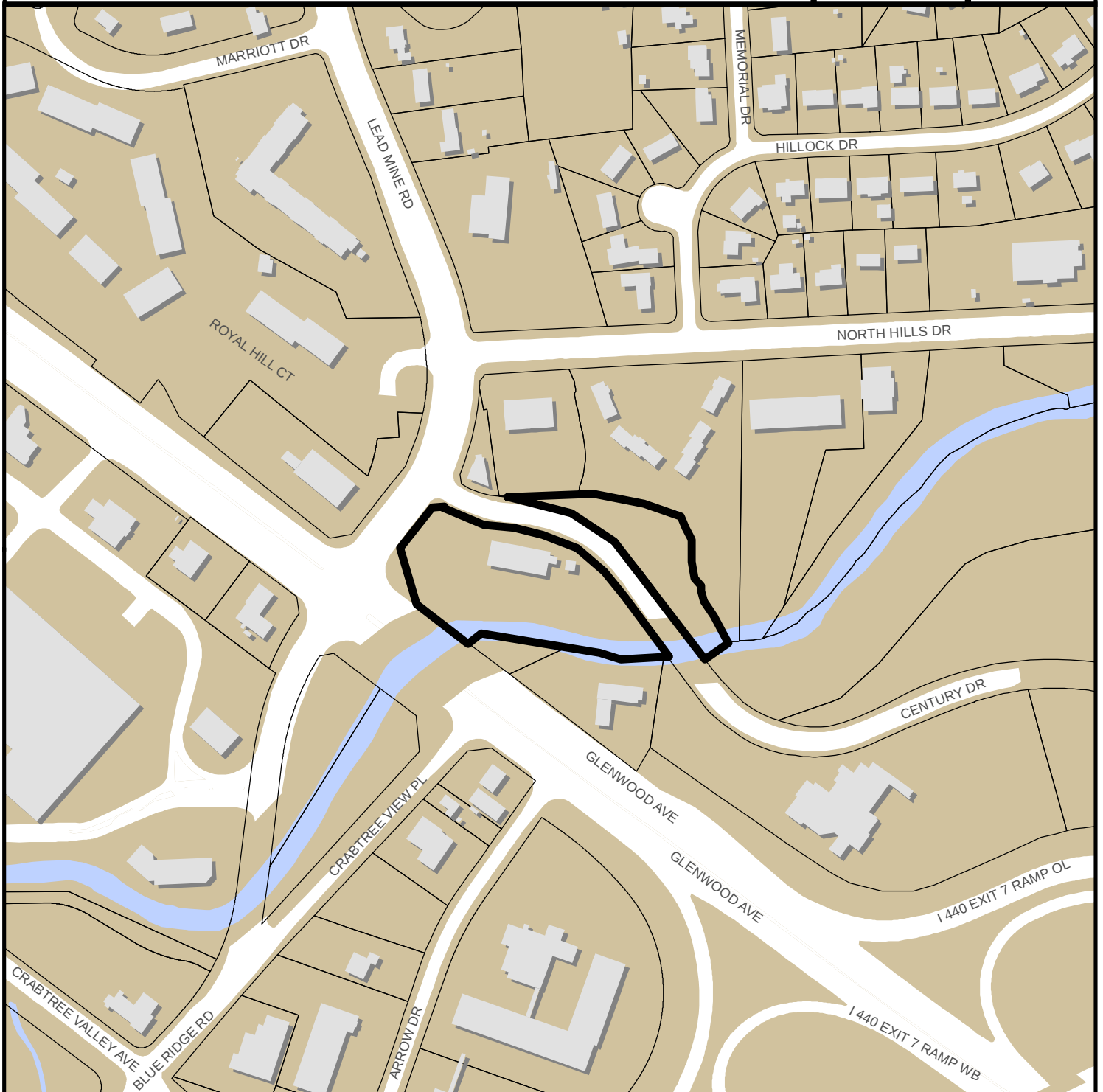


SOLFERNO NORTH SR-75-2016



0 300 600 Feet

Zoning: **CX-5 CU**

CAC: **Midtown**

Drainage Basin: **Crabtree Basin**

Acreage: **2.69**

Sq. Ft.: **36,860**

Planner: **Justin Rametta**

Phone: **(919) 996-2665**

Applicant: **Adam Pike**

Phone: **(919) 866-4805**



Administrative Site Review Application (for UDO Districts only)



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2195 | ext 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

SR-15-16

BUILDING TYPE ☐ Detached ☐ Attached ☐ Apartment ☐ Townhouse		☒ General ☐ Mixed Use ☐ Open Lot		FOR OFFICE USE ONLY Transaction Number 488474 Assigned Project Coordinator Assigned Team Leader Rametta	
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #					
GENERAL INFORMATION					
Development Name Solferino North					
Zoning District CX-5-CU		Overlay District (if applicable) N/A		Inside City Limits? ☒ Yes ☐ No	
Proposed Use Ambulatory Dental Building					
Property Address(es) 2209 Century Dr				Major Street Locator: Glenwood Ave	
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:					
P.I.N. 0796608257		P.I.N.		P.I.N.	
What is your project type? ☐ Apartment ☐ Mixed Residential ☐ Duplex ☐ Other: If other, please describe:					
☐ Elderly Facilities ☐ School ☐ Religious Institutions					
☐ Hospitals ☐ Shopping Center ☐ Residential Condo					
☐ Hotels/Motels ☐ Banks ☐ Retail					
☒ Office ☐ Industrial Building ☐ Cottage Court					
WORK SCOPE		Per City Code Section 10.2.8.0.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Requesting 10% reduction due to proximity to public transit (Sec 7.1.4.A.1).			
DESIGN ADJUSTMENT OR ADMIN ALTERNATE		Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE			
CLIENT/DEVELOPER/OWNER		Company Solferino North Properties LLC Name (s) Keith Richard Address 746 E Franklin Street Chapel Hill, NC Phone 919-671-4182 Email brannonproperties@gmail.com Fax			
CONSULTANT (Contact Person for Plans)		Company Stewart, Inc. Name (s) Adam Pike Address 421 Fayetteville Street Suite 400 Phone 9198664805 Email apike@stewartinc.com Fax 9193808752			

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information		Building Information
Zoning District(s) CX-5-CU		Proposed building use(s) Ambulatory Business (B) / Institutions (I 2)
If more than one district, provide the acreage of each: N/A		Existing Building(s) sq. ft. gross N/A
Overlay District N/A		Proposed Building(s) sq. ft. gross 36,860
Total Site Acres Inside City Limits ☒ Yes ☐ No 2.69		Total sq. ft. gross (existing & proposed) 36,860
Off street parking: Required 91 Provided 95		Proposed height of building(s) 75'-2"
COA (Certificate of Appropriateness) case #		# of stories 5
BOA (Board of Adjustment) case # A-		Ceiling height of 1 st Floor 12'-0"
CUD (Conditional Use District) case # Z- 8-14		
Stormwater Information		
Existing Impervious Surface 60,984 acres/square feet		Flood Hazard Area ☒ Yes ☐ No
Proposed Impervious Surface 53,579 acres/square feet		If Yes, please provide:
Neuse River Buffer ☒ Yes ☐ No Wetlands ☐ Yes ☒ No		Alluvial Soils Chewacla Flood Study Yes FEMA Map Panel # 3720079600J & 0795J

FOR RESIDENTIAL DEVELOPMENTS

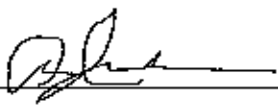
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development ☒ 2,2,7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? ☐ Yes ☐ No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **Andre L. Johnson of Andre Johnson Architect** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

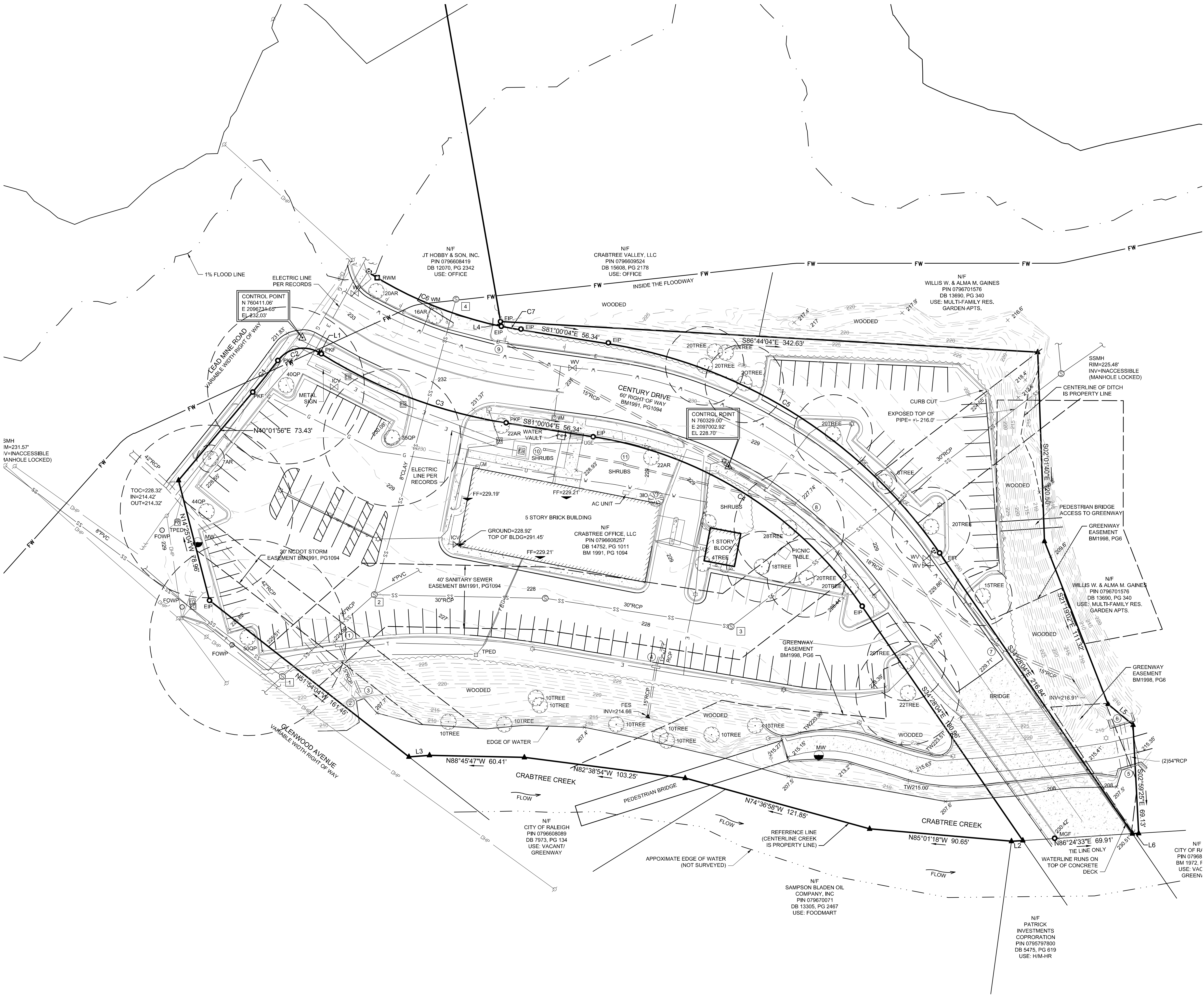
Signed  Date **September 18, 2016**

Printed Name **Andre L. Johnson (Designated Owner Agent)**

Signed _____ Date _____

Printed Name _____

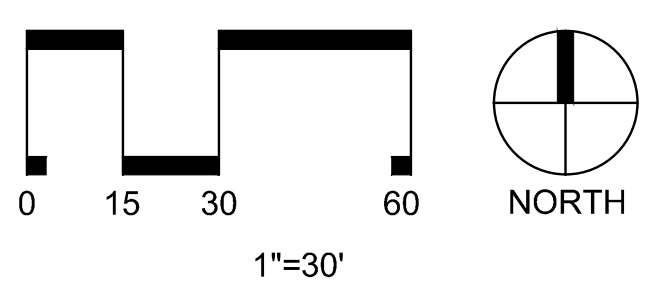
TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
General Requirements	YES	N/A	YES	NO	N/A
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to the City of Raleigh	☒		☒		
2. Administrative Site Review Application completed and signed by the property owner(s)	☒		☒		
3. Client must complete and adhere page 1 and 2 of the Administrative Site Review Application to the plan cover sheet	☒		☒		
4. I have referenced the Administrative Site Review Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	☒		☒		
5. Provide the following plan sheets:	☒				
a) Cover sheet: Includes general notes, owner's name, contact's name, telephone number, mailing address and email address	☒		☒		
b) Existing Conditions Sheet, including, but not limited to, structures, buildings, utilities, infrastructure, and vegetation	☒		☒		
c) Proposed Site Plan	☒		☒		
d) Proposed Grading Plan	☒		☒		
e) Proposed Stormwater Plan, including preliminary stormwater quantity and quality summary and calculations package. If not required, provide City Code section on front cover.	☒	☐	☒		
f) Proposed Utility Plan, including Fire	☒	☐	☒		
g) Proposed Tree Conservation Plan – For secondary Tree Conservation Areas, include two copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina register forester. If not required, provide City Code section on front cover.	☒	☐	☒		
h) Proposed Landscape Plan	☒	☐	☒		
i) Building elevations that show existing and/or proposed building height. If demolition, do not include buildings to be demolished.	☒	☐	☒		
j) Transportation Plan	☒	☐	☒	Exempt	
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. For re-submittals – include all revision dates	☒		☒		
7. Minimum plan size 18"x24" not to exceed 36"x42"	☒		☒		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	☒		☒		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	☒				
10. Digital copy of only the plan and elevations. Label the CD or flash drive with the plan name, case file number, and indicate the review cycle #.	☒		☒		
11. Wake County School Form, if dwelling units are proposed	☐	☒			☒
12. If applicable, zoning conditions adhered to the plan cover sheet	☐	☒			☒



- GENERAL NOTES**
- THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS/TOPOGRAPHY ON A PORTION OF THE PROPERTY OF CRABTREE OFFICE, LLC, PIN 0796608257. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND THEREFORE ALL ENCUMBRANCES UPON THE PROPERTY MAY NOT BE SHOWN.
 - THE PROPERTY LINES SHOWN HEREON HAVE BEEN CONFIRMED FROM A PARTIAL SURVEY BY STEWART ENGINEERING. PROPERTY LINES SHOWN TAKEN FROM BOOK OF MAPS 1991, PAGE 1094.
 - HORIZONTAL DATUM IS NAD 83 (2011) AND VERTICAL DATUM IS NAVD83. BASED ON GPS METHODS USING REAL-TIME KINEMATIC SOLUTIONS FOR THE SURVEY CONTROL POINTS SHOWN HEREON AND TIED TO NORTH CAROLINA GEODETIC SURVEY MONUMENTS "ANNE LAKE 3" AND "MURRAY".

"ANNE LAKE 3"	"MURRAY"
N 772886.53	N 747347.86
E 2080781.95	E 2112922.52
EL 376.98	EL 215.70
 - THIS DRAWING DOES NOT CONFORM TO N.C. GS47-30 AND THEREFORE IS NOT FOR RECORDATION.
 - UTILITIES SHOWN HEREON ARE BASED SOLELY ON ABOVE-GROUND VISIBLE EVIDENCE AND UTILITY DESIGNATION/MARKING SERVICES. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE COMMENCING CONSTRUCTION.
 - TREES SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY.
 - THE SUBJECT PROPERTY IS ZONED "O&I-1" (OFFICE/INDUSTRIAL-1) PER WAKE COUNTY GIS WEBSITE.
 - THE SUBJECT PROPERTY LIES IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLAIN), X (SHADED) (AREA OF 0.2% ANNUAL CHANCE FLOOD), AREAS OF FUTURE CONDITIONS 1% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS OF LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD). AE (AREA DETERMINED TO BE INSIDE THE 1% ANNUAL CHANCE FLOOD) BASE FLOOD ELEVATIONS DETERMINED), AND FLOODWAY (DELINEATED FLOODWAY OF A STREAM), BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3702430796J DATED 5/2/06. FLOOD HAZARD LINES SHOWN HEREON ARE FROM NCFLOODMAPS.COM.
 - ADDRESS: 2209 CENTURY DRIVE.

- LEGEND**
- ▲ SURVEY CONTROL POINT
 - EIP
 - ▲ EXISTING IRON PIPE
 - COMPUTED POINT
 - STORM DRAIN INLET
 - STORM DRAIN CURB INLET
 - ▼ STORM DRAIN FLARED END SECTION
 - ⊙ SANITARY SEWER MANHOLE
 - ⊙ HYDRANT
 - ⊙ WV WATER VALVE
 - ⊙ WM WATER METER
 - ⊙ W WATER VAULT
 - ⊙ ICV SIAMSE CONNECTION
 - ⊙ IRRIGATION CONTROL VALVE
 - ⊙ FM GAS METER
 - ⊙ TPED TELEPHONE PEDESTAL
 - ⊙ FOWP FIBER OPTIC WITNESS POST
 - ⊙ FIBER OPTIC BOX
 - ⊙ EM ELECTRIC METER
 - ⊙ T ELECTRIC TRANSFORMER
 - ⊙ ELECTRIC BOX
 - ⊙ UTILITY POLE
 - ⊙ GUY WIRE
 - ⊙ LIGHT POLE
 - ⊙ MW MONITORING WELL
 - ⊙ SIGN
 - FF=267.18' FINISHED FLOOR ELEVATION
 - DECIDUOUS TREE
 - 1% CHANCE FLOOD LINE
 - FW FLOODWAY LINE
 - GUARDRAIL
 - TREELINE
 - T UNDERGROUND TELEPHONE LINE
 - FO UNDERGROUND FIBER OPTIC LINE
 - G UNDERGROUND GAS LINE
 - E UNDERGROUND ELECTRIC LINE
 - W UNDERGROUND WATER LINE
 - SS SANITARY SEWER LINE
 - STORM DRAIN LINE
 - STEAM LINE
 - OHV OVERHEAD WIRES
 - UNIDENTIFIED LINE
 - UNKNOWN DESTINATION
 - CONCRETE SURFACE
 - DIP DUCTILE IRON PIPE
 - PVC POLYVINYL CHLORIDE PIPE
 - RCP REINFORCED CONCRETE PIPE
 - CPP CORRUGATED PLASTIC PIPE
 - CB CATCH BASIN
- TREE LEGEND**
- AR RED MAPLE
 - U CREPE MYRTLE
 - OP WILLOW OAK
- EXAMPLE: 10QR = 10" RED OAK



CLIENT AND PROJECT

SOLFERINO NORTH

AMBULATORY DENTAL SURGERY CENTER

2209 CENTURY DRIVE
RALEIGH, NORTH CAROLINA 27612

DESIGNER

ANDRE JOHNSON
ARCHITECT

PO BOX 14637
RALEIGH, NORTH CAROLINA 27620
TELEPHONE: 919.661.8935
MAIL: info@andrejohnsonarchitect.com

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CONSULTANT

STEWART

421 FAYETTEVILLE ST., STE 400 FIRM LICENSE # C-1051
RALEIGH, NC 27601 www.stewartinc.com
P.H. 360.9729 PROJECT # 10109

REGISTRATION

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

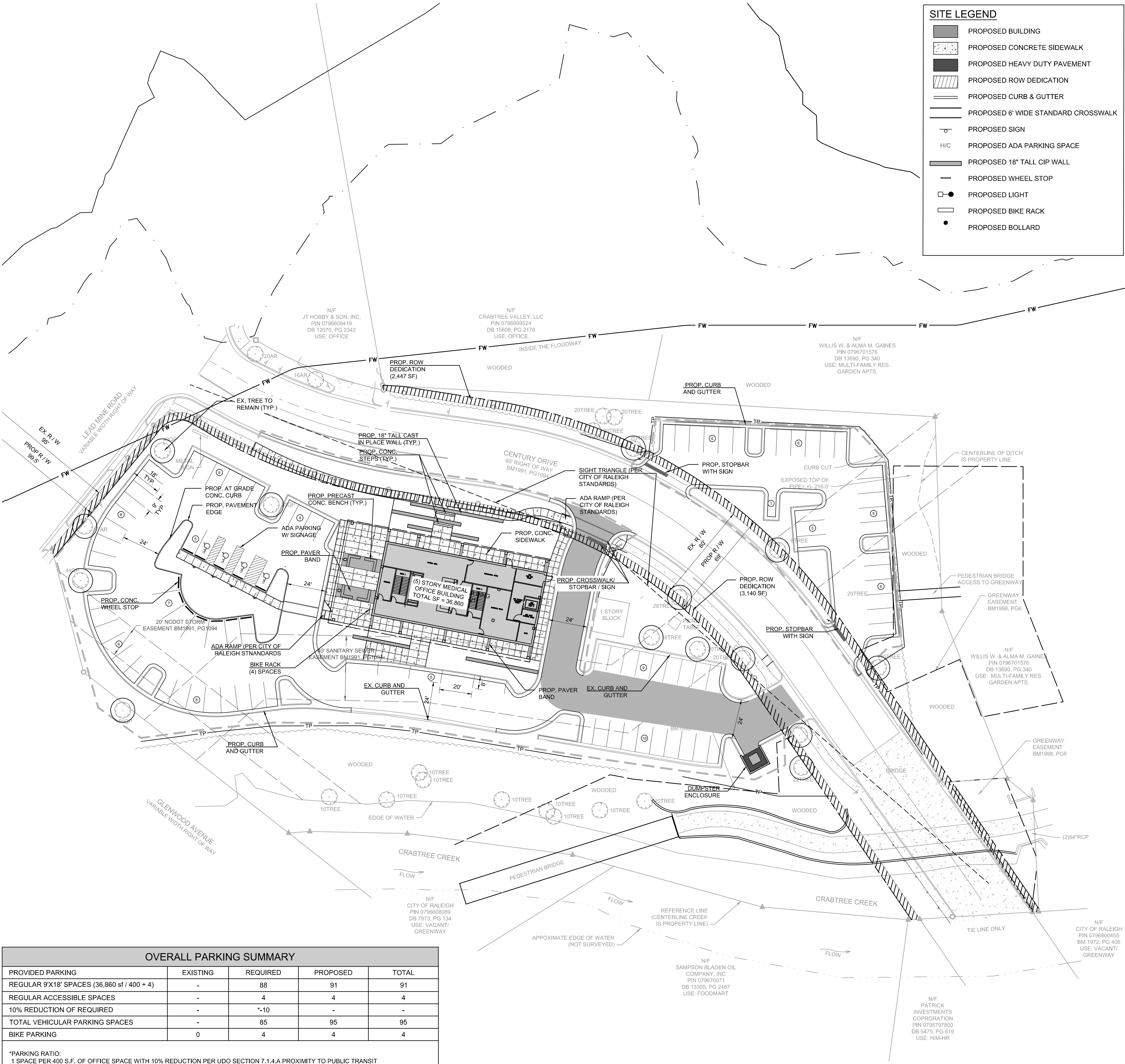
ISSUE		
No.	Date	Description

SHEET INFO

EXISTING CONDITIONS PLAN

C1.00

PROJECT NO: P1401.01
DATE: 09.21.2016
PERMIT DRAWINGS



OVERALL PARKING SUMMARY				
PROVIDED PARKING	EXISTING	REQUIRED	PROPOSED	TOTAL
REGULAR 9'X18' SPACES (36,860 sf / 400 + 4)	-	88	91	91
REGULAR ACCESSIBLE SPACES	-	4	4	4
10% REDUCTION OF REQUIRED	-	*-10	-	-
TOTAL VEHICULAR PARKING SPACES	-	85	95	95
BIKE PARKING	0	4	4	4

*PARKING RATIO:
1 SPACE PER 400 S.F. OF OFFICE SPACE WITH 10% REDUCTION PER UDO SECTION 7.1.4.A PROXIMITY TO PUBLIC TRANSIT

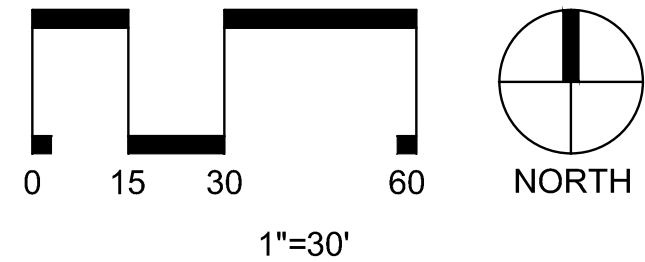
- GENERAL NOTES:**
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF RALEIGH, DEPARTMENT OF INSURANCE, NC DENR, AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
 - IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
 - PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A MEETING WITH THE CITY OF RALEIGH, PUBLIC DEPARTMENT/TRANSPORTATION OPERATIONS DIVISION TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT SHALL BE:
a. REBECCA DUFFY; 919-996-4091 OR REBECCA.DUFFY@RALEIGHNC.GOV
b. TERRY PHINIZY; 919-996-4035 OR TERRY.PHINIZY@RALEIGHNC.GOV
 - THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE TRANSPORTATION OPERATION DIVISION/PUBLIC WORKS DEPARTMENT.
 - IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
 - FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
 - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
 - UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
 - ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
 - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCR OACH ON THIS MINIMUM CORNER CLEARANCE.
 - ACCESSIBLE RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
 - ALL RAMPS AND HANDRAILS SHALL CONFORM TO ANSI STANDARDS.
 - ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
 - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - EXISTING SURVEY INFORMATION INCLUDING TOPOGRAPHIC INFORMATION PROVIDED BY STEWART, UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED AT LEAST 48 HOURS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
 - ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
 - EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.
 - THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONCEALMENT, VALVE AND MANHOLE CHANGES, AND HARDCAPE OR LANDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.
 - IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THERE OF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
 - THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
 - ROADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING APPARATUS (85,000 LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.

- SITE NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE CONSTRUCTION LAYDOWN AREA, PERIMETER FENCE, AND ASSOCIATED GATES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL OF THE CONSTRUCTION LAYDOWN AREA PERIMETER FENCE AND ASSOCIATED GATES AT THE COMPLETION OF THE PROJECT.
 - THE CONTRACTOR SHALL REFERENCE THE DESIGN PLANS FOR DIMENSIONS, JOINT LOCATIONS, AND INLAY SPECIFICATIONS NEAR BUILDINGS AND IN COURTYARDS. CONTRACTOR SHALL PROVIDE JOINTS IN WALKWAYS AND HARDCAPE PER DETAILS OR AS INDICATED ON LANDSCAPE/HARDCAPE PLAN SHEETS.
 - ALL CONSTRUCTION TRAFFIC SHALL ENTER SITE FROM HARGETT STREET UNLESS OTHERWISE APPROVED IN WRITING FROM THE OWNER'S REPRESENTATIVE FOR AN ALTERNATE POINT OF ACCESS.
 - REFER TO ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
 - ALL DIMENSIONS ARE IN RADII TO OUTSIDE FACE OF BUILDINGS, TO CENTERLINES, AND/OR FACE OF CURB UNLESS OTHERWISE NOTED.
 - THE SITE SHALL BE FULLY STABILIZED (85% COVERAGE) PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY OR PROJECT APPROVAL.
 - HANDICAP RAMPS SHALL BE INSTALLED PER LATEST EDITION OF THE NC BUILDING CODE AND ANSI 117.11 WITH DETECTABLE WARNING DOMES. SEE DETAILS AND GRADING SPOT ELEVATIONS. IF EXISTING CONDITIONS PRECLUDE THE ABILITY TO PROVIDE A MAXIMUM SLOPE OF 4" FOR 6-FEET OR A MAXIMUM CROSS SLOPE OF 1:48 CONTRACTOR SHALL NOTIFY ENGINEER OR OWNER REPRESENTATIVE PRIOR TO INSTALLATION.
 - AS-BUILT DOCUMENTATION REQUIREMENTS: PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY OR PROJECT APPROVAL THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS (IN BOTH PAPER AND ELECTRONIC FORMAT (CAD / PDF) PREPARED AND SEALED BY A PROFESSIONAL LAND SURVEYOR SHOWING ALL SURFACE FEATURES INCLUDING, BUT NOT LIMITED TO: HARDCAPE, PAVEMENT, WALKWAYS, CURB & GUTTER, STRIPING, MANHOLES, CATCH BASINS, HYDRANTS, VALVES, METERS, BACKFLOW HOT BOX(ES), CLEANOUTS, RETAINING WALLS, TRANSFORMERS, LANDSCAPING, AND TREES. UTILITY AS-BUILTS SHALL INCLUDE PIPE AND STRUCTURE INVERT ELEVATIONS, SLOPES, MATERIAL, AND SIZE FOR ALL UTILITIES INSTALLED AS PART OF THE PROJECT.
 - THE TESTING AGENCY SHALL BE RESPONSIBLE FOR PROVIDING THE ASPHALT AND CONTRACTOR CERTIFICATION MEMO TO NCDOT FOR ALL ROADWAY IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.

- BIKE RACK NOTES:**
- BIKE RACK (1) WILL BE PROVIDED AND INSTALLED AT ONE OF THE ENTRANCES FOR THE BUILDING. INVERTED U TYPE BIKE RACK WILL BE PROVIDED.
 - THE BUILDING WILL ALSO INCLUDE BIKE PARKING AND STORAGE. FOR DETAILS SEE ARCHITECTURAL PLANS.

- SIGNAGE, STRIPING, AND MARKING NOTES:**
- ALL INTERNAL SIGNAGE SHALL BE COORDINATED WITH OWNER FOR ACTUAL LOCATION AT TIME OF INSTALLATION. SIGNAGE LEADING ONTO PUBLIC THOROUGHFARE SHALL BE INSTALLED AT RIGHT OF WAY PER DOT STANDARDS
 - ALL LOT STRIPING (EXCEPT INDIVIDUAL PARKING BAY STRIPING) AND DIRECTIONAL ARROWS SHALL BE THERMOPLASTIC REFLECTIVE PAINT. MATERIALS SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS. PARKING BAY STRIPING SHALL BE WHITE REFLECTIVE PAINT.
 - CROSSWALKS SHALL BE CONSTRUCTED OF THERMOPLASTIC MATERIALS AND CONSTRUCTED IN ACCORDANCE WITH STATE DOT SPECIFICATIONS. CONTRACTOR TO INSTALL CROSSWALKS IN SUCH A MANNER THAT CROSSWALKS ARE ALIGNED BETWEEN HANDICAP/WALKWAY ACCESS POINTS OR PERPENDICULAR TO THE ROADWAY / DRIVE LANE.
 - ADA SYMBOLS SHOWN THESE DRAWINGS ARE FOR LOCATION PURPOSES ONLY AND NOT INTENDED TO BE PAINTED. CONTRACTOR RESPONSIBLE FOR INSTALLING ALL REQUIRED ADA SIGNAGE

- VEHICLE SIGHT DISTANCE NOTE APPLICABLE TO ALL PLANS:**
- WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.



CLIENT AND PROJECT

SOLFERINO NORTH

AMBULATORY DENTAL SURGERY CENTER

2209 CENTURY DRIVE
RALEIGH, NORTH CAROLINA 27612

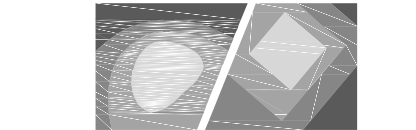
DESIGNER



PO BOX 14637
RALEIGH, NORTH CAROLINA 27620
TELEPHONE: 919.661.8935
MAIL: info@andrejohnsonarchitect.com

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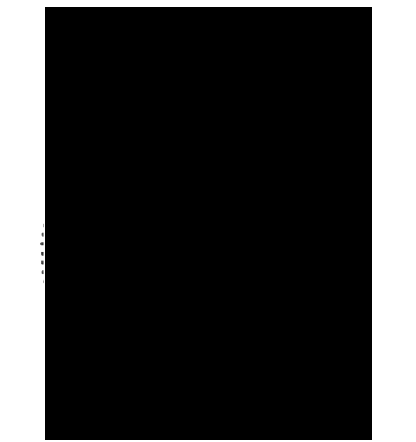
CONSULTANT



STEWART

421 FAYETTEVILLE ST., STE 400 FIRM LICENSE # C-1051
RALEIGH, NC 27601 www.stewartinc.com
P 919.383.9760 PROJECT # 15-019

REGISTRATION



PRELIMINARY - DO NOT USE FOR CONSTRUCTION

ISSUE

No.	Date	Description
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SHEET INFO

OVERALL SITE PLAN

C3.00

PROJECT NO: P1401.01

DATE: 09.21.2016

PERMIT DRAWINGS

SOLFERINO NORTH

AMBULATORY DENTAL SURGERY CENTER

2209 CENTURY DRIVE
RALEIGH, NORTH CAROLINA 27612

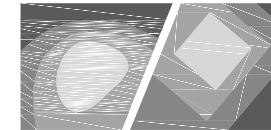
DESIGNER



PO BOX 14637
RALEIGH, NORTH CAROLINA 27620
TELEPHONE: 919.661.8935
MAIL: info@andrejohnsonarchitect.com

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CONSULTANT



STEWART

421 FAYETTEVILLE ST., STE 400 FIRM LICENSE # C-1051
RALEIGH, NC 27601 www.stewartinc.com
P 919.883.7620 PROJECT # 10109

REGISTRATION



PRELIMINARY - DO NOT
USE FOR CONSTRUCTION

ISSUE

No.	Date	Description
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SHEET INFO

OVERALL UTILITY
PLAN

C6.00

PROJECT NO: P1401.01

DATE: 09.21.2016

PERMIT DRAWINGS

UTILITY NOTES:

- REFER TO C3.00 FOR GENERAL NOTES.
- UNLESS OTHERWISE NOTED, ALL MANHOLES SHALL BE PRE-CAST CONCRETE STRUCTURES.
- THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF UNDERGROUND UTILITIES (WATER, SEWER, STORM, ELECTRICAL, GAS, OR OTHER) FOR THIS PROJECT WITH THE BUILDING PLANS. THE UTILITY CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE INSTALLATION OF ALL UTILITY SERVICES TO WITHIN FIVE (5) FEET OF THE BUILDING CONNECTION POINT.
- THE CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS ON SITE AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE SMOOTH TRANSITION BETWEEN DISCIPLINES.
- THE CONTRACTOR SHALL COORDINATE ALL PEDESTRIAN AND VEHICULAR INTERRUPTIONS WITH OWNER'S REPRESENTATIVE AT LEAST 72 HOURS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK INSIDE THE PUBLIC RIGHT OF WAY PRIOR TO RECEIPT AND COMPLIANCE WITH ALL APPLICABLE NCDOT PERMITS. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY FLAGGERS AND TRAFFIC CONTROL DURING ALL WORK INSIDE THE PUBLIC RIGHTS OF WAY.
- THE CONTRACTOR SHALL NOT RE-USE ANY FIRE HYDRANT REMOVED AS PART OF THIS PROJECT. ANY FIRE HYDRANT SHOWN TO BE REMOVED OR RELOCATED SHALL BE REPLACED WITH A NEW FIRE HYDRANT MEETING THE LOCAL JURISDICTIONAL REQUIREMENTS AND STANDARDS.
- ALL EXISTING SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. DEPTHS OF EXISTING UTILITIES SHOWN IN PROFILE VIEWS ARE BASED ON STANDARD ASSUMPTIONS. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION, DEPTH, SIZE AND MATERIAL OF ANY AND ALL SUB-SURFACE CONDITIONS REFERENCED IN THESE PLANS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- ELEVATIONS AND UTILITIES ARE GIVEN TO THE EXTENT OF INFORMATION AVAILABLE, WHERE ELEVATIONS ARE NOT GIVEN AT POINTS OF EXISTING UTILITY CROSSINGS, SUCH ELEVATIONS SHALL BE DETERMINED BY THE CONTRACTOR AND REPORTED TO THE ENGINEER, WHEN UNKNOWN LINES ARE EXPOSED, THEIR LOCATIONS AND ELEVATIONS SHALL ALSO BE REPORTED TO THE ENGINEER.
- UNDERGROUND UTILITIES SHOWN ON THIS PLAN SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION OF PARKING AREA, DRIVES CURBS AND GUTTER OR CONCRETE WALKS / PADS. UTILITIES WHICH CANNOT BE INSTALLED PRIOR TO WHERE THEY CROSS SUCH IMPROVEMENTS SHALL BE PROVIDED WITH CONDUITS WHERE THEY CROSS SUCH IMPROVEMENTS FOR INSTALLATION AFTER SUCH IMPROVEMENTS ARE IN PLACE.

PROPOSED UTILITY SEPARATION:

WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM EXISTING OR PROPOSED SEWERS, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10-FOOT HORIZONTAL SEPARATION IN WHICH CASE:

- THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR
 - THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LOCATED AT ONE SIDE OF A BENCH OF UNDISTURBED EARTH, AND WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP TO THE SEWER.
- CROSSING A WATER MAIN OVER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION, IN WHICH CASE BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
 - CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.

SEPARATION OF SANITARY SEWERS AND STORM SEWERS

- A 24" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR BOTH THE SANITARY AND THE STORM LINES SHALL BE CONSTRUCTED OF FERROUS MATERIALS.

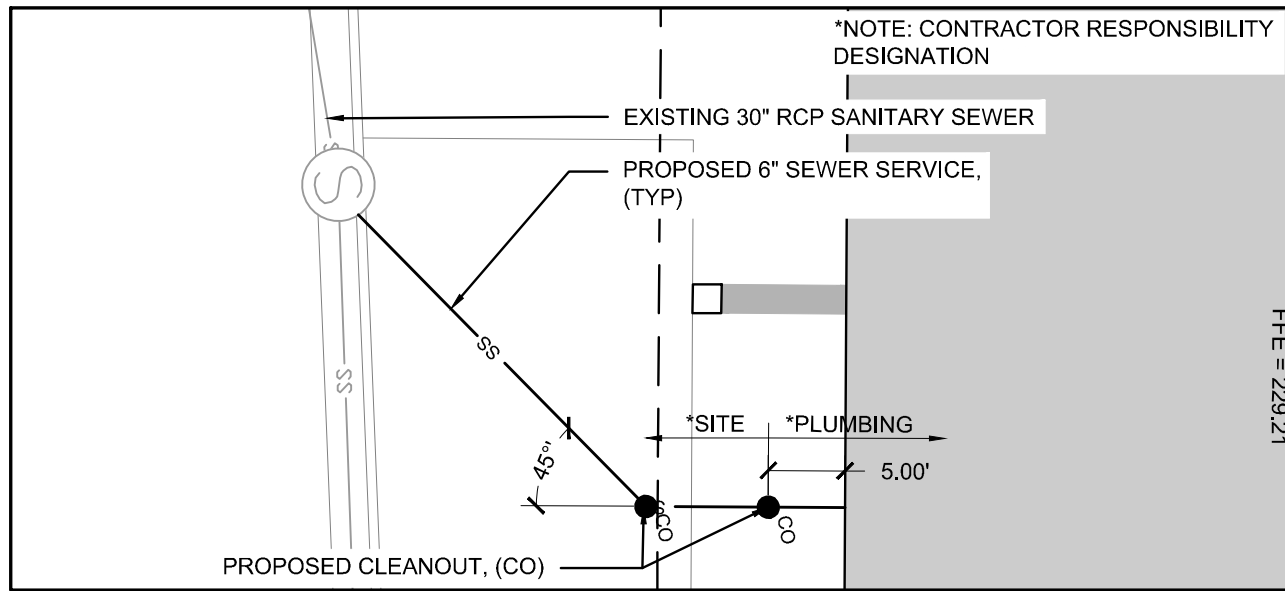
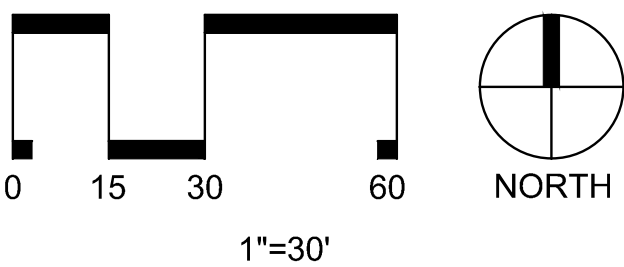
SEWER NOTES:

- SANITARY SEWER CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL BE HEAVY DUTY TRAFFIC BEARING CASTINGS.
- UNLESS OTHERWISE NOTED, ALL SANITARY SEWER MANHOLES ARE 4' DIA.
- MANHOLES LOCATED IN PAVEMENT, CONCRETE OR OTHER TRAFFIC AREAS SHALL BE SET AT GRADE. MANHOLES LOCATED IN OTHER AREAS (I.E. GRASS OR WOODED AREAS) SHALL HAVE THEIR RIMS RAISED SIX INCHES ABOVE THE SURROUNDING GRADE. MANHOLES SUBJECT TO POSSIBLE WATER INFILTRATION SHALL HAVE WATERTIGHT, BOLTED LIDS.
- MINIMUM REQUIRED SLOPES FOR SEWER SERVICES:
4" SEWER SERVICE - 2.00% SLOPE
6" SEWER SERVICE - 1.00% SLOPE
8" SEWER SERVICE - 0.50% SLOPE
- UNLESS OTHERWISE NOTED, LOCATE SANITARY SERVICE CLEANOUTS AT ALL HORIZONTAL OR VERTICAL CHANGES IN DIRECTION, MAXIMUM SPACING BETWEEN CLEANOUTS SHALL BE 75 FEET.
- SEWER LINES LESS THAN 3 FEET OF COVER SHALL BE CLASS 80 DUCTILE IRON PIPE. SEWER LINES WITH GREATER THAN 3 FEET OF COVER SHALL BE AS NOTED BELOW:
4" SEWER SERVICE - SCH 80
6" SEWER SERVICE - SCH 80
8" SEWER SERVICE - SDR-35
- SEWER LINES UNDER CONSTRUCTION SHALL BE PROTECTED FROM DIRT, DEBRIS OR OTHER CONTAMINANTS ENTERING THE NEW SYSTEM. A MECHANICAL PLUG SHALL BE UTILIZED BOTH IMMEDIATELY UPSTREAM OF THE NEW CONSTRUCTION AND AT THE FIRST MANHOLE DOWNSTREAM IN THE EXISTING SYSTEM. EXISTING STRUCTURES, PIPING AND APPURTENANCES SHALL BE PROTECTED FROM ANY INFLOW OF WATER, DIRT OR DEBRIS DUE TO NEW CONSTRUCTION CONNECTING TO OR IN THE VICINITY OF THE EXISTING SYSTEM. CONTRACTOR TO REMOVE DEBRIS AND PLUG PRIOR TO OCCUPANCY.
- ALL MANHOLES COVERS SHALL BE PAINTED TO LOCAL JURISDICTIONAL REQUIREMENTS.

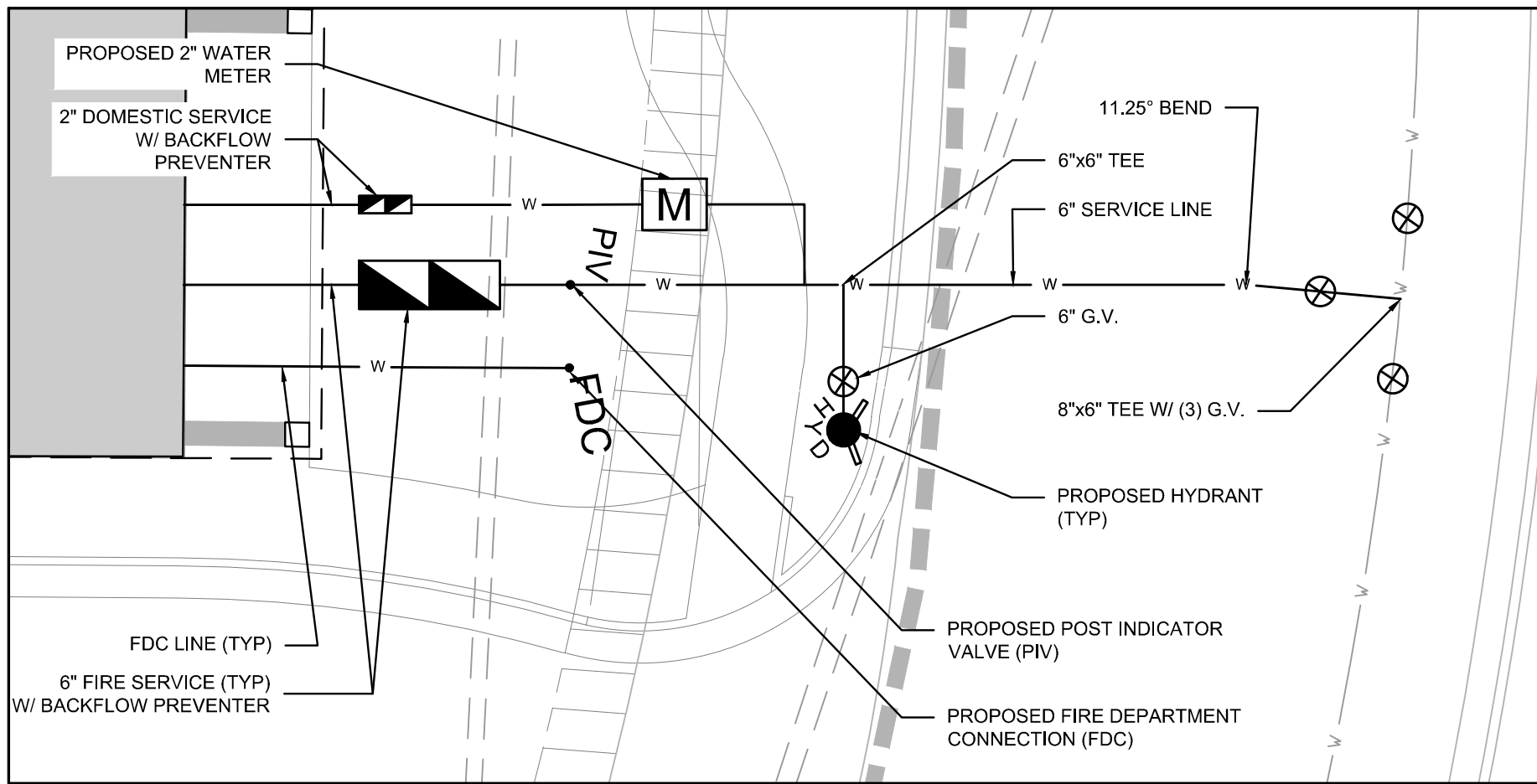
WATER NOTES:

AS INDICATED, ALL WATERLINES SHALL BE DUCTILE IRON PIPE MEETING THE REQUIREMENTS OF ANSI-AWWA C151 PRESSURE CLASS 350 OR SOFT COPPER TYPE K PIPE PER ASTM B88. IF PVC WATERLINE IS INDICATED ON THE PLANS, (12" AND SMALLER) SHALL MEET THE REQUIREMENTS OF AWWA C-900; CLASS 200.

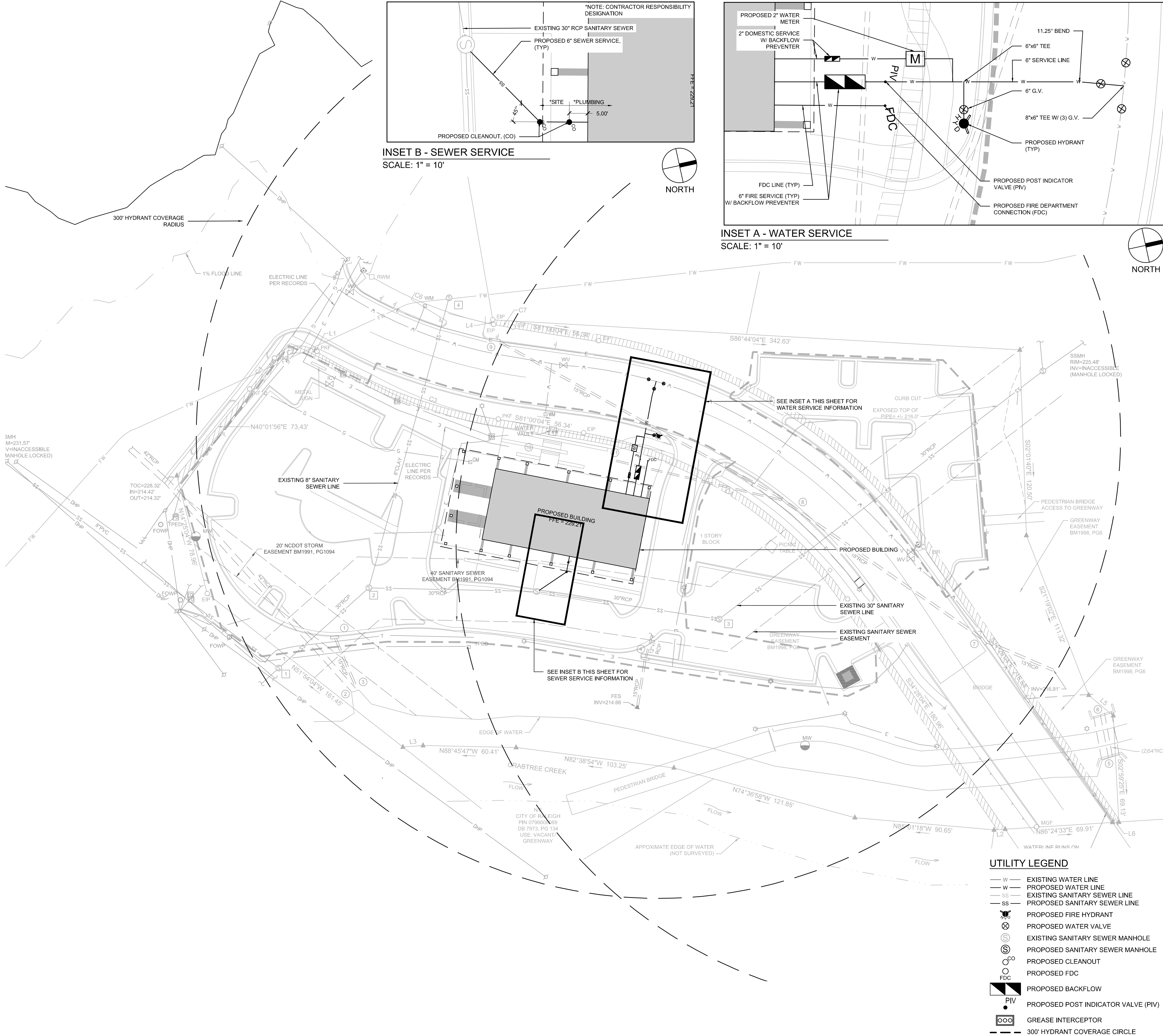
- ALL WATERLINES SHALL HAVE A MINIMUM OF 3.5 FEET OF COVER.
- TESTING NOTES:
PRESSURE:
LEAKAGE SHALL NOT EXCEED THE MAXIMUM ALLOWABLE LEAKAGE SPECIFIED IN AWWA C 800. MINIMUM TEST PRESSURE SHALL BE 150 PSI FOR DOMESTIC AND 200 PSI FOR FIRE PROTECTION.
BACTERIOLOGICAL:
TWO SAMPLES FOR BACTERIOLOGICAL SAMPLING SHALL BE COLLECTED AT LEAST 24 HOURS APART. IF CONTAMINATION IS INDICATED, THEN THE DISINFECTION PROCEDURE AND TESTING SHALL BE REPEATED UNTIL SATISFACTORY RESULTS ARE OBTAINED.
- THE CHLORINE IN HEAVILY CHLORINATED WATER FLUSHED FROM MAINS NEEDS TO BE NEUTRALIZED BEFORE DISCHARGE. CONTRACTORS SHALL NEUTRALIZE HEAVILY CHLORINATED WATER FLUSHED FROM MAINS PRIOR TO DISCHARGE OR TRANSPORT ALL HEAVILY CHLORINATED WATER OFFSITE FOR PROPER DISPOSAL.
- PAINT VALVE COVERS, FIRE HYDRANTS AND OTHER WATER APPARATUS TO MEET THE LOCAL JURISDICTIONAL REQUIREMENTS.

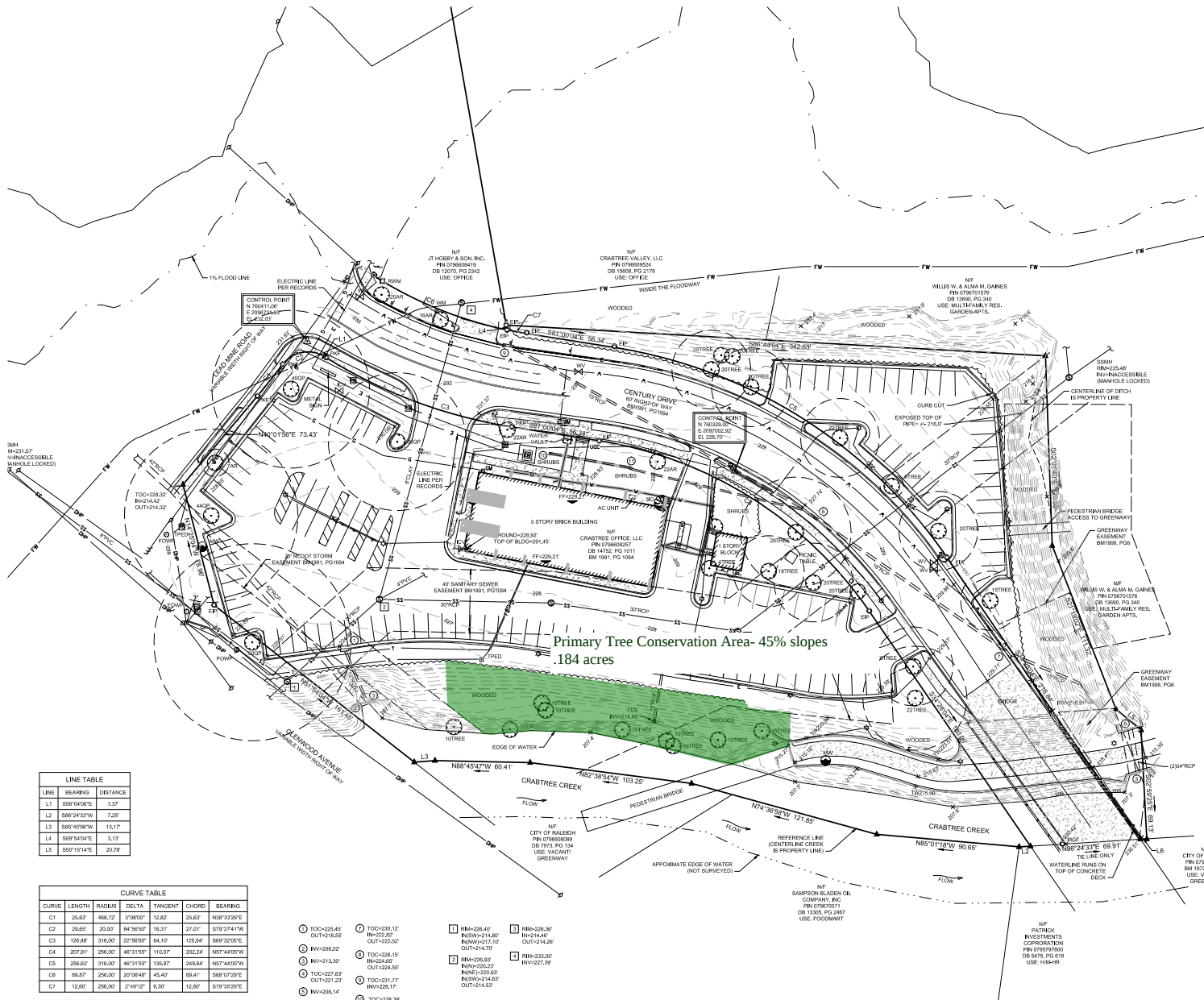


INSET B - SEWER SERVICE
SCALE: 1" = 10'



INSET A - WATER SERVICE
SCALE: 1" = 10'





LINE TABLE		
LINE	BEARING	DISTANCE
L1	S89°04'00"E	1.37
L2	S89°24'53"W	7.28
L3	S89°45'56"W	13.17
L4	S89°45'51"E	3.17
L5	S89°19'14"E	22.78

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	BEARING
C1	25.63	468.72	3°08'00"	12.82	25.63	N89°33'26"E
C2	26.69	25.89	84°36'50"	19.31	27.07	S79°27'41"W
C3	126.48	316.00	22°36'50"	64.10	125.64	S69°32'05"E
C4	207.91	256.00	49°31'50"	110.07	202.24	N07°44'05"W
C5	256.83	316.00	49°31'50"	136.87	248.04	N07°44'05"W
C6	86.27	256.26	20°24'48"	45.49	86.47	S69°07'20"E
C7	12.80	256.00	2°06'12"	6.39	12.82	S79°35'29"E

- ① TOC=226.49'
OUT=218.85'
② INV=218.85'
③ INV=213.39'
④ TOC=227.87'
OUT=221.23'
⑤ INV=226.14'
⑥ INV=226.68'
- ⑦ TOC=230.12'
INV=222.32'
OUT=222.52'
⑧ TOC=228.19'
INV=224.49'
OUT=224.55'
⑨ TOC=231.77'
INV=228.17'
⑩ TOC=228.39'
INV=227.59'
- ⑪ TOC=228.08'
INV=226.18'
NBS=225.88'
OUT=225.48'

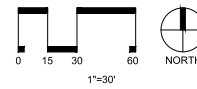
- ① RIM=226.40'
INV=214.60'
NBS=217.10'
OUT=214.70'
② RIM=226.93'
INV=220.23'
NBS=214.63'
OUT=214.52'
- ③ RIM=226.36'
INV=214.86'
NBS=214.26'
④ RIM=223.39'
INV=227.39'

GENERAL NOTES

- THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS/TOPOGRAPHY ON A PORTION OF THE PROPERTY OF CRABTREE OFFICE, LLC. PN 079680257. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND THEREFORE ALL ENCUMBRANCES UPON THE PROPERTY MAY NOT BE SHOWN.
- THE PROPERTY LINES SHOWN HEREON HAVE BEEN CONFIRMED FROM A PARTIAL SURVEY BY STEWART ENGINEERING, PROPERTY LINES SHOWN TAKEN FROM BOOK OF MAPS 1591, PAGE 1094.
- HORIZONTAL DATUMS NAD 83 (2011) AND VERTICAL DATUMS NAVD83, BASED ON GPS METHODOLOGY, USING REAL-TIME KINEMATIC SOLUTIONS FOR THE SURVEY CONTROL POINTS SHOWN HEREON AND TIED TO NORTH CAROLINA GEODETIC SURVEY MONUMENTS "ANNE LAKE 2" AND "MURRAY".
- "ANNE LAKE 2" N 772883.57 E 208979.186 EL 216.707
- "MURRAY" N 747347.86 E 211192.027 EL 216.707
- THIS DRAWING DOES NOT CONFORM TO N.C. 0547-30 AND THEREFORE IS NOT FOR RECONSTRUCTION.
- UTILITIES SHOWN HEREON ARE BASED SOLELY ON ABOVE-GROUND VISIBLE EVIDENCE AND UTILITY DESIGN/TECHNICAL SERVICES. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE COMMENCING CONSTRUCTION.
- TREES SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY.
- THE SUBJECT PROPERTY IS ZONED "O&M-1" (OFFICE/INDUSTRIAL-1) PER WAKE COUNTY GB WEBSITE.
- THE SUBJECT PROPERTY LIES IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLAIN), X (SHADED) (AREA OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF FUTURE CONDITIONS 1% ANNUAL CHANCE FLOOD AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS OF LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY DEEPS FROM 1% ANNUAL CHANCE FLOOD, ALL AREA DETERMINED TO BE INSIDE THE 1% ANNUAL CHANCE FLOOD. BASE FLOOD ELEVATIONS DETERMINED, AND FLOODWAY DETERMINED FLOODWAY OF A STREAM, BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3705429090 DATED 5/20/16. FLOOD HAZARD LINES SHOWN HEREON ARE FROM NCEM00MAPS.COM.
- ADDRESS: 2229 CENTURY DRIVE.

LEGEND

- ▲ SURVEY CONTROL POINT
● EXISTING IRON PIPE
■ COMPUTED POINT
■ STORM DRAIN INLET
■ STORM DRAIN CURB INLET
■ STORM DRAIN FLARED END SECTION
■ SANITARY SEWER MANHOLE
● HYDRANT
● WATER VALVE
● WATER METER
● WATER VAULT
● SWANSEE CONNECTION
● IRRIGATION CONTROL VALVE
● GAS METER
● TELEPHONE PEDESTAL
● FIBER OPTIC WITNESS POST
● FIBER OPTIC BOX
● ELECTRIC METER
● ELECTRIC TRANSFORMER
● ELECTRIC BOX
● UTILITY POLE
● GUY WIRE
● LIGHT POLE
● MONITORING WELL
● SKIN
● FINISHED FLOOR ELEVATION
● DECIDUOUS TREE
● 1% CHANGE FLOOD LINE
● FLOODWAY LINE
● GUARDRAIL
● TREE LINE
● UNDERGROUND TELEPHONE LINE
● UNDERGROUND FIBER OPTIC LINE
● UNDERGROUND GAS LINE
● UNDERGROUND ELECTRIC LINE
● UNDERGROUND WATER LINE
● SANITARY SEWER LINE
● STORM DRAIN LINE
● STEAM LINE
● OVERHEAD WIRES
● UNIDENTIFIED LINE
● UNKNOWN DESTINATION
● CONCRETE SURFACE
● DUCTILE IRON PIPE
● PVC
● POLYVINYL CHLORIDE PIPE
● REINFORCED CONCRETE PIPE
● CORRUGATED PLASTIC PIPE
● CATCH BASIN
- EXAMPLE: 10CR = 10" RED OAK



CLIENT AND PROJECT

SOLFERINO NORTH

AMBULATORY DENTAL SURGERY CENTER

2209 CENTURY DRIVE
RALEIGH, NORTH CAROLINA 27612

DESIGNER

ANDRE JOHNSON

PO BOX 4807
RALEIGH, NORTH CAROLINA 27620
TELEPHONE: 919.691.0825
MAIL: andres@andresjohnson.com

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CONSULTANT

STEWART

ALL DISTANCE IN FEET. SEE ALSO REFERENCE TO CITY PROJECT # 2016-0001

REGISTRATION

ISSUE

No. Date Description

SHEET INFO

TREE CONSERVATION PLAN

C1.10

PROJECT NO: P1401.01
DATE: 09.07.2016
PERMIT DRAWINGS