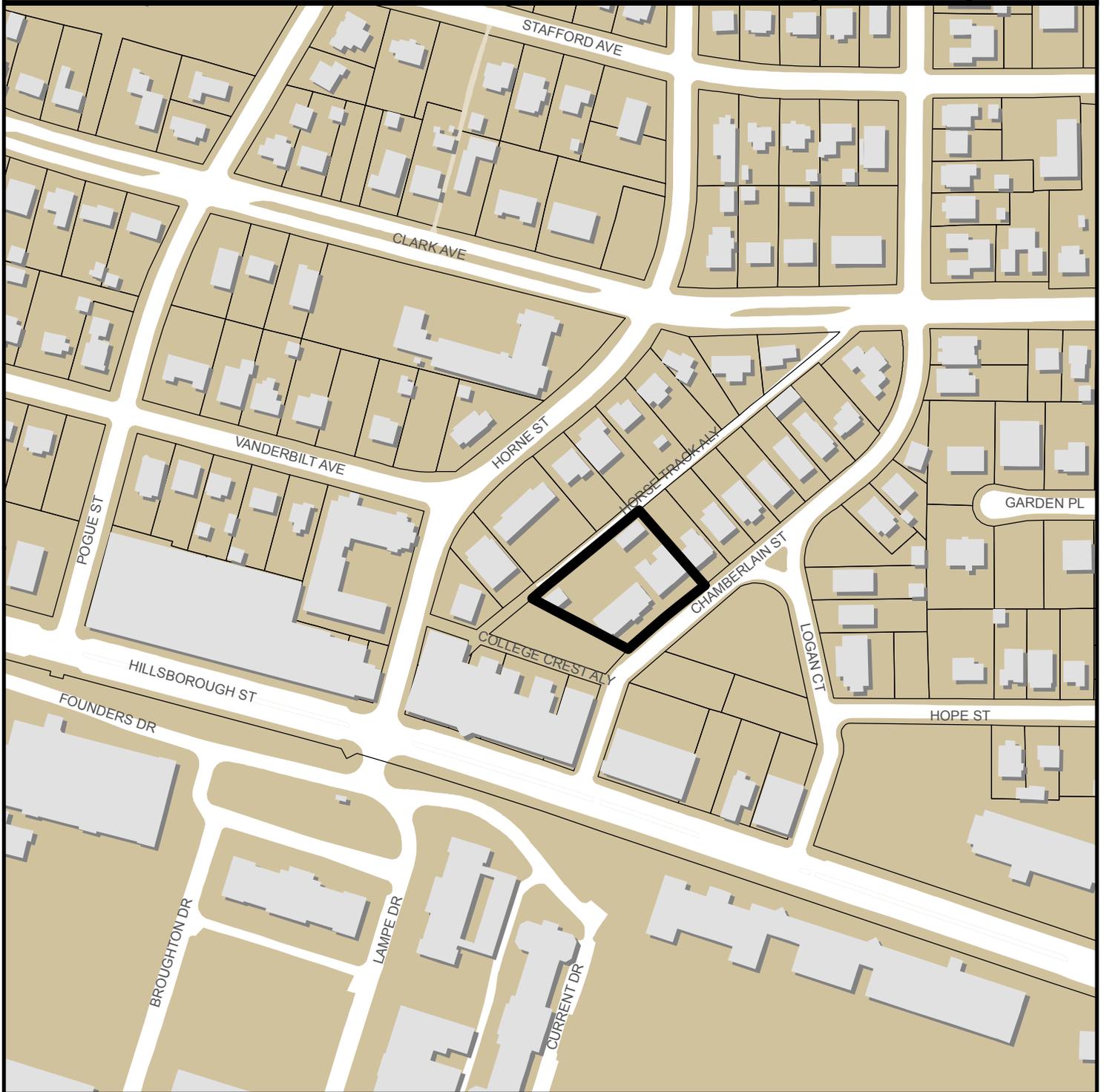


113 CHAMBERLAIN SR-78-2016



0 300 600 Feet

Zoning: **RX-3 w/SRPOD**
CAC: **Wade**
Drainage Basin: **Rocky Branch**
Acreage: **0.62**
Sq. Ft.: **41,155**

Planner: **Justin Rametta**
Phone: **(919) 996-2665**
Applicant: **Next Chapter
Properties, LLC**
Phone: **(919) 479-0980**





Administrative Approval Action

Case File / Name: SR-78-16, 113 Chamberlain St.
Transaction# 489234, AA#3664

City of Raleigh
Development Services
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
DS.help@raleighnc.gov
www.raleighnc.gov

REQUEST: Development of a .62 acre site zoned RX-3 into a 41,155 square foot apartment building containing 45 dwelling units.

LOCATION: 113 Chamberlain Street. Northwest side of Chamberlain St. between Hillsborough St. and Logan Ct.

**DESIGN
ADJUSTMENTS/
ALTERNATES,
ETC:**

An Administrative Alternate parking plan was approved for this project. A Design Adjustment was approved for an alternate Neighborhood Local Street section for Chamberlain St.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by John A Edwards and Co.

CONDITIONS OF APPROVAL AND NEXT STEPS:

Prior to issuance of a land disturbing permit for the site:

1. In accordance with Section 9.4.4, pay a surety equal to of the cost of clearing, grubbing and reseeded a site;

Prior to the issuance of any site permits or approval of concurrent review process, whichever is applicable:

2. A stormwater control plan with a stormwater operations and maintenance manual and budget must be approved by the Stormwater Engineer in compliance with Chapter 9 of the Unified Development Ordinance, including the designation of buffer areas and open space areas for stormwater purposes prior to grading or the approval of construction drawings whichever event comes first;
3. A nitrogen offset payment must be made to a qualifying mitigation bank;
4. A recombination plat must be recorded, combining the existing parcels into a single lot;
5. A Design Exception shall be required for the retaining wall within 2' of the property line;

Prior to issuance of building permits:

6. ½ of the required right of way for Chamberlain Street must be dedicated to the City of Raleigh and a copy of the recorded plat provided to the City;
7. Infrastructure construction plans for public improvements must be approved through the concurrent review process. This includes obtaining stub permits, a tree impact permit and a street lighting plan, if applicable;



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8. Demolition permit(s) must be issued for the existing structure(s) and the permit number(s) shown on all maps for recording;
9. An encroachment agreement for the retaining wall to be located within the public right-of-way must be approved by the City Council by separate action. An application for encroachment into the public right of way as indicated on the preliminary plan, shall be submitted to the City's Encroachment Coordinator in the Development Services Department for review, and the City Council approve the encroachment request. Following City Council approval of the encroachment, an encroachment agreement, prepared in accordance with Raleigh City Code Sections 12-1001 and 12-1021(a), shall be filed with the Development Services Department, and the encroachment agreement is to be recorded with the Wake County Register of Deeds. Maintenance of the encroachment shall be the responsibility of the owner;
10. In accordance with Section 8.1.3, a surety equal to 125% of the cost of development related improvements, including streetscape trees on Chamberlain Street, must be paid to the Development Services Department;
11. In accordance with Section 9.2.2, a surety equal to 125% of the cost of construction of a stormwater device must be paid to the City;
12. The developer must pay the City a stormwater facility replacement fund payment equal to 24% of the estimated cost of constructing all stormwater control facilities;
13. Right-of-way obstruction permits must be obtained for any construction activity within the right-of-way;

Prior to issuance of building occupancy permit:

14. Final inspection of required street trees by Urban Forestry staff is required;
15. All street lights and street signs required as part of the development approval, and for public safety, shall be coordinated with the proper authority and installed;
16. In accordance with Section 8.1.3 through 8.1.5 and the City's public infrastructure acceptance policy, the required underground public utility infrastructure improvements (water, sewer, reuse, storm drainage) shall be completed and an as-built plan and certification(s) for any such infrastructure reviewed and accepted by the City. A warranty surety in the amount of 15% of the total cost of the underground public utility infrastructure shall remain active;
17. In accordance with Section 9.2.2, an as-built plan and certification for any stormwater control device shall be reviewed and accepted by the City.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. To avoid allowing this plan approval to expire, the following must take place by the following dates:

3-Year Expiration Date: 8/25/2020

Obtain a valid building permit for the total area of the project, or a phase of the project.



Administrative Approval Action

Case File / Name: SR-78-16, 113 Chamberlain St.
Transaction# 489234, AA#3664

City of Raleigh
Development Services
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
DS.help@raleighnc.gov
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4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:

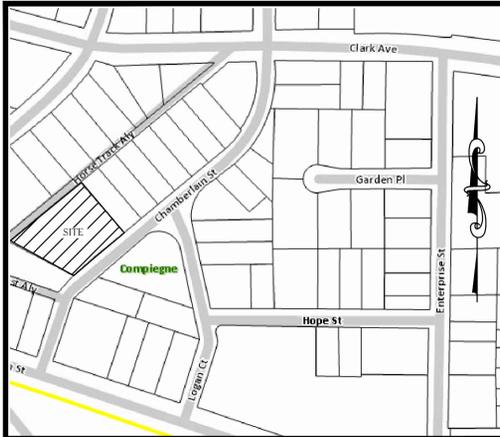
(Planning Dir.)

Kan Bowers (J. Rametta)

Date:

8/25/17

Staff Coordinator: Justin Rametta



VICINITY MAP
(NOT TO SCALE)

113 CHAMBERLAIN STREET

ADMINISTRATIVE SITE REVIEW

SR-78-16

TRANS. #489234

RALEIGH, NORTH CAROLINA

SEPTEMBER 27, 2016
REVISED MARCH 13, 2017
REVISED MAY 8, 2017

OWNER/DEVELOPER:

NEXT CHAPTER PROPERTIES, LLC
1939 Waukegan Rd. Suite 105
Glenview, IL 60025
(312) 479-0980

CIVIL ENGINEER:

JOHN A. EDWARDS & COMPANY
Consulting Engineers
NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com



LANDSCAPE ARCHITECT:

COALY DESIGN P.C.
300-200 Parham St. Suite G
Raleigh, N.C. 27601
Phone: (919) 539-0012
E-mail: kimberly@coalydesign.com

SITE DATA	
PROPERTY OWNER:	ITL RDU LLC 1939 WAUKEGAN RD GLENVIEW, IL 60025
SITE ADDRESS:	113 CHAMBERLAIN STREET
LOT SIZE:	27,090 SF (0.622 AC.)
WAKE COUNTY PIN #:	0794828023
ZONING DISTRICT:	RX-3
TOTAL ACREAGE:	EXISTING: 0.622 AC.
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL
EXISTING BUILDING AREA:	9,972 SF (OCCUPIABLE)
PROPOSED BUILDING AREA:	41,155 SF
PROPOSED BUILDING HEIGHT:	50'
EXISTING IMPERVIOUS AREA:	0.42 AC.
PROPOSED IMPERVIOUS AREA:	0.54 AC.
REQUIRED SETBACKS:	FRONT: 5' SIDE: 0' REAR: 0'
RESIDENTIAL APARTMENT BUILD-TO REQUIREMENTS:	70% BUILDING WIDTH IN PRIMARY BUILD TO 10-55'
PROVIDED BUILD TO:	136' BUILDING / 154' FRONTAGE = 88%
PROPOSED REQUIRED PARKING PER PARKING STUDY:	48.0 SPACES ACCESSIBLE PARKING: 1 PER 25 (UP TO 100)= 2 SPACES REQ. 3 SPACES PROVIDED

INDEX

CE-1	EXISTING CONDITIONS
CE-2	SITE PLAN
CE-3	UTILITY PLAN
CE-4	GRADING & STORMWATER MANAGEMENT PLAN
CE-5	STORMWATER MANAGEMENT DETAILS
LA-1	PLANTING PLAN
A-2.0	BUILDING ELEVATIONS
A-2.1	BUILDING ELEVATIONS

SOLID WASTE INSPECTIONS STATEMENT
DEVELOPER TO CONTRACT WITH PRIVATE
COLLECTION SERVICE FOR RECYCLING AND
SOLID WASTE REMOVAL. CONTAINERS WILL
BE STORED IN A DEDICATED ROOM FOR
WASTE LOCATED ON THE PARKING LEVEL.

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH CITY OF RALEIGH
STANDARDS AND SPECIFICATIONS.

Administrative Site Review Application (for UDO Districts only)



Development Services Customer Service Center | Exchange Plaza, Suite 401 | Raleigh, NC 27601 | (919) 996-2015 | ext. 919-996-1831
Litchford Satellite Office | 130 Litchford Road | Raleigh, NC 27601 | (919) 996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot
<input type="checkbox"/> Townhouse	Transaction Number
	Assigned Project Coordinator
	Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: **113 Chamberlain**
Zoning District: **RX-3** Overlay District (if applicable): **SRPOD** Inside City Limits? Yes No
Proposed Use: **Apartment Building**
Property Address(es): **113 Chamberlain Street** Major Street Locator:
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N.	P.I.N.	P.I.N.	P.I.N.
0794828023			

What is your project type? Apartment Elderly Facilities Hospitals Hotels/Motels Office
 Mixed Residential Non-Residential Condo School Shopping Center Industrial Building
 Duplex Telecommunication Tower Religious Institutions Residential Condo Barns Cottage Court
 Other: If other, please describe: _____

WORK SCOPE: Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
3-story 42 Unit Apartment Building with ground level parking garage

DESIGN ADJUSTMENT OR ADMIN ALTERNATE: Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE.
Requesting Design Adjustment to provide 3.5' grass strip with 5' sidewalk and street trees behind sidewalk

CLIENT/DEVELOPER/OWNER: Company **Next Chapter Properties, LLC** Name (s) **Patrick Quinn**
Address **1939 Waukegan Rd. Suite 105 Glenview, IL 60025**
Phone **312-479-0980** Email **pquinn@nextcdp.com** Fax _____

CONSULTANT (Contact Person for Plans): Company **John A. Edwards & Company** Name (s) **Jon Callahan**
Address **333 Wade Ave, Raleigh, NC 27605**
Phone **919-828-4428** Email **jon_callahan@jaeco.com** Fax **919-828-4711**

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) RX-3	Proposed building use(s) Apartments
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 6855
Overlay District SRPOD	Proposed Building(s) sq. ft. gross 41,155
Total Site Acres: Inside City Limits: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 0.622 Acres	Total sq. ft. gross (existing & proposed) 41,155
Off street parking: Required N/A Provided 48 Per parking study	Proposed height of building(s) 50'
COA (Certificate of Appropriateness) case # _____	# of stories 3
BOA (Board of Adjustment) case # A: _____	Ceiling height of 1 st floor _____
CUD (Conditional Use District) case # Z: _____	
Stormwater Information	
Existing Impervious Surface: 0.42 AC. acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface: 0.54 AC. acres/square feet	If Yes, please provide: Flood Study
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	FEMA Map Panel # _____
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units: 45	5. Bedroom Units: 1br 15 2br 12 3br 9 4br or more 9
2. Total # Of Congregate Care Or Life Care Dwelling Units _____	6. Infill Development 2.2.7
3. Total Number of Hotel Units _____	7. Open Space (only) or Amenity _____
4. Overall Total # Of Dwelling Units (1-6 Above) 45	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.
I hereby designate **Jon R. Callahan, P.E.** to serve as my agent regarding this application, to execute and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.
Signed: *Jon R. Callahan* Date: **9/27/16**
Printed Name: **Jon R. Callahan**
SIGNED: _____ Date: _____
Printed Name: _____



JOHN A. EDWARDS & COMPANY
Consulting Engineers
and Land Surveyors

NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
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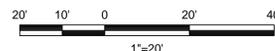
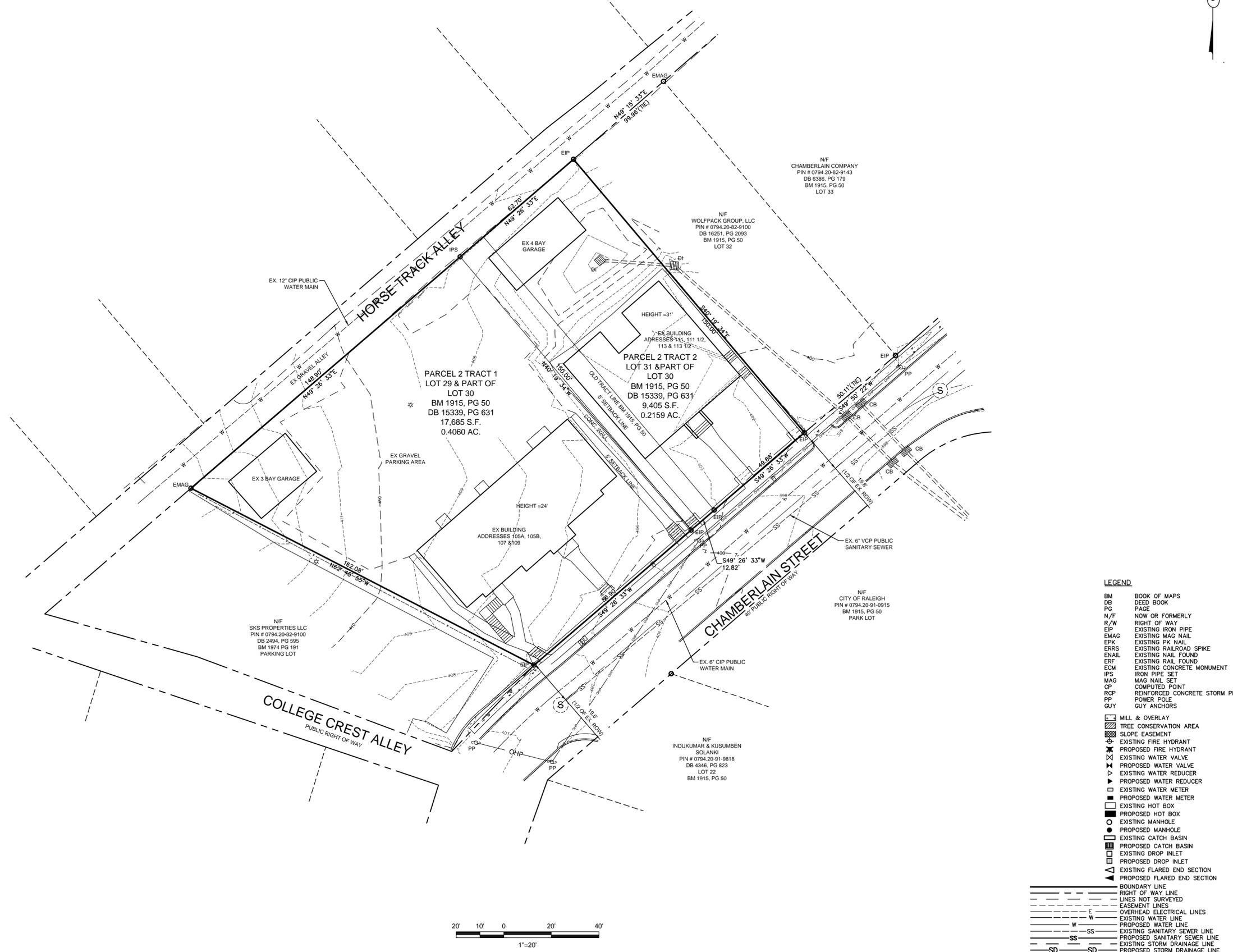
Project
113 CHAMBERLAIN
113 CHAMBERLAIN STREET
RALEIGH, NC 27607

Client
**CHAMBERLAIN
MANAGEMENT LLC**
603 WEST INDUSTRY DRIVE
OXFORD, NC 27565

Revisions		
Number	Description	Date
1	CITY OF RALEIGH COMMENTS	3/13/17
2	CITY OF RALEIGH COMMENTS	5/8/17

Approvals
**ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH CITY OF RALEIGH
STANDARDS AND SPECIFICATIONS.**

Drawing
Title
**EXISTING
CONDITIONS**
JAECO # 540.01
Drawn By CJB
Checked By JRC
Date Issued 9/27/16



- LEGEND**
- BM BOOK OF MAPS
 - DB DEED BOOK
 - FACE PAGE
 - N/F NOW OR FORMERLY
 - R/W RIGHT OF WAY
 - EIP EXISTING IRON PIPE
 - EMAG EXISTING MAG NAIL
 - EPK EXISTING PK NAIL
 - ERRS EXISTING RAILROAD SPIKE
 - EVAIL EXISTING NAIL FOUND
 - ERF EXISTING RAIL FOUND
 - ECM EXISTING CONCRETE MONUMENT
 - IPS IRON PIPE SET
 - MAG MAG NAIL SET
 - CP COMPUTED POINT
 - RCP REINFORCED CONCRETE STORM PIPE
 - PP POWER POLE
 - GUY GUY ANCHORS
-
- [Symbol] MILL & OVERLAY
 - [Symbol] TREE CONSERVATION AREA
 - [Symbol] SLOPE EASEMENT
 - [Symbol] EXISTING FIRE HYDRANT
 - [Symbol] PROPOSED FIRE HYDRANT
 - [Symbol] EXISTING WATER VALVE
 - [Symbol] PROPOSED WATER VALVE
 - [Symbol] EXISTING WATER REDUCER
 - [Symbol] PROPOSED WATER REDUCER
 - [Symbol] EXISTING WATER METER
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 - [Symbol] PROPOSED HOT BOX
 - [Symbol] EXISTING MANHOLE
 - [Symbol] PROPOSED MANHOLE
 - [Symbol] EXISTING CATCH BASIN
 - [Symbol] PROPOSED CATCH BASIN
 - [Symbol] EXISTING DROP INLET
 - [Symbol] PROPOSED DROP INLET
 - [Symbol] EXISTING FLARED END SECTION
 - [Symbol] PROPOSED FLARED END SECTION
-
- BOUNDARY LINE
 - RIGHT OF WAY LINE
 - LINES NOT SURVEYED
 - EASEMENT LINES
 - OVERHEAD ELECTRICAL LINES
 - EXISTING WATER LINE
 - PROPOSED WATER LINE
 - EXISTING SANITARY SEWER LINE
 - PROPOSED SANITARY SEWER LINE
 - EXISTING STORM DRAINAGE LINE
 - PROPOSED STORM DRAINAGE LINE

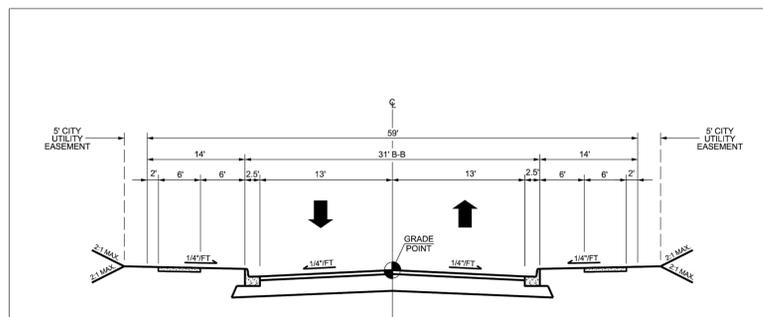


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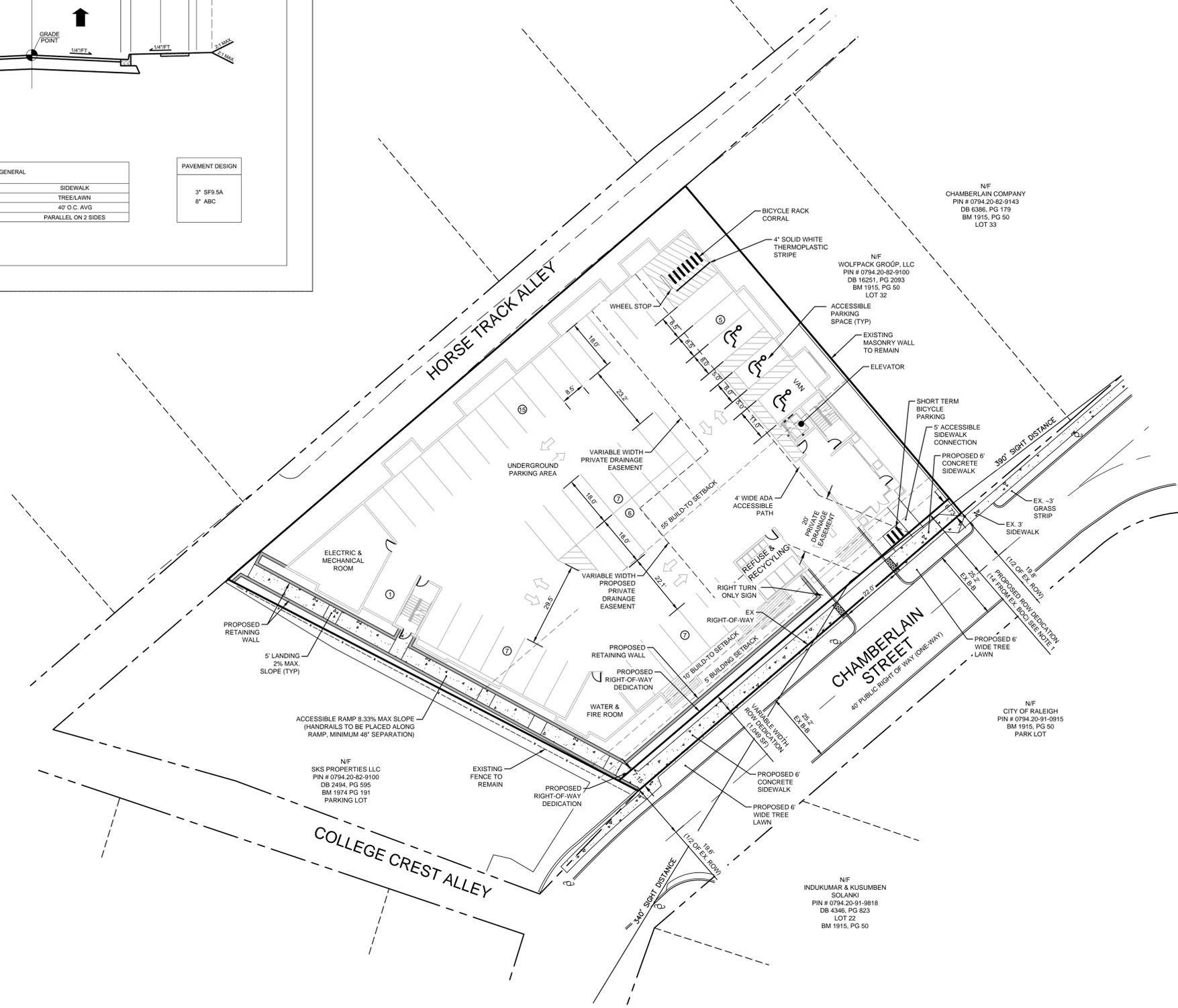
NOTES
1. PER CONVERSATION WITH CITY OF RALEIGH TRANSPORTATION STAFF, BECAUSE CHAMBERLAIN IS A ONE-WAY STREET A DESIGN ADJUSTMENT IS BEING SUBMITTED TO PROVIDE SUFFICIENT RIGHT-OF-WAY DEDICATION TO ESTABLISH THE PROPOSED RIGHT-OF-WAY 8' 14" FROM THE EXISTING BACK-OF-CURB. THIS WILL ALLOW FOR CONSTRUCTION & MAINTENANCE OF A 6' TREE LAWN AND 6' SIDEWALK WITH 2' BETWEEN BACK-OF-SIDEWALK AND RIGHT-OF-WAY.



REVISIONS	CITY OF RALEIGH PUBLIC WORKS DEPARTMENT
DATE	DATE
BY	BY
DESCRIPTION	DESCRIPTION
T-10.11	NEIGHBORHOOD LOCAL STREET (TWO-WAY)

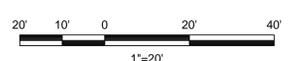
GENERAL	
WALKWAY TYPE	SIDEWALK
PLANTING TYPE	TREELAWN
TREE SPACING	47' O.C. AVG.
PARKING TYPE	PARALLEL ON 2 SIDES

PAVEMENT DESIGN	
3" SF9.5A	
8" ABC	



LEGEND

BM	BOOK OF MAPS
DB	DEED BOOK
PG	PAGE
N/F	NOW OR FORMERLY
R/W	RIGHT OF WAY
EP	EXISTING IRON PIPE
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[Symbol]	PROPOSED STORM DRAINAGE LINE



SOLID WASTE INSPECTIONS STATEMENT
DEVELOPER TO CONTRACT WITH PRIVATE COLLECTION SERVICE FOR RECYCLING AND SOLID WASTE REMOVAL. CONTAINERS WILL BE STORED IN A DEDICATED ROOM FOR WASTE LOCATED ON THE PARKING LEVEL.

Revisions

Number	Description	Date
1	CITY OF RALEIGH COMMENTS	3/13/17
2	CITY OF RALEIGH COMMENTS	5/8/17

Approvals

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

SITE PLAN

JAECO # 540.01
Drawn By CZB
Checked By JRC
Date Issued 9/27/16

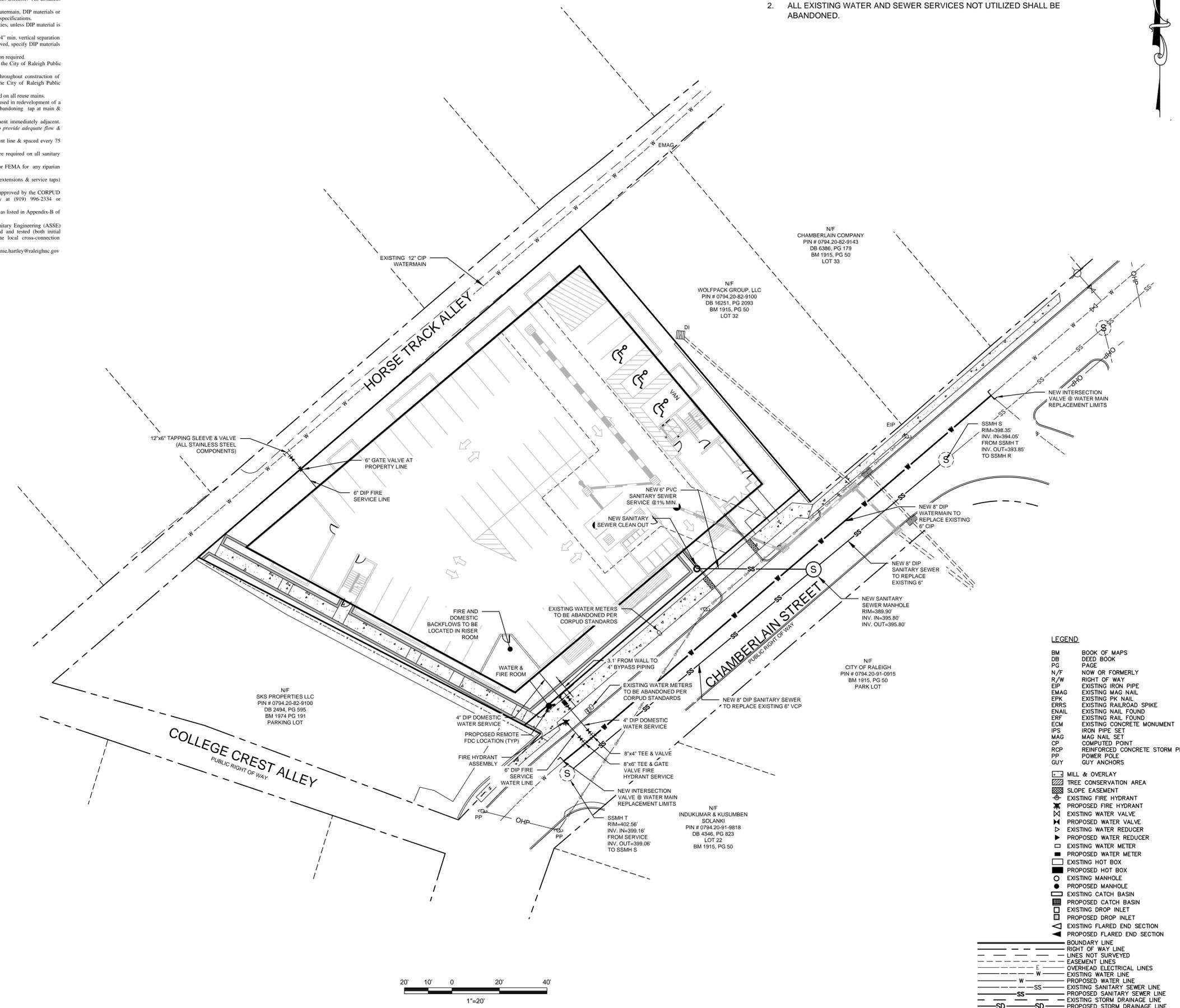
CE-2

STANDARD UTILITY NOTES (as applicable):

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
- Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to wateline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to wateline specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
- Install 3/4" copper water services with meters located at ROW or within a 2x2' Wateline Easement immediately adjacent. **NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.**
- Install 4" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 996-2334 or timothy.beasley@raleighnc.gov for more information.
- Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information.

NOTES:

- EXISTING WATER MAIN AND SANITARY SEWER MAINS ALONG FRONTAGE TO BE REPLACED UNDER THE URBAN REDEVELOPMENT MAIN REPLACEMENT REIMBURSEMENT POLICY.
- ALL EXISTING WATER AND SEWER SERVICES NOT UTILIZED SHALL BE ABANDONED.



JOHN A. EDWARDS & COMPANY
 Consulting Engineers
 and Land Surveyors

NC License F-0289
 333 Wade Ave., Raleigh, N.C. 27605
 Phone: (919) 828-4428
 Fax: (919) 828-4711
 E-mail: info@jaeco.com

www.jaeco.com

Project
113 CHAMBERLAIN
 113 CHAMBERLAIN STREET
 RALEIGH, NC 27607

Client
CHAMBERLAIN
 MANAGEMENT LLC
 603 WEST INDUSTRY DRIVE
 OXFORD, NC 27565

Revisions

Number	Description	Date
1	CITY OF RALEIGH COMMENTS	3/13/17
2	CITY OF RALEIGH COMMENTS	5/8/17

Approvals

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

Drawing Title
UTILITY PLAN

JAECO # 540.01
 Drawn By CZB
 Checked By JRC
 Date Issued 9/27/16

CE-3

- LEGEND**
- BM BOOK OF MAPS
 - DB DEED BOOK
 - PG PAGE
 - N/F NOW OR FORMERLY
 - R/W RIGHT OF WAY
 - EIP EXISTING IRON PIPE
 - EMAG EXISTING MAG NAIL
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 - ERRS EXISTING RAILROAD SPIKE
 - EVAIL EXISTING NAIL FOUND
 - ERF EXISTING RAIL FINDER
 - ECM EXISTING CONCRETE MONUMENT
 - IFS IRON PIPE SET
 - MAG MAG NAIL SET
 - CP COMPUTED POINT
 - RCP REINFORCED CONCRETE STORM PIPE
 - PP POWER POLE
 - GUY GUY ANCHORS
- [Symbol] MILL & OVERLAY
 - [Symbol] TREE CONSERVATION AREA
 - [Symbol] SLOPE EASEMENT
 - [Symbol] EXISTING FIRE HYDRANT
 - [Symbol] PROPOSED FIRE HYDRANT
 - [Symbol] EXISTING WATER VALVE
 - [Symbol] PROPOSED WATER VALVE
 - [Symbol] EXISTING WATER REDUCER
 - [Symbol] PROPOSED WATER REDUCER
 - [Symbol] EXISTING WATER METER
 - [Symbol] PROPOSED WATER METER
 - [Symbol] EXISTING HOT BOX
 - [Symbol] PROPOSED HOT BOX
 - [Symbol] EXISTING MANHOLE
 - [Symbol] PROPOSED MANHOLE
 - [Symbol] EXISTING CATCH BASIN
 - [Symbol] PROPOSED CATCH BASIN
 - [Symbol] EXISTING DROP INLET
 - [Symbol] PROPOSED DROP INLET
 - [Symbol] EXISTING FLARED END SECTION
 - [Symbol] PROPOSED FLARED END SECTION
- BOUNDARY LINE
 - RIGHT OF WAY LINE
 - LINES NOT SURVEYED
 - EASEMENT LINES
 - OVERHEAD ELECTRICAL LINES
 - W EXISTING WATER LINE
 - SS EXISTING SANITARY SEWER LINE
 - SD EXISTING STORM DRAINAGE LINE

