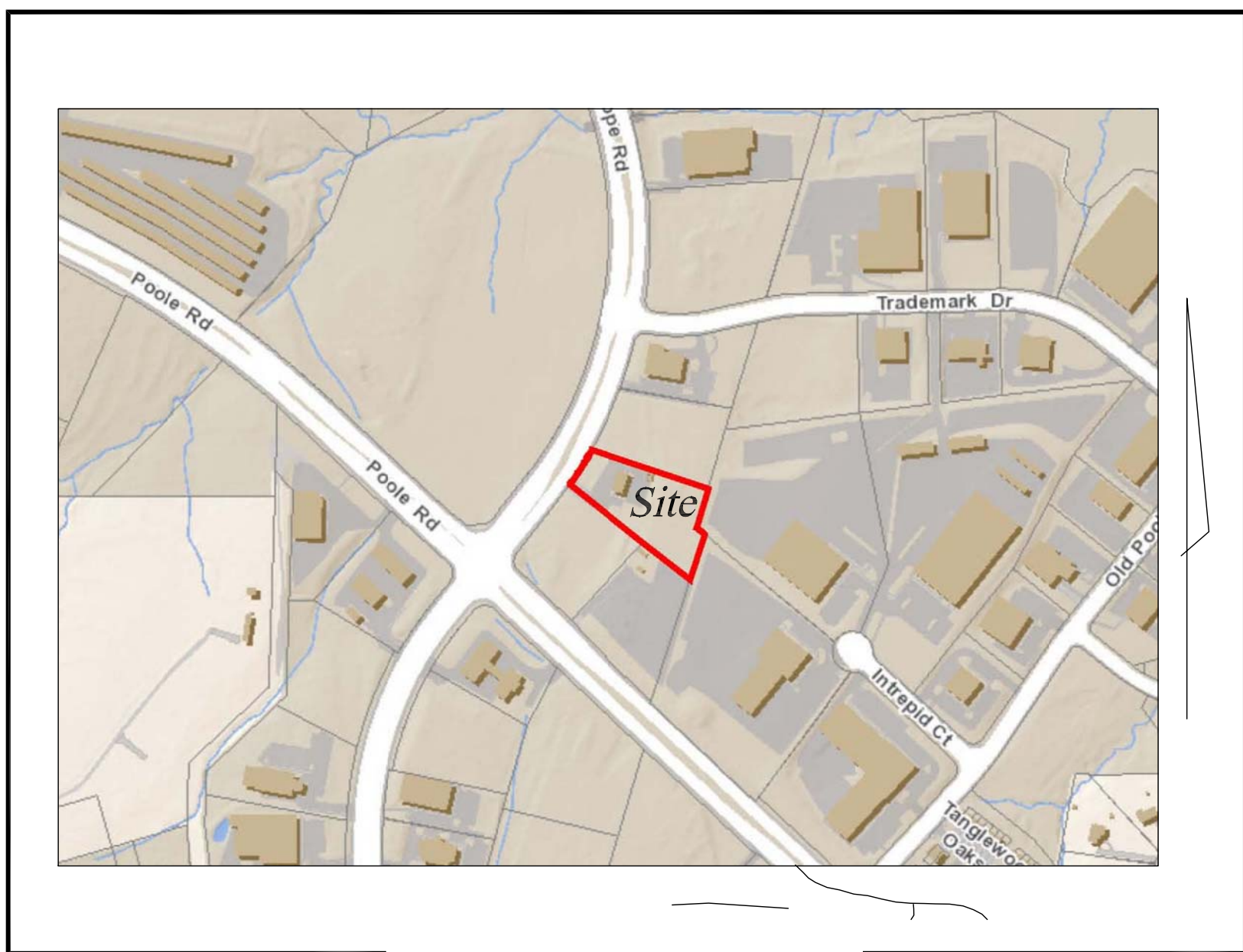
A-114-18 – 12/10/18 Approved Variance

Decision: Approved with the following condition that in lieu of the 50 foot wide SHOD overlay buffer the applicant provides 3 evergreen shade trees, 2 understory trees, and 10 evergreen shrubs whether through new planting or existing vegetation.

XPRESS AUTO CENTER

731 S. NEW HOPE ROAD

CASE# -SR -72-18
TRANSACTION# - 564939



VICINITY MAP

1"=400'

PRELIMINARY PLANS NOT RELEASED FOR CONSTRUCTION

ENGINEERING FIRM:

PLANS PREPARED BY:

ADDRESS:

PHONE:

DEVELOPER

ADDRESS:

PHONE:

VETERAN ENGINEERING ASSOCIATES, INC. (C-3527)

POST OFFICE BOX 1625 DURHAM N.C. 27701

(919) 201-2175

ATTN: Thomas R. Kagarise, P.E., as President (11622)

KJR REAL ESTATE, LLC Kris Brock, as Manager

731 S. NEW HOPE ROAD

RALEIGH, NC 27610

(919) 212-6264

SHEET INDEX

- | | |
|---------|--|
| SHEET 1 | C1 - COVER SHEET |
| SHEET 2 | EX1 - EXISTING CONDITIONS |
| SHEET 3 | DE1 - PROPOSED DEMOLITION PLAN |
| SHEET 4 | SP1 - PROPOSED SITE PLAN |
| SHEET 5 | GR1 - PROPOSED GRADING/DRAINAGE/UTILITY PLAN |
| SHEET 6 | LP - PROPOSED PLANTING PLAN |
| SHEET 7 | D1 - PROPOSED DETAILS |
| SHEET 8 | CP1 - CIRCULATION PLAN |
| SHEET 9 | PROPOSED ELEVATIONS |

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Administrative Site Review Application (for UDO Districts only)



DEVELOPMENT
SERVICES
DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | cfax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Transaction Number
<input checked="" type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Assigned Project Coordinator
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot	Assigned Team Leader
<input type="checkbox"/> Townhouse		

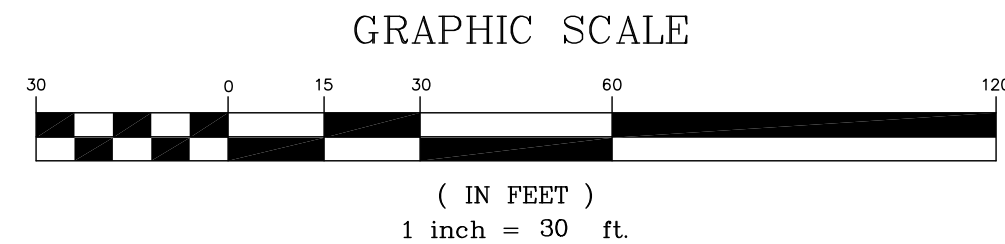
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #





















GENERAL INFORMATION

Development Name Xpress Auto Center			
Zoning District IX-3-PK	Overlay District (if applicable)	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Proposed Use Auto Oil Change - Office expansion proposed – VEHICLE REPAIR (MAJOR)			
Property Address(es) 731 S. New Hope Road		Major Street Locator:	
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:			
P.I.N. 1733132932	P.I.N.	P.I.N.	P.I.N.
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Office <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Banks <input type="checkbox"/> Industrial Building <input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> Cottage Court <input checked="" type="checkbox"/> Other: If other, please describe: existing use is vehicle oil change facility			
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Project contemplates adding 864 sq. ft to the existing building in effort to provide a sitting room for clients while they get their oil changed. Parking requirements are increased by more than 10%		
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE		
CLIENT/DEVELOPER/ OWNER	Company KJR Real Estate, LLC		Name (s) Kris Brock, Manager
	Address 731 S. New Hope Road; Raleigh, NC		
	Phone 919-212-6264	Email xpressautorange@gmail.com	Fax not applicable
CONSULTANT (Contact Person for Plans)	Company Veteran Engineering Associates, Inc.		Name (s) Thomas R. Kagarise, P.E.
	Address Post Office Box 1625 Durham, NC 27701		
	Phone 919-201-2175	Email tom@veteranengineeringassociates.com	Fax not applicable

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)			
Zoning Information		Building Information	
Zoning District(s) IX-3-PK	Proposed building use(s) Commercial Oil Change		
If more than one district, provide the acreage of each:		Existing Building(s) sq. ft. gross 1920	
Overlay District		Proposed Building(s) sq. ft. gross 864	
Total Site Acres	Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 1.55	Total sq. ft. gross (existing & proposed) 2784	
Off street parking: Required 5	Provided <input checked="" type="checkbox"/> 18	Proposed height of building(s) match existing 8.2	
COA (Certificate of Appropriateness) case #		# of stories 1	
BOA (Board of Adjustment) case # A-		Ceiling height of 1 st floor 8.5- ft	
CUD (Conditional Use District) case # Z-			
Stormwater Information			
Existing Impervious Surface 0.451 ac acres/square feet 19625 sF		Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Proposed Impervious Surface 0.438 ac acres/square feet 19069 sF		If Yes, please provide:	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Alluvial Soils FEMA Map Panel # Flood Study	
FOR RESIDENTIAL DEVELOPMENTS			
1. Total # Of Apartment, Condominium or Residential Units		5. Bedroom Units: 1br 2br 3br 4br or more	
2. Total # Of Congregate Care Or Life Care Dwelling Units		6. Infill Development 2.2.7	
3. Total Number of Hotel Units		7. Open Space (only) or Amenity	
4. Overall Total # Of Dwelling Units (1-6 Above)		8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No	
SIGNATURE BLOCK (Applicable to all developments)			
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.			
I hereby designate Veteran Engineering Associates, Inc. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.			
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.			
Signed Kris Brock		Date 7-18-18	
Printed Name KJR Real Estate, LLC by Kris Brock, as Manager			
Signed		Date	
Printed Name			

KJR VENTURES LLC 731 S NEW HOPE RD RALEIGH, NC 27610	Report Number: 758221
DISCLAIMER	
I understand that all reports must be submitted in accordance with the testing schedule and requirements outlined in Public Utilities Handbook Appendix A, Guidelines and Requirements for the Cross Connection Program. Failure to follow the guidelines will result in a rejected report, submittal and loss of submission fee. Please note effective June 1, 2018 all tests for domestic, fire and private distribution containment assemblies must be completed within the three (3) months prior to the annual test due date. All irrigation backflow testing must be completed within the five (5) months prior to the annual test due date of July 1st. (Cross Connection Testing Schedule: www.raleighnc.gov/Search/Cross_Connection)	
I Accept	Yes
Testing Values	
Check Valve 1 PSI	8.2
Check Valve 2 PSI	2.2
Check Valve Status	Check Valve 1 Tight
Check Valve 1 Tight	
Check Valve 2 Tight	
Relief Valve Opened at	4.0
Buffer	4.2
Shutoff Valve Status	Shutoff Valve 1 Closed Tight
Shutoff Valve 1 Closed Tight	
Shutoff Valve 2 Closed Tight	
Line Pressure	100
Did Device Pass or Fail Test?	Pass
IF NOTED FAILURES WERE REPAIRED, PLEASE UPDATE THE PROBLEMS FOUND SECTION BY MARKING THEM CORRECTED BEFORE SUBMITTAL OF THIS REPORT.	
ISOLATION BACKFLOWS ARE NOT REQUIRED TO BE SUBMITTED TO THE COMPLIANCE ENGINE	



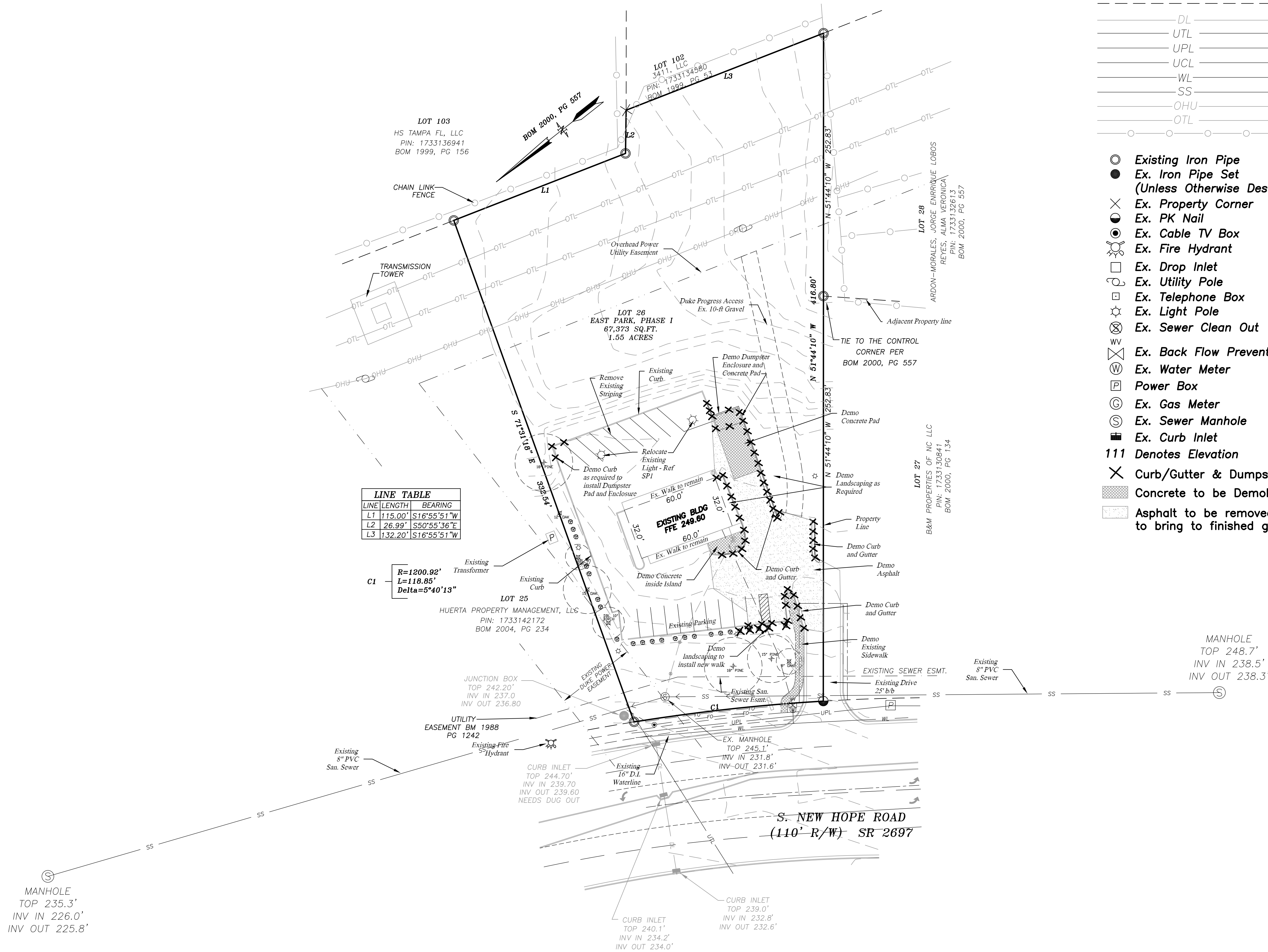
 Existing Iron Pipe
 Ex. Iron Pipe Set
 (Unless Otherwise Designated)
 Ex. Property Corner
 Ex. PK Nail
 Ex. Cable TV Box
 Ex. Fire Hydrant
 Ex. Drop Inlet
 Ex. Utility Pole
 Ex. Telephone Box
 Ex. Light Pole
 Ex. Sewer Clean Out
 WV
 Ex. Back Flow Preventer in Hot Box
 Ex. Water Meter
 Power Box
 Ex. Gas Meter
 Ex. Sewer Manhole
 Ex. Curb Inlet
 111 Denotes Elevation
 Outdoor Amenity Area
 Pervious Area

*PRELIMINARY PLANS
NOT RELEASED FOR
CONSTRUCTION*



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PROJECT NO. 0384	SHEET TITLE				CLIENT	KJR REAL ESTATE, LLC 731 S. NEW HOPE DRIVE RALEIGH, NC 27610	VETERAN ENGINEERING ASSOCIATES, INC. Civil Engineering Services Post Office Box 1632 Raleigh, NC 27702 (919) 201-2175 (P) VEA Lic# C-3527 tom@veteranengineeringassociates.com
	EXISTING CONDITIONS						
	XPRESS AUTO CENTER						
	PROJECT 0384-03						
CITY OF RALEIGH				WAKE CO. N.C.			

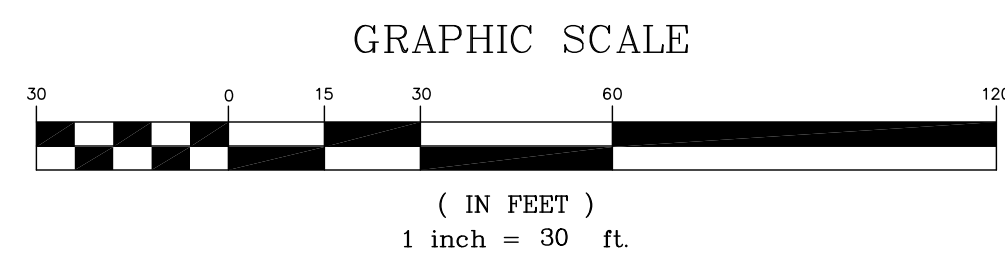


LINE TABLE		
LINE	LENGTH	BEARING
L1	115.00'	S16°55'51"W
L2	26.99'	S50°55'36"E
L3	132.20'	S16°55'51"W

C1
R=1200.92'
L=118.85'
Delta=5°40'13"

- LEGEND**
- Ex. Property Line
 - Ex. Property Line (not surveyed)
 - Ex. Drain Line
 - Ex. Underground Telephone Lines
 - Ex. Underground Power Lines
 - Ex. Underground Cable Lines
 - Ex. Water Line
 - Ex. Sanitary Sewer
 - Ex. Overhead Utility
 - Ex. Overhead Transmission Lines
 - Ex. Chain Link Fence

- Existing Iron Pipe
- Ex. Iron Pipe Set (Unless Otherwise Designated)
- Ex. Property Corner
- Ex. PK Nail
- Ex. Cable TV Box
- Ex. Fire Hydrant
- Ex. Drop Inlet
- Ex. Utility Pole
- Ex. Telephone Box
- Ex. Light Pole
- Ex. Sewer Clean Out
- Ex. Back Flow Preventer in Hot Box
- Ex. Water Meter
- Power Box
- Ex. Gas Meter
- Ex. Sewer Manhole
- Ex. Curb Inlet
- 111 Denotes Elevation
- Curb/Gutter & Dumpster Enclosure to be Demolished
- Concrete to be Demolished
- Asphalt to be removed, milled or wedged as required to bring to finished grade



PRELIMINARY PLANS
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Civil Engineering Services
Post Office Box 1625 Durham, N.C. 27702
(919) 201-2775 (p) VEA Lic# - (C-3527)
tom@veteranengineeringassociates.com

KJR REAL ESTATE, LLC
731 S. NEW HOPE DRIVE
RALEIGH, NC 27610

PROPOSED DEMOLITION PLAN

PROJECT
Xpress Auto Center

CITY OF RALEIGH

WAKE CO. N.C.

PROJECT NO. 0084

BY

REVISION

NO. DATE

SCALE 1"=30'

DATE 7/26/18

DRAWN BY m/j

CHECKED BY Trk

DE1

0"

DL

UTL

UPL



















UCL

WL

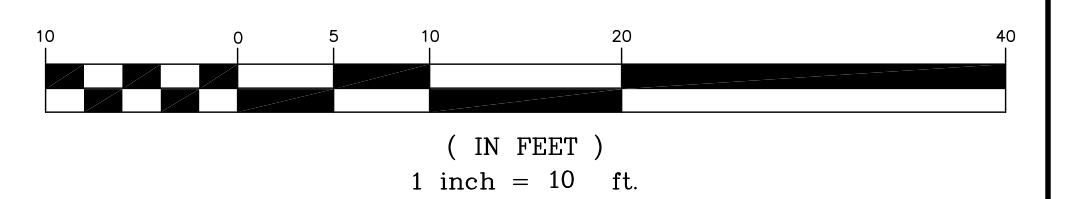
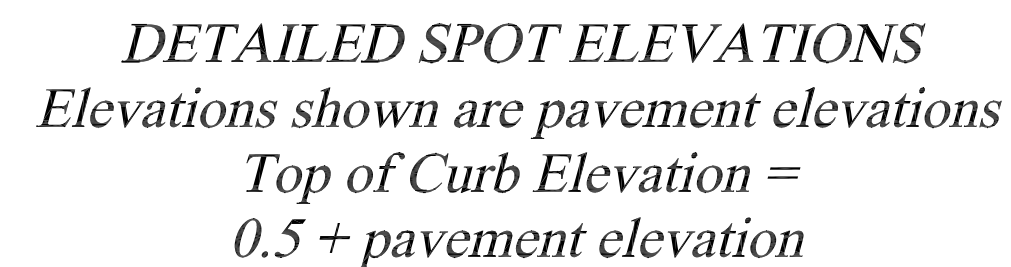
SS

OHU

OTL

 Existing Iron Pipe
 Ex. Iron Pipe Set
 (Unless Otherwise Designated)
 Ex. Property Corner
 Ex. PK Nail
 Ex. Cable TV Box
 Ex. Fire Hydrant
 Ex. Drop Inlet
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 Power Box
 Ex. Gas Meter
 Ex. Sewer Manhole
 Ex. Curb Inlet
 111 Denotes Elevation
 Silt Fence

POST DEVELOPMENT NITROGEN EXPORT
 $0.463 \text{ ac} \times 21.2 \text{ lb/ac/yr} = 9.815 \text{ lb/yr}$
 $1.087 \text{ ac} \times 1.2 \text{ lb/ac/yr} = 1.304 \text{ lb/yr}$
 $11.119 \text{ lb/yr} / 1.55 \text{ ac} = 7.173 \text{ lb/ac/yr}$



*PRELIMINARY PLANS
NOT RELEASED FOR
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(919) 201-2175 (p) VEA Lic# - (C-3527)
tom@veteranengineeringassociates.com

KJR REAL ESTATE, LLC

RALEIGH, NC 27610

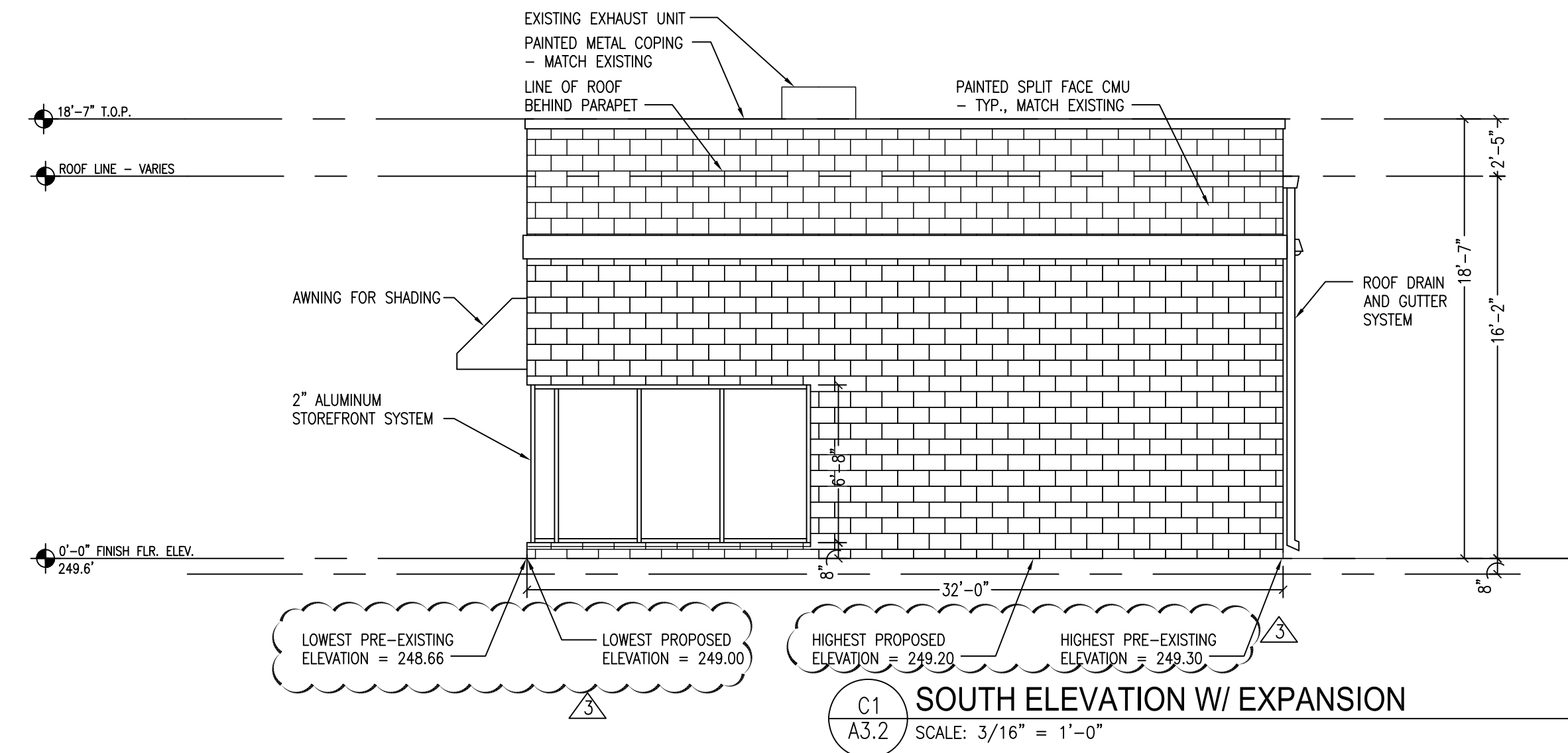
ANNE L. HARRIS & DAVID R. JOY

VANZAGI

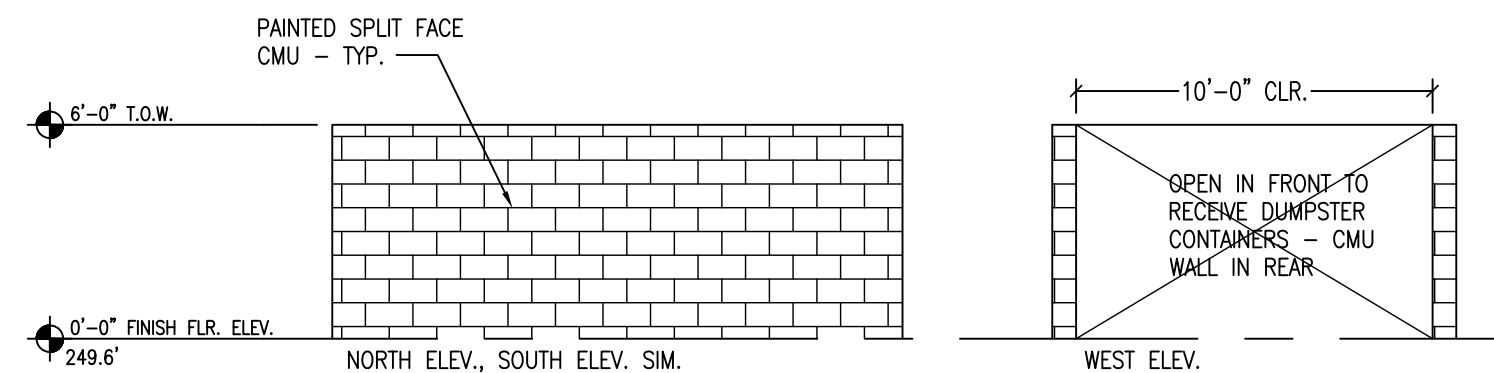
WAKE CO. N.C.

NO.	DATE	PER CITY COMMENTS	REVISION	BY
1	2/1/19	PER CITY COMMENTS		
2	3/18/19	PER CITY COMMENTS		
3	5/17/19	PER CITY COMMENTS		

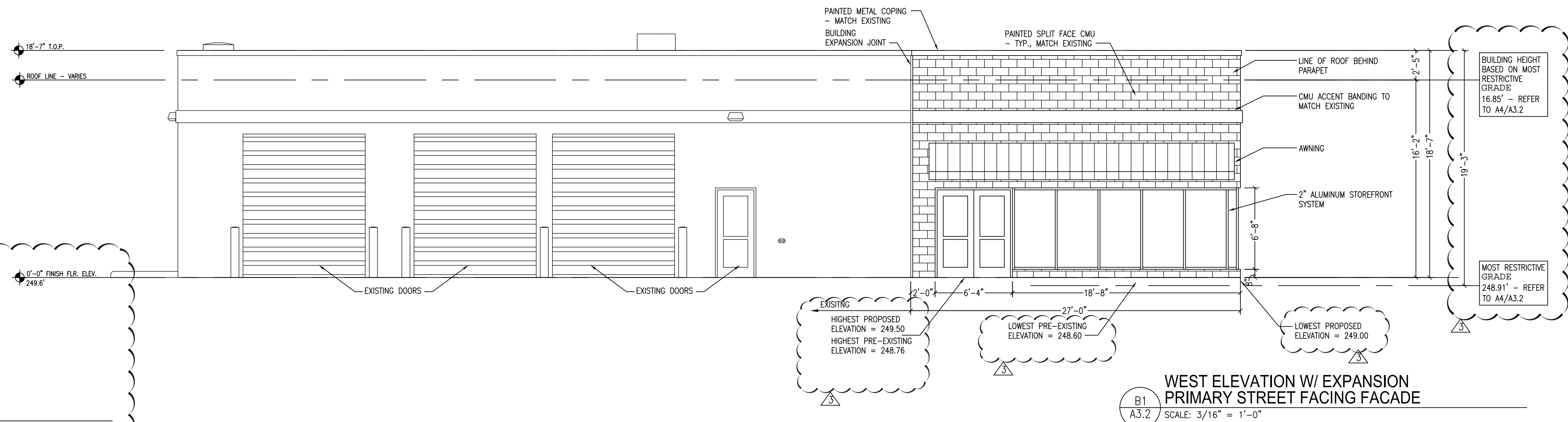
Issued	Date	By
SITE PLAN REV.	10/04/18	
COR COMMENTS		
1 REVISIONS	03/15/19	
COR COMMENTS		
2 REVISIONS	04/10/19	
COR COMMENTS		
3 REVISIONS	05/03/19	
Project No.		
Checked By		
Drawn By	JMH	
Drawing	EXPANSION	
	EXTERIOR	
	ELEVATIONS	
File Name	-	
Sheet		



C1
A3.2
SCALE: 3/16" = 1'-0"



C3
A3.2
SCALE: 3/16" = 1'-0"



B1
A3.2
SCALE: 3/16" = 1'-0"

TRANSPARENCY CALCULATIONS:
REQUIRED:
0' - 12' 20% = 0.20*324 = 64.8 Sq. Ft.
3' - 8' 50% = 0.50*64.8 = 32.4 Sq. Ft.
WEST FACADE - STREET FACING:
TRANSPARENCY AREA PROVIDED = 18,646.67 = 124.1 Sq. Ft.
124.1 Sq. Ft. > 64.8 Sq. Ft., Project Meets Requirements
WEST FACADE - STREET FACING:
TRANSPARENCY AREA PROVIDED = 18,644.33 = 80.5 Sq. Ft.
80.5 Sq. Ft. > 32.4 Sq. Ft., Project Meets Requirements

B4
A3.2
SCALE: NO SCALE

Average Grade Calculator

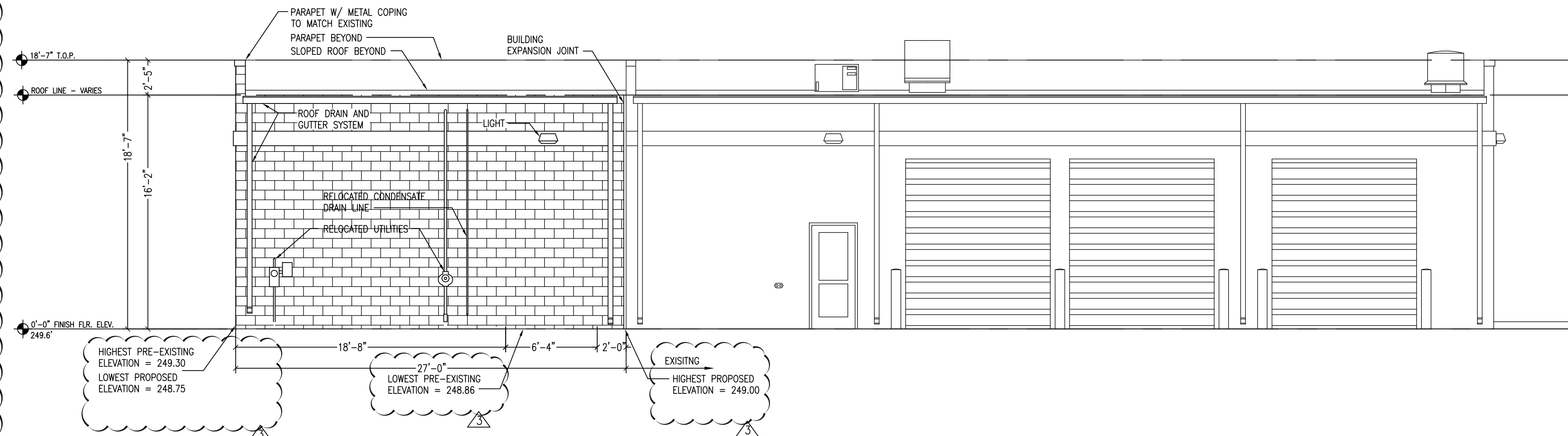
Per Section 1.5.7 of the UDO, Building Height is measured from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.

Average grade is determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is most restrictive) along the front of the building parallel to the primary street setback.

Where the property slope increases to the rear, building height is measured from the average point at grade of the front and rear wall plane.

	Average Grade Calculation			Proposed Elevations		
	Existing Elevations			Proposed Elevations		
	Highest	Lowest	Average	Highest	Lowest	Average
East	249.30	248.86	249.08	249.00	248.75	248.88
South	249.30	248.66	248.98	249.20	248.75	248.98
West	248.76	248.60	248.68	249.50	249.00	249.25
Average of Wall Planes			248.91			249.03
BFFE =	249.60	feet				
FFE to Roof =	16.17	feet				
Roof Elev =	265.77	feet				
Bldg Height =	16.85	feet	(Based on Most Restrictive Grade of 248.91 feet)			

A4
A3.2
SCALE: NO SCALE



A1
A3.2
SCALE: 3/16" = 1'-0"