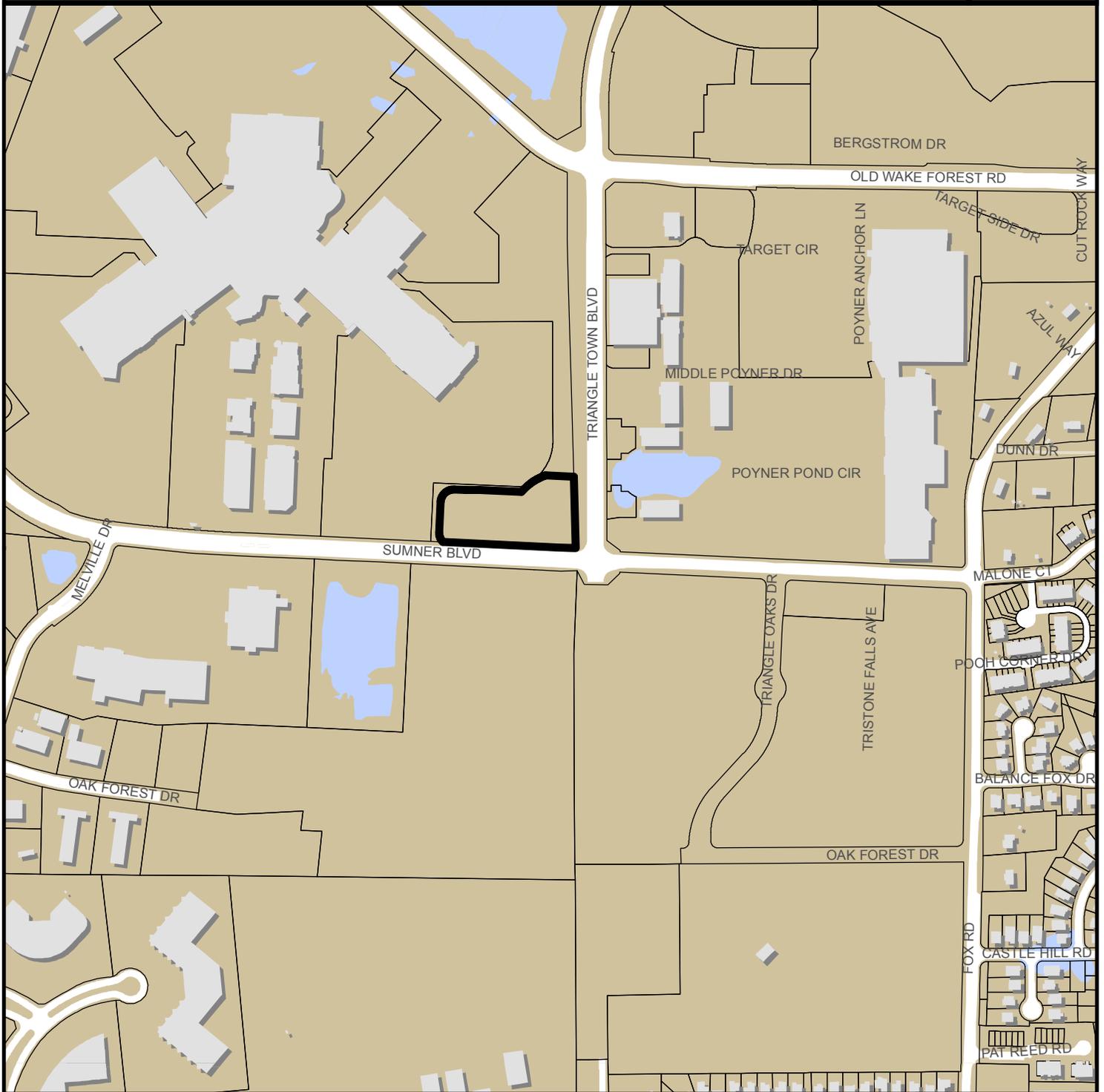


# HOME2 SUITES SR-77-2017



Zoning: **CX-5-CU**  
CAC: **Northeast**

Drainage Basin: **Perry Creek**  
Acreage: **2.64**  
Sq. Ft.: **69,000**

Planner: **Daniel Stegall**  
Phone: **(919) 996-2712**

Applicant: **Milan Patel**  
Phone: **(252) 767-2525**





# Administrative Approval Action

Home2 Suites Hotel: SR-77-17  
Transaction# 530756, AA# 3759

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located at the northwest corner of Sumner Boulevard and Triangle Town Boulevard. The address is 3951 Sumner Boulevard and the PIN number is 1726696549.

**REQUEST:** Development of a 2.64 acre tract zoned Commercial Mixed Use- 5 Conditional Use (CX-5-CU with zoning conditions of Z-35-16).The applicant is proposing a 69,000 square foot hotel with 5 stories at 61'2".The site will include 95 parking spaces, amenity area and greenway access.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:**

An Administrative Alternate has been approved by the Planning and Development Director for this project, noted below:

1. The applicant requested an Administrative Alternate for Section 7.2.5C – Service Areas Screening. Please reference AAD-30-17. The Planning Director finds that the requested alternate generally meets the findings enumerated in the Unified Development Ordinance, subject to the following conditions: That the materiality of the dumpster enclosure either matches durable materials on the building or consists of other durable high quality material. Approval is dated November 20, 2017.

Two Design Adjustments have been approved by the Development Services Director Designee for this project, noted below:

2. A Design Adjustment granting relief from the block perimeter requirements due to the location of this lot within Triangle Town Center property at an intersection of Triangle Town Boulevard and Sumner Boulevard. Please reference DA 15-2018.
3. A Design Adjustment to request a waiver from dedicating 7' right-of-way and 5' utility placement easement along the Sumner Boulevard frontage. The street alignment for Sumner Boulevard was approved to transition to a narrower width from west to east over Triangle Town Boulevard and this was also to comply with the previously recorded primary tree conservation. Please reference DA 15-2018.

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Katie Geier and Tim Foley of Henson Foley.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

**Note:** *This document must be applied to the second sheet of all future submittals with the exception of final plats.*



# Administrative Approval Action

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**Stormwater:** This site will utilize an above ground sand filter with a mitigation buydown for stormwater quality compliance and will utilize underground pipe detention for stormwater quantity compliance.

## PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

### ENGINEERING

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

### STORMWATER

2. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.
3. Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.
4. Next Step: Tree protection fence must be located in the field to protect the existing tree conservation area and be inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.

## PRIOR TO ISSUANCE OF BUILDING PERMITS:

### GENERAL

5. Comply with all conditions of Z-35-16.
6. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Easement Dedications.
7. Provide fire flow analysis.

### ENGINEERING

8. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 6' sidewalk and 6 street trees along the Triangle Town Boulevard frontage shall be paid.
9. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' sidewalk along the Sumner Boulevard frontage shall be paid.
10. A cross access agreement with the adjacent property with PIN 1727506318, G&I VIII CBL TTC LLC shall be approved by the Development Services Department for recording with the Wake County Register of Deeds, and a copy of the recorded cross access easement agreement shall be returned to the Development Services Department within one (1) day of recordation.



# Administrative Approval Action

Home2 Suites Hotel: SR-77-17  
Transaction# 530756, AA# 3759

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## PUBLIC UTILITIES

11. A Final Plat must be recorded at the Wake County Register of Deeds office for the City of Raleigh Water Line Easement dedication

## STORMWATER

12. Next Step: The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.
13. Next Step: The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office.
14. Next Step: All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
15. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.

## PRIOR TO ISSUANCE OF BUILDING OCCUPANCY PERMIT:

16. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
17. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
18. Next Step: All street lights and street signs required as part of the development approval are installed.
19. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
20. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
21. Next Step: Final inspection of all ~~required~~ the existing Tree Conservation area by Urban Forestry Staff.



# Administrative Approval Action

Home2 Suites Hotel: SR-77-17  
Transaction# 530756, AA# 3759

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**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 6-4-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Planning Dir./Designee) *Angie Bely* Date: 6/4/2018  
Staff Coordinator: Daniel L. Stegall

# Design Adjustment Staff Response



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

<b>PROJECT</b>	Project Name	Home2Suites Raleigh	
	Development Case Number	SR-77-2017	
	Transaction Number	530756	
	Design Adjustment Number	DA - 15 - 2018	
<b>Staff recommendation based upon the findings in the applicable code(s):</b>			
<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access		<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	
<input type="checkbox"/> UDO Art. 8.4 New Streets		<input type="checkbox"/> Raleigh Street Design Manual	
Staff <b>SUPPORTS</b> <input checked="" type="checkbox"/> <b>DOES NOT SUPPORT</b> <input type="checkbox"/> the design adjustment request.			
<b>DEPARTMENTS</b>			
<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning	
<input checked="" type="checkbox"/> Development Engineering <i>KC Beard</i>		<input checked="" type="checkbox"/> Transportation	
<input type="checkbox"/> Engineering Services		<input checked="" type="checkbox"/> Parks & Recreation and Cult. Res.	
<input type="checkbox"/> Public Utilities			
<b>STAFF RESPONSE</b>	<b>CONDITIONS:</b>		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			

*[Signature]*  
**Authorized Signature** *KIRK WITH W. RITCHIE, PE, MPA* *6/4/2018*  
*ENGINEERING AND INFRASTRUCTURE MANAGER*

\*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Sheet List Table	
Sheet Number	Sheet Title
C01	COVER SHEET
C02	EXISTING CONDITIONS
C03	SITE PLAN
C04	GRADING AND DRAINAGE PLAN
C05	UTILITY PLAN
C06	LANDSCAPE PLAN
C07	SAND FILTER DETAILS
C08	STORM DRAINAGE AREA MAP
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A106	ROOF PLAN
A201	BUILDING ELEVATIONS
A202	BUILDING ELEVATIONS
A203	BUILDING ELEVATION CALCULATIONS
A204	BUILDING ELEVATION CALCULATIONS

# ADMINISTRATIVE SITE REVIEW PACKAGE PROPOSED

## HOME 2 SUITES RALEIGH RALEIGH, WAKE COUNTY, NORTH CAROLINA

SR-77-17  
TRANSACTION 530756



VICINITY MAP  
SCALE: 1" = 500'

**HensonFoley**  
Landscape Architecture | Civil Engineering | Surveying  
8712 Lindholm Dr Suite 202A, Huntersville, NC 28078  
p: 704.875.1615 | www.hensonfoley.com  
NC ENGINEERING BOARD LICENSE # C-2781  
NC LAND SURVEYING BOARD LICENSE # PL-189

**HOME2 SUITES RALEIGH**  
PIN # 1726696549  
3951 SUMNER BLVD, RALEIGH, WAKE COUNTY, NORTH CAROLINA

**COVER SHEET**

**Administrative Site Review Application**  
(for UDO Districts only)

**DEVELOPMENT SERVICES DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 300 | Raleigh, NC 27601 | 919.996.2495 | ext 919.996.1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919.996.4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse <input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number Assigned Project Coordinator Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION	
Development Name: <b>Home2 Suites Raleigh</b>	
Zoning District: <b>CX-5-CU</b>	Overlay District (if applicable) <input type="checkbox"/> Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Use: <b>Hotel</b>	
Property Address(es): <b>3951 Sumner Blvd, Raleigh NC</b>	Major Street Locator: <b>Sumner Blvd. @ Triangle Town Blvd.</b>
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:	
P.I.N. <b>1726696549</b>	P.I.N. <b></b>

<input type="checkbox"/> Apartment <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> Duplex <input type="checkbox"/> Other: If other, please describe:	<input type="checkbox"/> Elderly Facilities <input type="checkbox"/> School <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo	<input type="checkbox"/> Hospitals <input type="checkbox"/> Shopping Center <input type="checkbox"/> Banks <input type="checkbox"/> Retail	<input checked="" type="checkbox"/> Hotels/Motels <input type="checkbox"/> Office <input type="checkbox"/> Industrial Building <input type="checkbox"/> Cottage Court
---	---	---	--

**WORK SCOPE**  
Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.  
Proposed project is a five story hotel with required parking lot and site improvements

**DESIGN ADJUSTMENT OR ADMIN ALTERNATE**  
Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

<b>CLIENT/DEVELOPER/OWNER</b>	Company <b>North Raleigh Hospitality, LLC</b> Name (s) <b>Milan Patel</b>
	Address <b>9800 San Remo Place, Wake Forest, NC</b>
	Phone <b>252.757.2525</b> Email <b>construction@milkamhospitality.com</b> Fax <b></b>

<b>CONSULTANT (Contact Person for Plans)</b>	Company <b>HensonFoley</b> Name (s) <b>Katie Geier, Tim Foley</b>
	Address <b>8712 Lindholm Drive, Suite 202A, Huntersville, NC</b>
	Phone <b>704.875.1615</b> Email <b>katie@hensonfoley.com</b> Fax <b></b>

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) <b>CX-5-CU</b>	Proposed building use(s) <b>Hotel</b>
If more than one district, provide the acreage of each: <b>2.64</b>	Existing Building(s) sq. ft. gross <b>0</b>
Overlay District	Proposed Building(s) sq. ft. gross <b>69,000</b>
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) <b>69,000</b>
Off street parking: Required <b>95</b> Provided <b>95</b>	Proposed height of building(s) <b>62'</b> max.
COA (Certificate of Appropriateness) case #	# of stories <b>5</b>
BOA (Board of Adjustment) case # <b>A-</b>	Ceiling height of 1 <sup>st</sup> floor <b>14.43'</b>
CUID (Conditional Use District) case # <b>Z-35-16</b>	

Stormwater Information	
Existing Impervious Surface <b>0 / 0</b> acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface <b>1.42 / 61,86</b> acres/square feet	If Yes, please provide: Alluvial Soils <input type="checkbox"/> Flood Study <input type="checkbox"/>
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	FEMA Map Panel #

FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2:2:7
3. Total Number of Hotel Units <b>95</b>	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above) <b>0</b>	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**SIGNATURE BLOCK (Applicable to all developments)**  
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.  
I hereby designate **HensonFoley** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.  
Signed: *Milan Patel* Date: **7/21/2017**  
Printed Name: **MILAN PATEL**  
Signed: \_\_\_\_\_ Date: \_\_\_\_\_  
Printed Name: \_\_\_\_\_

**CONDITIONAL USE DISTRICT CONDITIONS**  
**2-35-16 - 3951 SUMNER BOULEVARD** NORTH SIDE AT THE INTERSECTION OF TRIANGLE TOWN BOULEVARD, BEING WAKE COUNTY PIN 1726696549, APPROXIMATELY 2.64 ACRES REZONED TO COMMERCIAL MIXED USE-5 STORIES-CONDITIONAL USE (CX-5-CU), CONDITIONS DATED: DECEMBER 2, 2016  
1. ALL PRINCIPAL BUILDINGS OTHER THAN THOSE LISTED BELOW ARE LIMITED TO A MAXIMUM HEIGHT OF FOUR STORIES AND 42 FEET:  
A. HOTEL, MOTEL, INN (UDO SECTION 6.4.6.D)  
2. A PEDESTRIAN CONNECTION WILL BE MADE TO THE EXISTING GREENWAY ALONG TRIANGLE TOWN BOULEVARD AS ALLOWED BY THE GREENWAY EASEMENT AND MAINTENANCE AGREEMENT [BK 8867 PG 246] RECORDED IN THE WAKE COUNTY REGISTER OF DEEDS OR AS ALLOWED BY A POSSIBLE FUTURE EASEMENT ON THE PROPERTY PIN # 1727506318 AS MAY BE REQUIRED.  
**COMPLIANCE**  
1. PRINCIPAL HOTEL BUILDING HEIGHT SHALL NOT EXCEED FIVE STORIES AND 75'. SEE ARCHITECTURAL PLANS.  
2. CONNECTION PROVIDED TO EXISTING CONNECTION POINT ALONG MALL DRIVEWAY WHICH CONNECTS TO GREENWAY ALONG TRIANGLE TOWN BOULEVARD.

**ADMINISTRATIVE ALTERNATE CONDITIONS**  
**AAD-30-17 - 3951 SUMNER BLVD**  
THE APPLICANT REQUESTS AN ADMINISTRATIVE ALTERNATE FOR SECTION 7.2.5C - SERVICE AREAS SCREENING  
THE PLANNING AND DEVELOPMENT DIRECTOR FINDS THAT THE REQUESTED ALTERNATE GENERALLY MEETS THE FINDINGS ENUMERATED IN THE UNIFIED DEVELOPMENT ORDINANCE, SUBJECT THE FOLLOWING CONDITIONS:  
1. THAT THE MATERIALITY OF THE DUMPSTER ENCLOSURE EITHER MATCHES DURABLE MATERIALS ON THE BUILDING OR CONSISTS OF OTHER DURABLE, HIGH-QUALITY MATERIALS (DATED NOVEMBER 20, 2017)  
**COMPLIANCE**  
1. PROPOSED DUMPSTER ENCLOSURE SHALL BE MADE WITH DURABLE, HIGH-QUALITY MATERIALS

**DEVELOPER:**  
**NORTH RALEIGH HOSPITALITY, LLC**  
**9800 SAN REMO PLACE**  
**WAKE FOREST, NC 27587**  
**PH: 252.757.2525**  
**construction@milkamhospitality.com**

ALL SITE CONSTRUCTION SHALL CONFORM TO THE CITY OF RALEIGH  
STANDARD DETAILS AND SPECIFICATIONS



- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAGMEN, ETC., AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

**REVISIONS:**  
1 - 12/18/17 PER CITY COMMENTS  
2 - 02/07/18 PER CITY COMMENTS  
3 - 03/16/18 PER CITY COMMENTS  
4 - 04/27/18 PER CITY COMMENTS

C01 - COVER.DWG  
PROJECT NUMBER: 216078  
DATE: 09/27/2017 DRAWN BY: KMG  
SHEET **C01** OF **09**



I, E. MATTHEW CASH, CERTIFY THAT THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, THAT THIS GROUND SURVEY WAS PERFORMED AT THE 95-PERCENT CONFIDENCE LEVEL (2-SIGMA) TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS. THAT THE SURVEY WAS COMPLETED ON FEBRUARY 1, 2016; AND ALL COORDINATES ARE BASED ON NC GRID (NAD 83 - 2011); AND ALL ELEVATIONS ARE BASED ON NAVD 88.

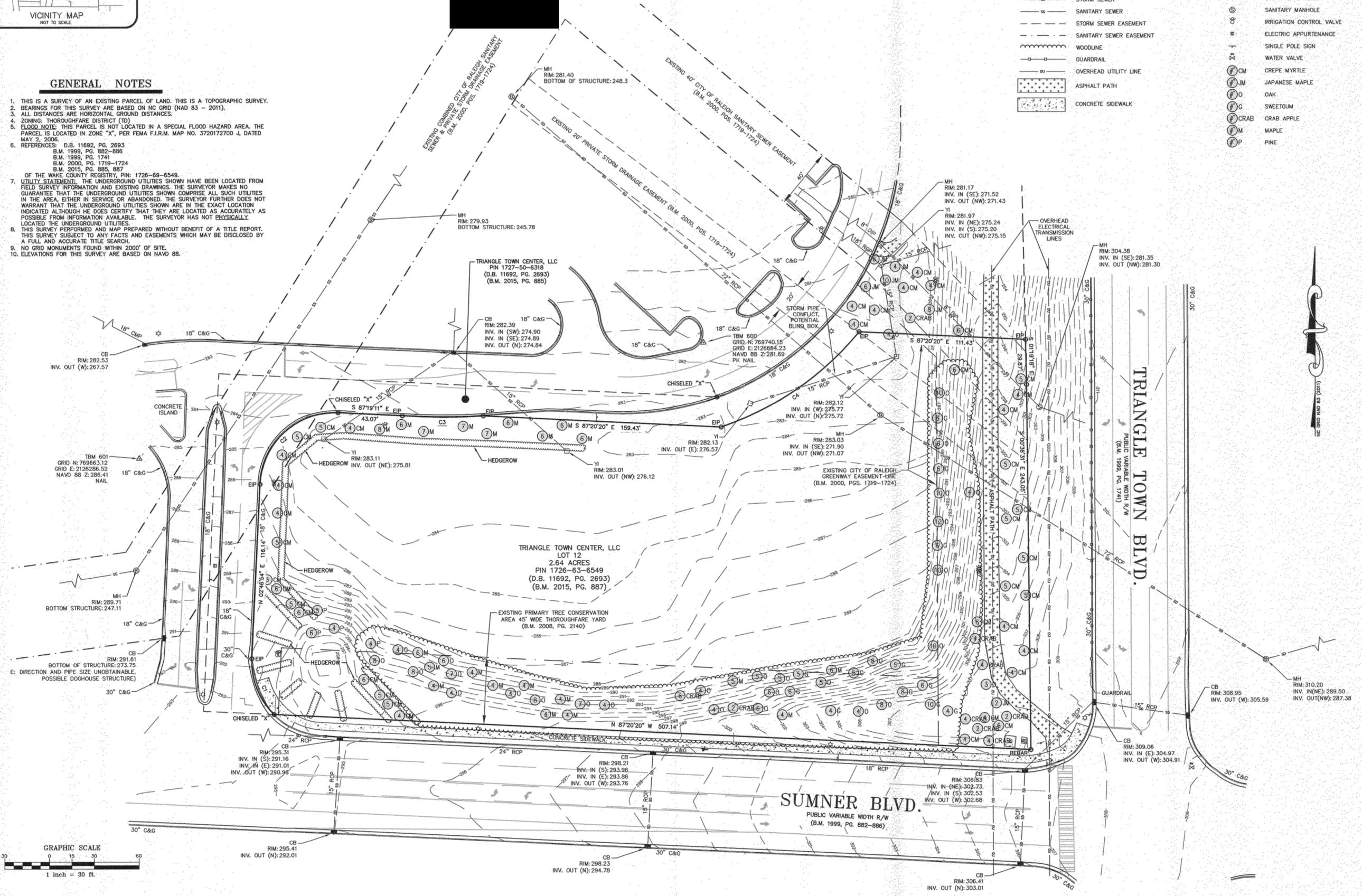
*E. Matthew Cash*  
E. MATTHEW CASH, P.L.S. L-5045

CURVE TABLE			
CURVE	RADIUS	ARC LENGTH	CHORD BEARING
C1	48.50'	41.30'	N 21°44'53" W
C2	50.00'	78.49'	N 47°42'24" E
C3	398.52'	54.22'	S 89°56'05" E
C4	206.00'	113.45'	N 55°38'20" E

- ### LEGEND
- PROPERTY LINE
  - - - ADJOINER PROPERTY LINE
  - - - BACK OF CURB
  - - - TOPOGRAPHIC INDEX CONTOUR (5-FOOT INTERVAL)
  - - - TOPOGRAPHIC CONTOUR (1-FOOT INTERVAL)
  - STORM SEWER
  - SANITARY SEWER
  - - - STORM SEWER EASEMENT
  - - - SANITARY SEWER EASEMENT
  - WOODLINE
  - GUARDRAIL
  - OVERHEAD UTILITY LINE
  - ASPHALT PATH
  - CONCRETE SIDEWALK
  - PROPERTY CORNER
  - ☆ LIGHTPOLE
  - △ TEMPORARY BENCH MARK
  - ⊙ STORM MANHOLE
  - STORM JUNCTION BOX
  - STORM CATCH BASIN
  - ⊙ SANITARY MANHOLE
  - ⊙ IRRIGATION CONTROL VALVE
  - ⊙ ELECTRIC APPURTENANCE
  - ⊙ SINGLE POLE SIGN
  - ⊙ WATER VALVE
  - ⊙ CREPE MYRTLE
  - ⊙ JAPANESE MAPLE
  - ⊙ OAK
  - ⊙ SWEETGUM
  - ⊙ CRAB APPLE
  - ⊙ MAPLE
  - ⊙ PINE

### GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCEL OF LAND. THIS IS A TOPOGRAPHIC SURVEY.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID (NAD 83 - 2011).
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ZONING: THOROUGHFARE DISTRICT (TD)
- FLOOD NOTE: THIS PARCEL IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA. THE PARCEL IS LOCATED IN ZONE "X", PER FEMA F.I.R.M. MAP NO. 3720172700 J, DATED MAY 2, 2006.
- REFERENCES: D.B. 11692, PG. 2693  
B.M. 1999, PG. 882-886  
B.M. 1999, PG. 1741  
B.M. 2000, PG. 1719-1724  
B.M. 2015, PG. 885, 887  
OF THE WAKE COUNTY REGISTRY, PIN: 1726-69-6549.
- UTILITY STATEMENT: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- NO GRID MONUMENTS FOUND WITHIN 2000' OF SITE.
- ELEVATIONS FOR THIS SURVEY ARE BASED ON NAVD 88.



THE JOHN R. MCADAMS COMPANY, INC.  
2905 Meridian Parkway  
Durham, North Carolina 27713  
Phone: 919.487.0283  
(800) 733-5646 • McAdamsCo.com

MCADAMS

REVISIONS:

NO.	DATE	DESCRIPTION
1	02/19/16	ADD LINES FOR STORM CONFLICT OVERLAP SHEET FILE

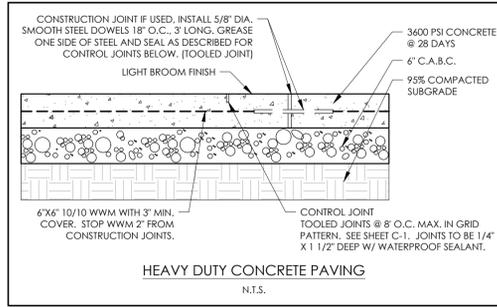
OWNER:  
TRIANGLE TOWN CENTER, LLC  
C/O CBL CENTER SITE 500  
2030 HAMILTON PLACE BLVD  
CHATTANOOGA, TN 37421

PROJECT NO. SPEC-16050  
FILENAME: SPEC-16050-C1  
CHECKED BY: RTF  
DRAWN BY: EMC  
SCALE: 1" = 30'  
DATE: 01-29-2016  
SHEET NO. 1-1

TRIANGLE TOWN CENTER  
LOT 12  
NEUSE TOWNSHIP, WAKE COUNTY, NORTH CAROLINA  
EXISTING CONDITIONS

PROJECT NO. SPEC-16050  
FILENAME: SPEC-16050-C1  
CHECKED BY: RTF  
DRAWN BY: EMC  
SCALE: 1" = 30'  
DATE: 01-29-2016  
SHEET NO. 1-1

MCADAMS

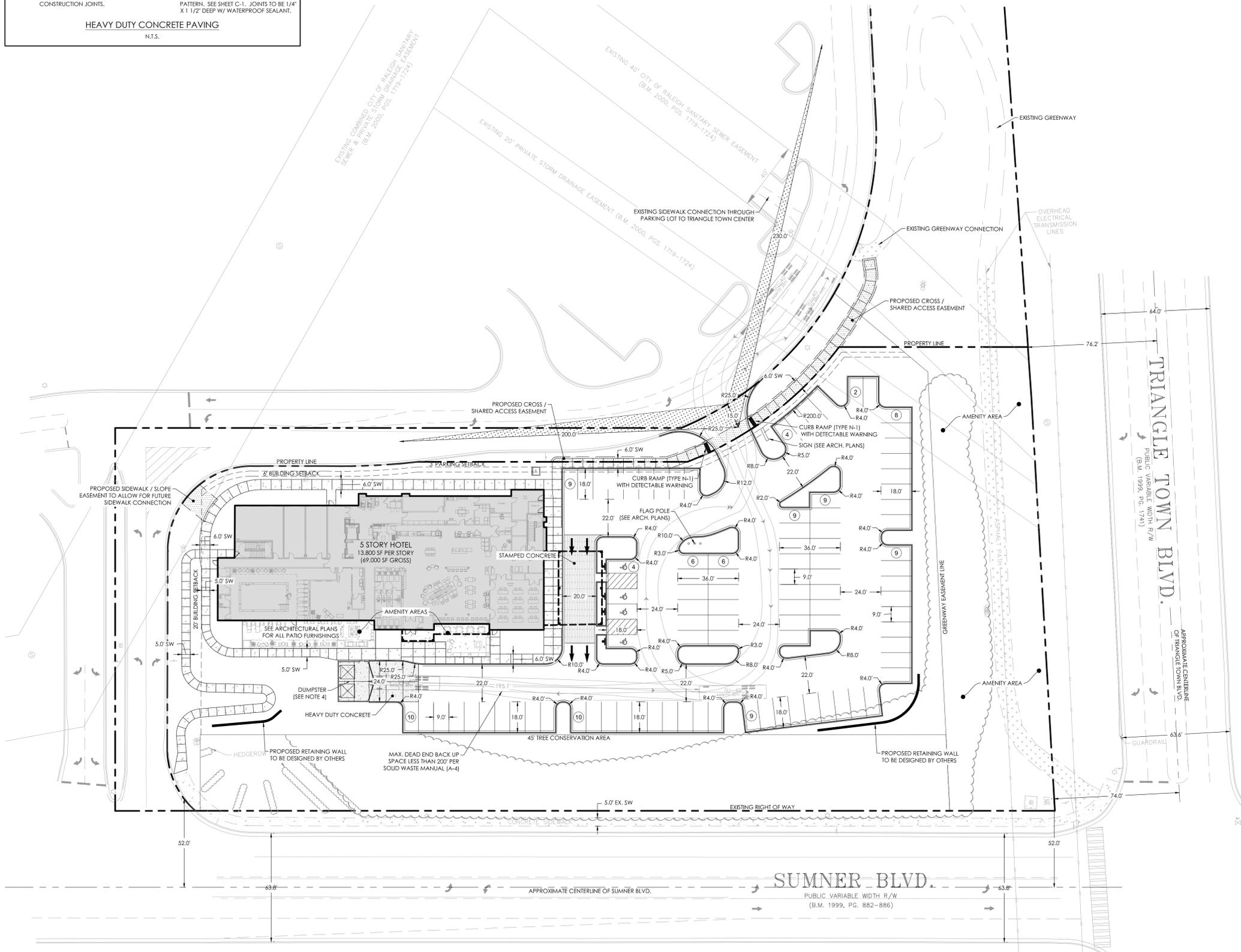
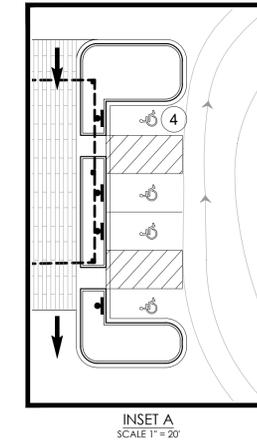


SITE DATA	
LOCATION:	3951 SUMNER BLVD (PIN: 1726696549) RALEIGH, NORTH CAROLINA
ZONE:	COMMERCIAL MIXED USE-5 STORIES- CONDITIONAL USE (CX-5-CU)
USE:	HOTEL
SITE AREA:	2.64 ACRES
CONTACT:	TIM FOLEY 704-875-1615 HENSONFOLEY

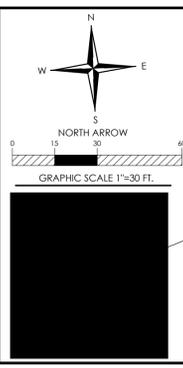
ZONING CODE SUMMARY		
ITEM#	ITEM	PROVIDED
1	BUILDING SIZE	HOTEL 69,000 SF 95 GUESTROOMS
2	PARKING SPACES REQUIRED LODGING- 1 PER ROOM	95 SPACES (4 HANDICAP)
3	PARKING SPACES PROVIDED	95 SPACES (4 HANDICAP)
2	BICYCLE PARKING SPACES REQUIRED SHORT TERM - NONE LONG TERM - 1 PER 20 ROOMS	SHORT TERM - NONE LONG TERM - 5 SPACES
4	BICYCLE PARKING PROVIDED	SHORT TERM - NONE LONG TERM - 5 SPACES TO BE PROVIDED WITHIN BUILDING (SEE ARCH. PLAN)
5	BUILDING USE	HOTEL
6	AMENITY AREA REQUIRED 10% = 0.26 ACRES	0.04 ACRES - HOTEL PATIO AREAS 0.38 ACRES - GREENWAY EASEMENT

IMPERVIOUS AREA SUMMARY		
ITEM	AREA (ACRES)	% OF TOTAL SITE
PARCEL AREA	2.64	100%
ON SITE IMPERVIOUS AREA	1.42	53.79%
PERVIOUS AREA	0.77	29.17%
WOODED AREA	0.45	17.04%

- GENERAL NOTES**
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES.
  - SITE LIGHTING TO BE PROVIDED BY OTHERS.
  - BUILDING FOOTPRINT FOR REFERENCE ONLY. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND BUILDING STAKING. CONTRACTOR SHALL NOTIFY ENGINEER WITH DISCREPANCIES.
  - MATERIALITY OF DUMPSTER ENCLOSURE SHALL EITHER MATCH DURABLE MATERIALS ON THE BUILDING OR CONSIST OF OTHER DURABLE, HIGH-QUALITY MATERIAL.
  - SEE DETAIL SHEETS ### - ### FOR DETAILS



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NC LAND SURVEYING BOARD LICENSE # PL 358



**HOME2 SUITES RALEIGH**  
PIN # 1726696549  
3951 SUMNER BLVD, RALEIGH, WAKE COUNTY, NORTH CAROLINA

**SITE PLAN**

**REVISIONS:**

1 - 12/18/17 PER CITY COMMENTS
2 - 02/07/18 PER CITY COMMENTS
3 - 03/16/18 PER CITY COMMENTS
4 - 04/27/18 PER CITY COMMENTS

C03 - SITE PLAN.DWG
PROJECT NUMBER: 216078
DATE: 09/27/2017 DRAWN BY: KMG

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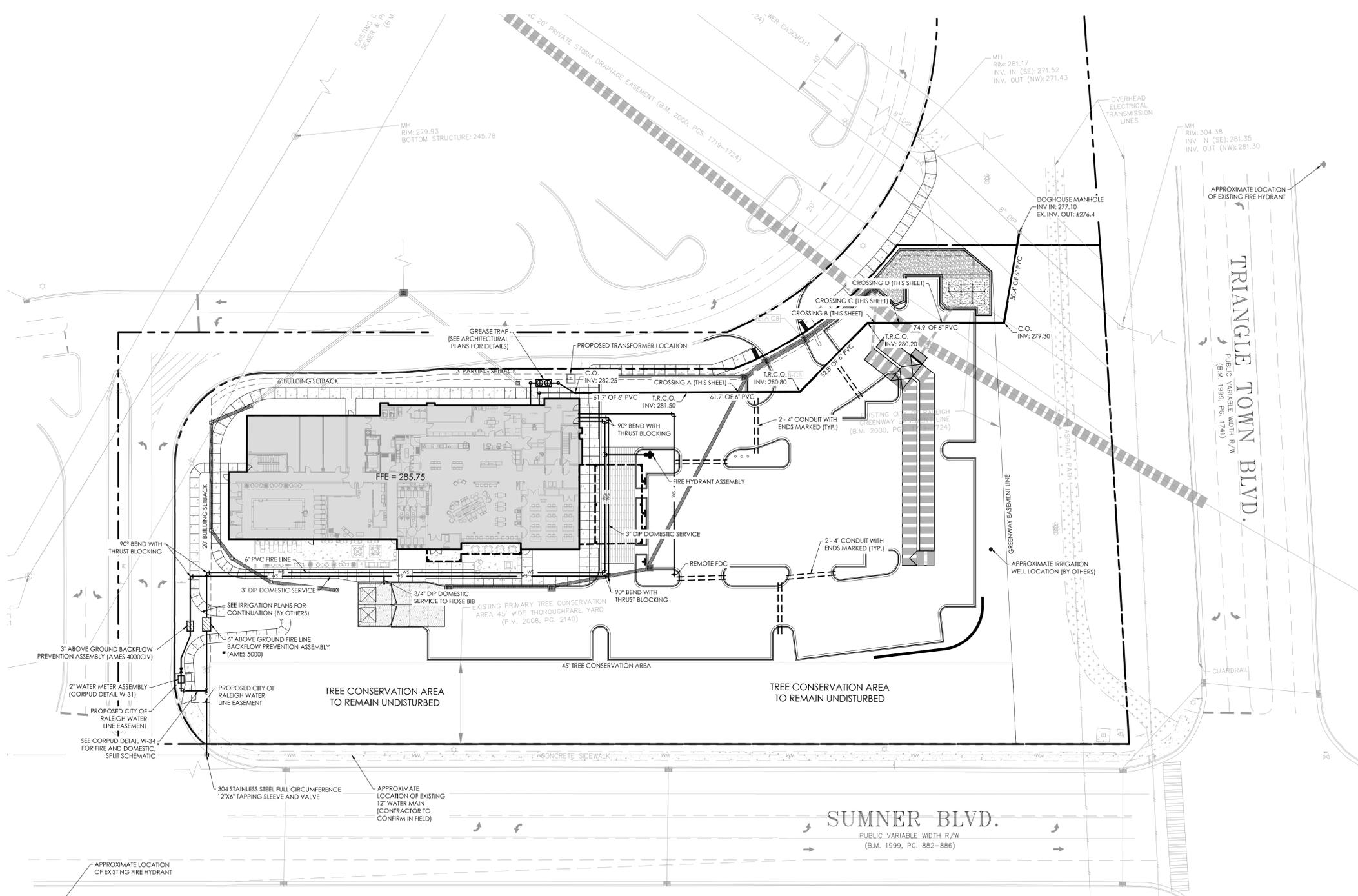
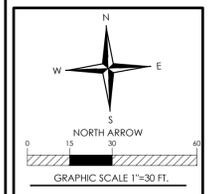
1-800-632-4949  
AVOID UTILITY DAMAGE

- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAGMEN, ETC., AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

SEE PROJECT DETAIL SHEETS FOR CITY OF RALEIGH UTILITY DETAILS

- STANDARD UTILITY NOTES (AS APPLICABLE):**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
  - UTILITY SEPARATION REQUIREMENTS:
    - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL
    - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
    - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
    - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
    - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED. SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 4" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & 5-49)
    - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
  - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
  - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
  - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
  - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
  - INSTALL 3" DIP WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
  - INSTALL 6" PVC SEWER SERVICES @ 1.10% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
  - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
  - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
  - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
  - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION
  - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX 8 OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

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NOTE: IMPACTS TO THE EXISTING GREENWAY FACILITY WILL BE AVOIDED WITH SANITARY SEWER CONNECTION. SHOULD ANY DAMAGE TO THE EXISTING GREENWAY PATH OCCUR AS A RESULT OF CONSTRUCTION ACTIVITIES, THE DEVELOPER SHALL BE FINANCIALLY RESPONSIBLE FOR REPAIRING ANY DAMAGE. ADDITIONALLY, THE DEVELOPER SHALL BE RESPONSIBLE TO RETURN THE AREA OF DISTURBANCE WITHIN THE GREENWAY EASEMENT TO EXISTING CONDITIONS FOLLOWING CONSTRUCTION

**UTILITY CROSSING INFORMATION**

CROSSING A - SSWR OVER STORM
BOTTOM OF 8" PVC SSWR = 281.18
TOP OF 15" RCP STORM = 280.22
CROSSING B - SSWR OVER STORM
BOTTOM OF 8" PVC SSWR = 280.15
TOP OF 15" RCP STORM = 279.04
CROSSING C - SSWR OVER STORM
BOTTOM OF 8" PVC SSWR = 279.99
TOP OF EXISTING 72" CMP STORM = 275.55
CROSSING D - SSWR OVER STORM
BOTTOM OF 8" PVC SSWR = 279.71
TOP OF 15" RCP STORM = 274.33

PLEASE NOTE: THESE ARE NOT INVERT ELEVATIONS. THICKNESS OF PIPE HAS BEEN TAKEN INTO ACCOUNT.

**HOME2 SUITES RALEIGH**  
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 3951 SUMNER BLVD., RALEIGH, WAKE COUNTY, NORTH CAROLINA  
**UTILITY PLAN**

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  - 2 - 02/07/18 PER CITY COMMENTS
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  - 4 - 04/27/18 PER CITY COMMENTS

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1-800-632-4949  
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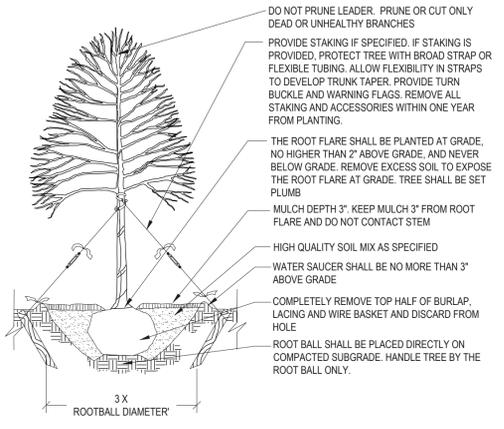
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C07 - UTILITY DWG  
 PROJECT NUMBER: 216078  
 DATE: 09/27/2017 DRAWN BY: KMG  
 SHEET **C05** OF **09**









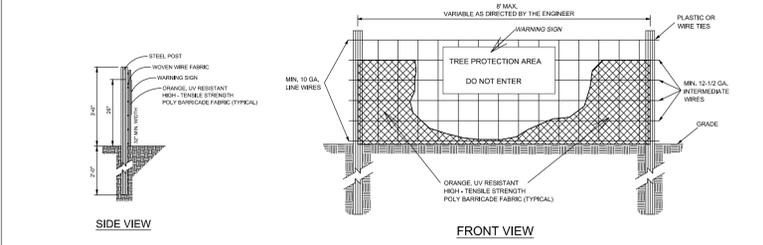
- NOTES:
- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
  - ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
  - STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
  - PLANTING SEASON OCTOBER - APRIL.
  - A TREE IMPACT PERMIT IS REQUIRED.
  - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

CONTACT INFORMATION:  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:  
TREES@RALEIGHNC.GOV  
WWW.RALEIGHNC.GOV

CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPT		
REVISIONS	DATE BY/VS	NOT TO SCALE

TREE PLANTING DETAIL

**PRCR-03**



THIS TREE PROTECTION FENCE DETAIL IS REQUIRED FOR PROTECTION OF TREE CONSERVATION AREAS (UDO ARTICLE 9.1, TREE CONSERVATION) AND FOR CREDIT OF EXISTING TREES (UDO SECTION 7.2.7.E.)

- NOTES:
- WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
  - LETTERS TO BE 2" HIGH MINIMUM. CLEARLY LEGIBLE AND SPACED AS DETAILED.
  - PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 90° ON CENTER THEREAFTER.
  - FOR TREE PROTECTION AREAS LESS THAN 20' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
  - ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
  - MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
  - ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF RALEIGH BASED ON ACTUAL FIELD CONDITIONS.

REVISIONS	DATE BY/VS	NOT TO SCALE

STANDARD TREE CONSERVATION AREA FENCE DETAIL

**TC-02**

**PLANT LIST**

QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	HEIGHT	CONDITION	SPACING
<b>TREES</b>						
8	Trident Maple	<i>Acer buergerianum</i>	3" cal.	10' min.	B&B	As Shown
2	Crape Myrtle	<i>Lagerstroemia sp.</i>	1.5" cal.	6' min.	B&B	As Shown
6	Chinese Pistache	<i>Pistachia chinensis</i>	3" cal.	10' min.	B&B	As Shown
7	Shumard Oak	<i>Quercus shumardii</i>	3" cal.	10' min.	B&B	As Shown
<b>SHRUBS</b>						
8	Glossy Abelia	<i>Abelia grandiflora</i>	3 gal.	18" min.	cont.	As Shown
32	Green Beauty Boxwood	<i>Buxus microphylla japonica 'Green Beauty'</i>	3 gal.	18" min.	cont.	As Shown
9	Hydrangea	<i>Hydrangea Macrophylla 'Lady In Red'</i>	3 gal.	18" min.	cont.	As Shown
68	Inkberry Holly	<i>Ilex glabra</i>	3 gal.	18" min.	cont.	As Shown
20	Fountain Grass	<i>Pennisetum alopecuroides 'Little Bunny'</i>	3 gal.	18" min.	cont.	As Shown
11	English Laurel	<i>Prunus laurocerasus 'Anbr'</i>	3 gal.	18" min.	cont.	As Shown

**GROUNDCOVER/PERENNIALS**

QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	HEIGHT	CONDITION	SPACING
159	Liriope	<i>Liriope muscari</i>	flat	6" min.	cont.	1.5'
9	Caradonna	<i>Salvia nemorosa 'Caradonna'</i>	flat	6" min.	cont.	2'

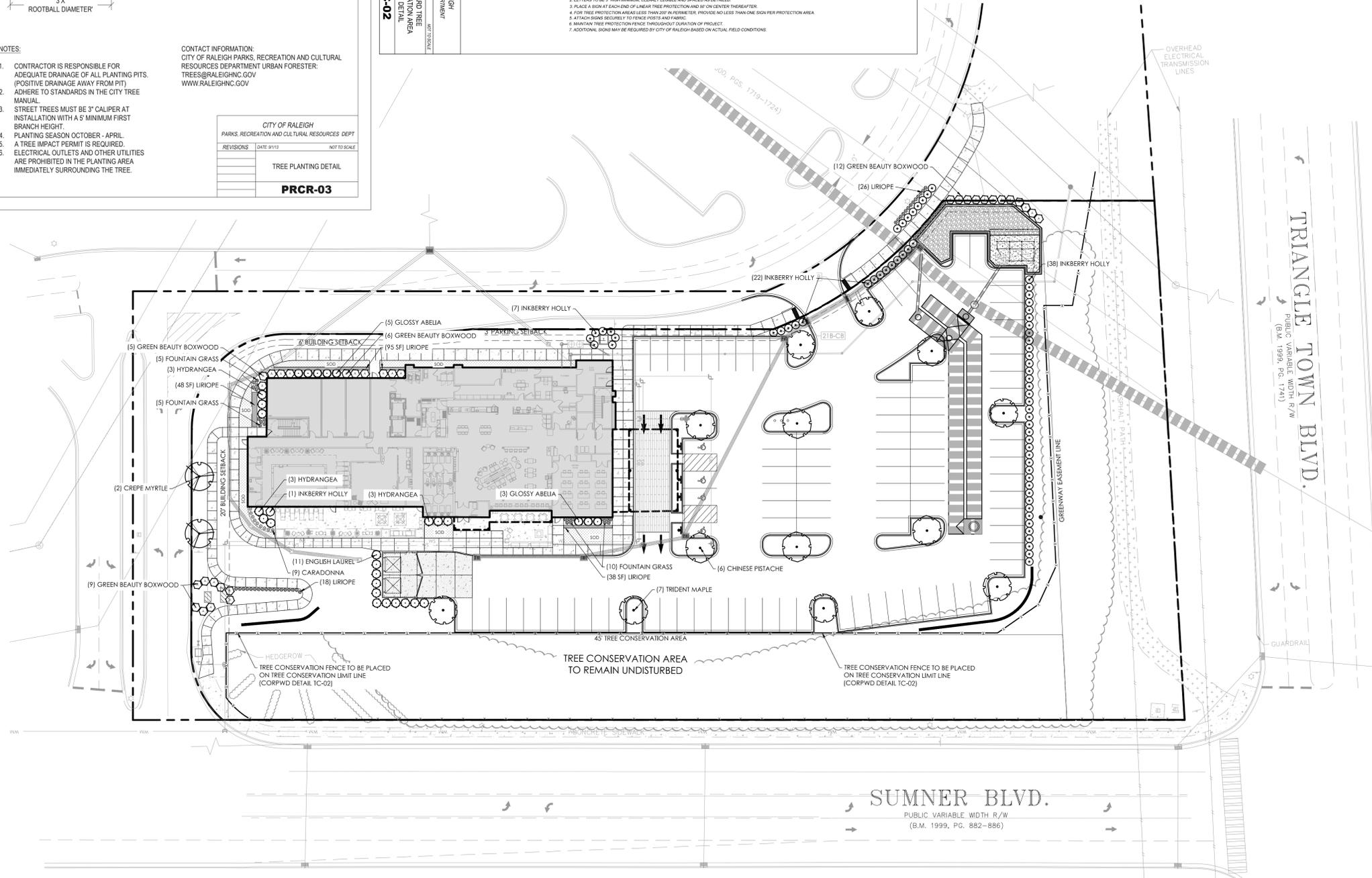
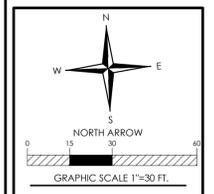
**SEED/SOD:**

SOD WILL BE PLACED AS INDICATED ON PLAN. LANDSCAPE CONTRACTOR TO SEED ALL OTHER DISTURBED AREAS.

- 1.1 PLANTING SOIL MIX
- A. MIX TOPSOIL WITH THE FOLLOWING SOIL AMENDMENTS IN THE FOLLOWING QUANTITIES:
- WEIGHT OF LIME PER 1000 SQ. FT.
  - RATIO OF LOOSE COMPOST TO TOPSOIL BY VOLUME: 1:4
  - RATIO OF LOOSE WOOD DERIVATIVES TO TOPSOIL BY VOLUME:
  - WEIGHT OF BONE MEAL PER 1000 SQ. FT.
  - WEIGHT OF COMMERCIAL FERTILIZER PER 1000 SQ. FT.
  - WEIGHT OF SLOW-RELEASE FERTILIZER PER 1000 SQ. FT.
- SOIL TEST PROVIDED BY CONTRACTOR REQUIRED FOR TOPSOIL MIX.

- NOTES:**
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.
  - A TREE IMPACT PERMIT IS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS FOR STREET TREES TO BE INSTALLED IN THE PUBLIC RIGHT-OF-WAY.
  - A FEE-IN-LIEU FOR A STREET TREES ALONG TRIANGLE TOWN BOULEVARD IS TO BE PAID PRIOR TO BUILDING PERMIT

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**HOME2 SUITES RALEIGH**  
PIN # 1726696549  
3951 SUMNER BLVD., RALEIGH, WAKE COUNTY, NORTH CAROLINA  
**LANDSCAPE PLAN**

**REVISIONS:**

1 - 12/18/17 PER CITY COMMENTS
2 - 02/07/18 PER CITY COMMENTS
3 - 03/16/18 PER CITY COMMENTS
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C08 - LANDSCAPE.DWG

PROJECT NUMBER: 216078

DATE: 09/27/2017 DRAWN BY: KMG

