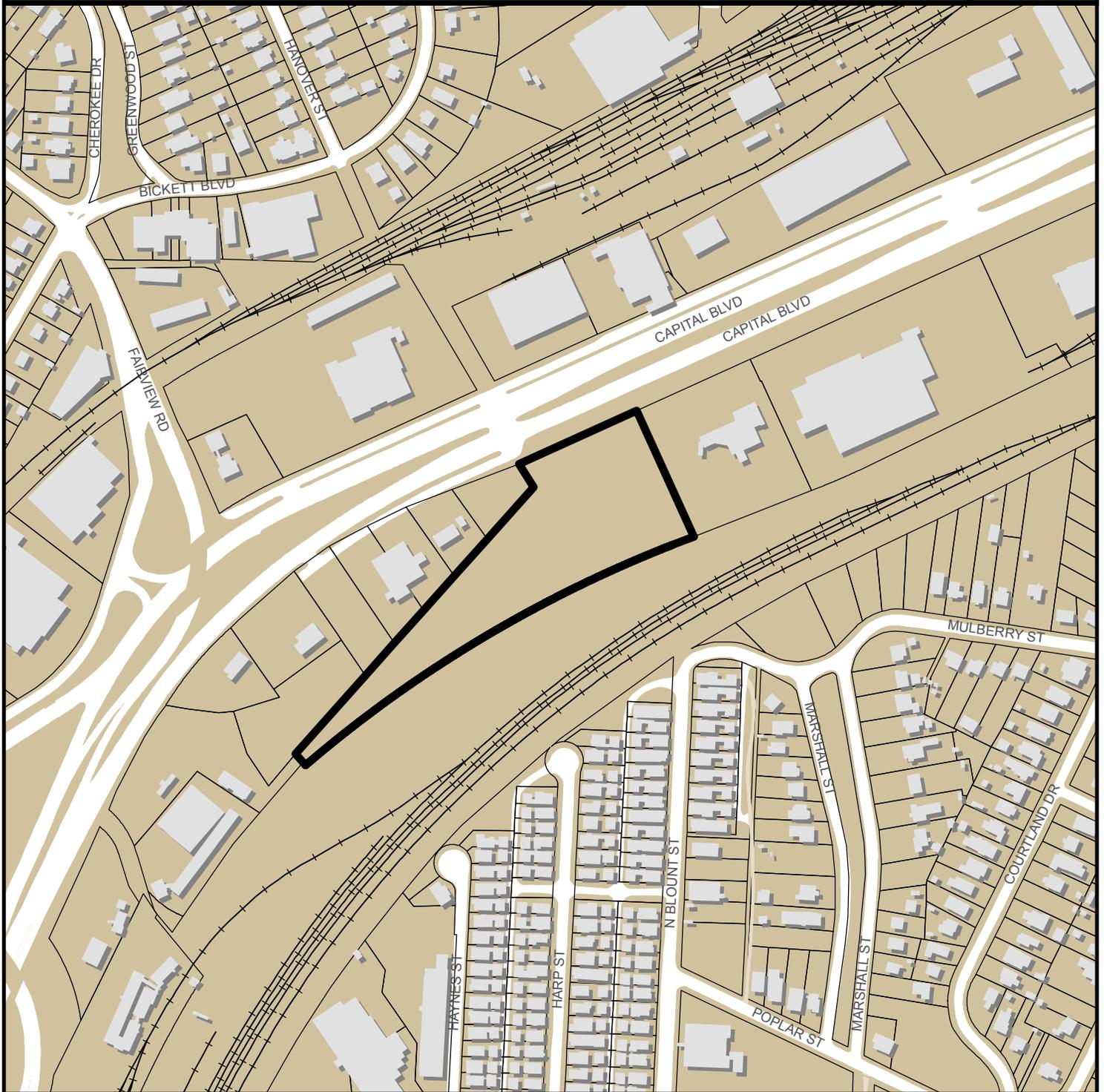


CAPITAL BOULEVARD BREWERY SR-78-17



0 300 600 Feet

Zoning: **IX-5**

CAC: **Mordecai**

Drainage Basin: **Pigeon House**

Acreage: **5.11**

Sq. Ft.: **29,480**

Planner: **Ryan Boivin**

Phone: **(919) 996-2681**

Applicant: **1380 Capital Blvd**

LLC





Administrative Approval Action

Case File / Name: SR-78-17, Capital Boulevard Brewery
Transaction # 531079, AA # 3709

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Capital Boulevard, to the east of the intersection with Fairview Rd. The site address is 1380 Capital Boulevard, which is inside City limits.

REQUEST: Development of a 4.45 acre tract zoned IX-5 into a 29,480 square foot building for a brewery, warehouse, and restaurant/bar.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: A design adjustment was approved for block perimeter.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by OBS Landscape Architects, dated December 4, 2017.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

STORMWATER

1. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of a mass grading permit or other site permit, whichever comes first.
2. Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.
3. Prior to site permitting a nitrogen offset payment must be made to a qualifying nitrogen mitigation bank.

URBAN FORESTRY

4. Obtain required stub impact permits from the City of Raleigh.
5. Next Step: Prior to the issuance of a mass grading permit or other site permit, whichever comes first, submit a final tree conservation plan with a permit approved by Urban Forestry staff that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required.
6. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.



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PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

7. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Subdivisions, Recombinations, Right Of Way and/or Easement Dedications, and Tree Conservation Areas.
8. A demolition permit shall be obtained.
9. Provide fire flow analysis.

ENGINEERING

10. An offer of cross access agreement for a driveway connection on the southeast side of the site between the subject lot, PIN 1704756665, and the adjacent lot PIN 1704852906, shall be approved by the Development Services Department for recording with the Wake County Register of Deeds, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one (1) day of lot recordation. A recorded copy of these documents must be provided to the Development Services Department.
11. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

STORMWATER

12. Next Step: The flood prone areas, as approved by the City Stormwater Engineer, must be shown on the preliminary plan and shall be shown on the recorded map;

URBAN FORESTRY

13. A final inspection of required tree conservation and right of way tree protection areas by Urban Forestry staff must be completed.

Prior to issuance of building occupancy permit:

1. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
2. Next Step: Required underground public utility infrastructure improvements (water, sewer, reuse, storm drainage) shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
3. Next Step: All street lights and street signs required as part of the development approval are installed.
4. Next Step: Final inspection of all required Tree Conservation areas by Urban Forestry Staff.



Administrative Approval Action

Case File / Name: SR-78-17, Capital Boulevard Brewery
Transaction # 531079, AA # 3709

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EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 1-25-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Planning Dir./ Designee) *Amya B. Taylor* Date: 1/25/2018

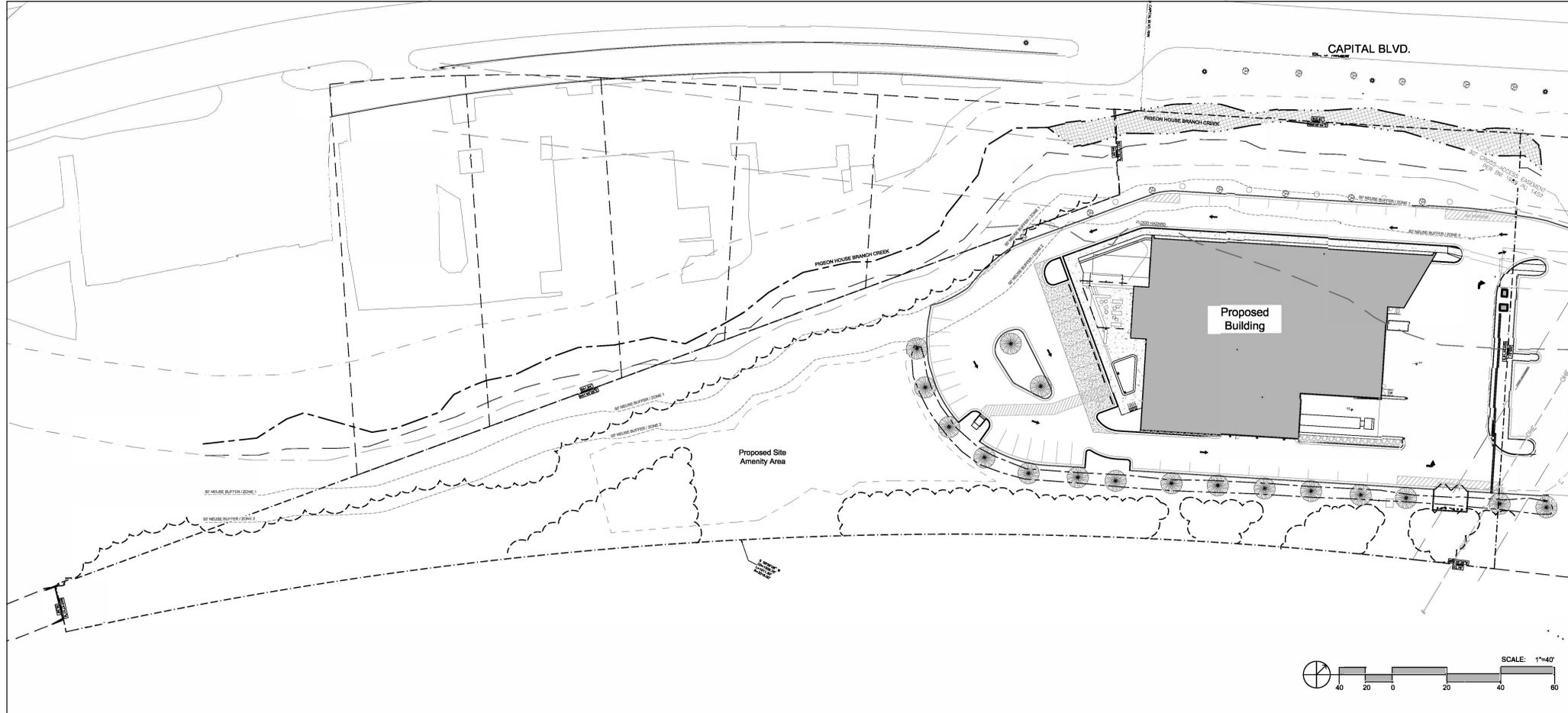
Staff Coordinator: Ryan Boivin

Capital Boulevard Brewery

Level 3 Administrative Site Plan Review SR-78-17 (Transaction # 531079)

CITY OF RALEIGH
1380 CAPITAL BLVD, RALEIGH, NC

September 29, 2017 / Revised December 4, 2017 / Third Submittal



Administrative Site Review Application (for UDO Districts only)



Development Services Customer Service Center | 1 Pkwy | New, Suite 400 | Raleigh, NC 27611 | 919.996.2495 | TDD: 919.996.1831
Litchford Satellite Office: 8520 - 101 Litchford Road | Raleigh, NC 27611 | 919.996.4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Transaction Number
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Assigned Project Coordinator
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot	Assigned Team Leader
<input type="checkbox"/> Townhouse		

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # **490835**

GENERAL INFORMATION

Development Name: **Capital Boulevard Brewery**

Zoning District: **IX-5** Overlay District (if applicable): _____ Inside City Limits? Yes No

Proposed Use: **Brewery**

Property Address(es): **1380 Capital Boulevard** Major Street Locator: _____

Wake County Property Identification Numbers (PINs) for each parcel to which these guidelines will apply:

P.I.N. 1704756665	P.I.N.	P.I.N.	P.I.N.
--------------------------	--------	--------	--------

What is your project type? Apartment Church/Facilities Hospital Motel/Hotels Office

Mixed Residential Non-Residential Condo School Shopping Center Apartments Industrial Building

Duplex Telecommunication Tower Religious Institutions Residential Condo Retail Cottage Court

Other: If other, please describe: _____

WORK SCOPE Per City Code Section 10.2.B.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
Construction of brewery and associated site work.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE.

CLIENT/DEVELOPER/OWNER

Company: **1380 Capital Blvd LLC** Name (s): **John Glover**

Address: **3301 Dryden Court Raleigh, NC 27609**

Phone: _____ Email: _____ Fax: _____

CONSULTANT (Contact Person for Plans)

Company: **obs landscape architects** Name (s): **Brian Starkey**

Address: **PO Box 28504 Raleigh, NC 27611**

Phone: **919-755-0046** Email: **brian@obsia.net** Fax: **NA**

PAGE 1 OF 3

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REVISION 05.13.16

SCOPE OF WORK:

The primary use of the building will be a new brewery, which is permitted in the IX-5 zoning district, per UDO 6.5.2.A. Brewing operations along with packaging, warehousing and distribution of the product will occur inside the building. The building also will include an approximately 1,700sf tasting room with accompanying 700sf outdoor patio and office space to support the brewery operations. An outdoor amenity area is provided as required.

GENERAL NOTES:

- The City of Raleigh will not provide solid waste service for this site. A private solid waste contractor shall be used.

LANDSCAPE ARCHITECT:



obs
landscape architects
po box 28504
raleigh nc 27611
919-755-0046
obsia.net

CIVIL ENGINEER:

grounded
ENGINEERING
P.O. Box 37132
Raleigh NC 27627
919.439.5694
grounded-engineering.com



ARCHITECT:

**PERKINS
+ WILL**

VICINITY MAP



NOT TO SCALE

DRAWING INDEX:

- SITE / CIVIL**
- S001 BOUNDARY & TOPOGRAPHIC SURVEY / EXISTING CONDITIONS
 - TCP-01 TREE CONSERVATION PLAN
 - TCP-02 TREE CONSERVATION PLAN PHOTO PANELS
 - L-100 DEMOLITION PLAN
 - L-200 OVERALL SITE PLAN
 - L-201 SITE PLAN
 - L-300 GRADING PLAN
 - L-400 PLANTING PLAN
 - D100 SITE DETAILS 1
 - D101 SITE DETAILS 2
 - C-001 GENERAL NOTES - CIVIL
 - C-500 STORM DRAINAGE PLAN
 - C-700 SITE UTILITY PLAN
- ARCHITECTURAL**
- A10-03 ROOF PLAN
 - A20-01 BUILDING EXTERIOR ELEVATIONS
 - A20-02 BUILDING EXTERIOR ELEVATIONS
 - A30-02 ENLARGED PLANS AND ELEVATIONS
- ELECTRICAL**
- E002 ELECTRICAL LIGHTING PLAN AND PHOTOMETRICS
 - E003 LIGHTING CUTSHEETS

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) IX-5	Proposed building use(s) Brewery, warehouse
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross N/A
Overlay District NA	Proposed Building(s) sq. ft. gross 29,480
Total Site Acres: inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 4.45 acres	Total sq. ft. gross (existing & proposed) 29,480
Off street parking: Required 30 Provided 44	Proposed height of building(s) 35 ft
CDA (Certificate of Appropriateness) case # NA	# of stories 2
BOA (Board of Adjustment) case # A-NA	Ceiling height of 1 st Floor
CUD (Conditional Use District) case # 2- NA	
Stormwater information	
Existing impervious Surface: 75,519 sf acres/square feet	Flood Hazard Area <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed impervious Surface: 75,772 sf acres/square feet	If Yes, please provide: <input type="checkbox"/> FEMA Map Panel # 3720170400J
Neuse River Buffer: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2,2,7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate Brian H. Starkey to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed: Brian H. Starkey	Date: 10-27-17
Signed: John C. Glover	Date: _____
Signed: _____	Date: _____
Signed: _____	Date: _____

PAGE 2 OF 3

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REVISION 05.13.16

CONSULTANTS

CIVIL
GROUNDED ENGINEERING
PO BOX 37132, RALEIGH, NC 27627

STRUCTURAL
CALYX ENGINEERS & CONSULTANTS
6750 TRYON ROAD, CARY, NC 27518

MEP
SIGMA ENGINEERED SOLUTIONS, PC
2100 GATEWAY CENTRE BLVD, SUITE 100,
MORRISVILLE, NC 27560

LANDSCAPING
OBS LANDSCAPE ARCHITECTS
PO BOX 28504, RALEIGH, NC 27611

OWNER
JOHN GLOVER



PROJECT

**Capital Boulevard
Brewery**
CAPITAL BOULEVARD,
RALEIGH, NC

JOHN GLOVER
1323 CAPITAL BLVD,
RALEIGH, NC 27603
KEYPLAN

ADMINISTRATIVE SITE REVIEW 29 SEPTEMBER 2017



ISSUE CHART

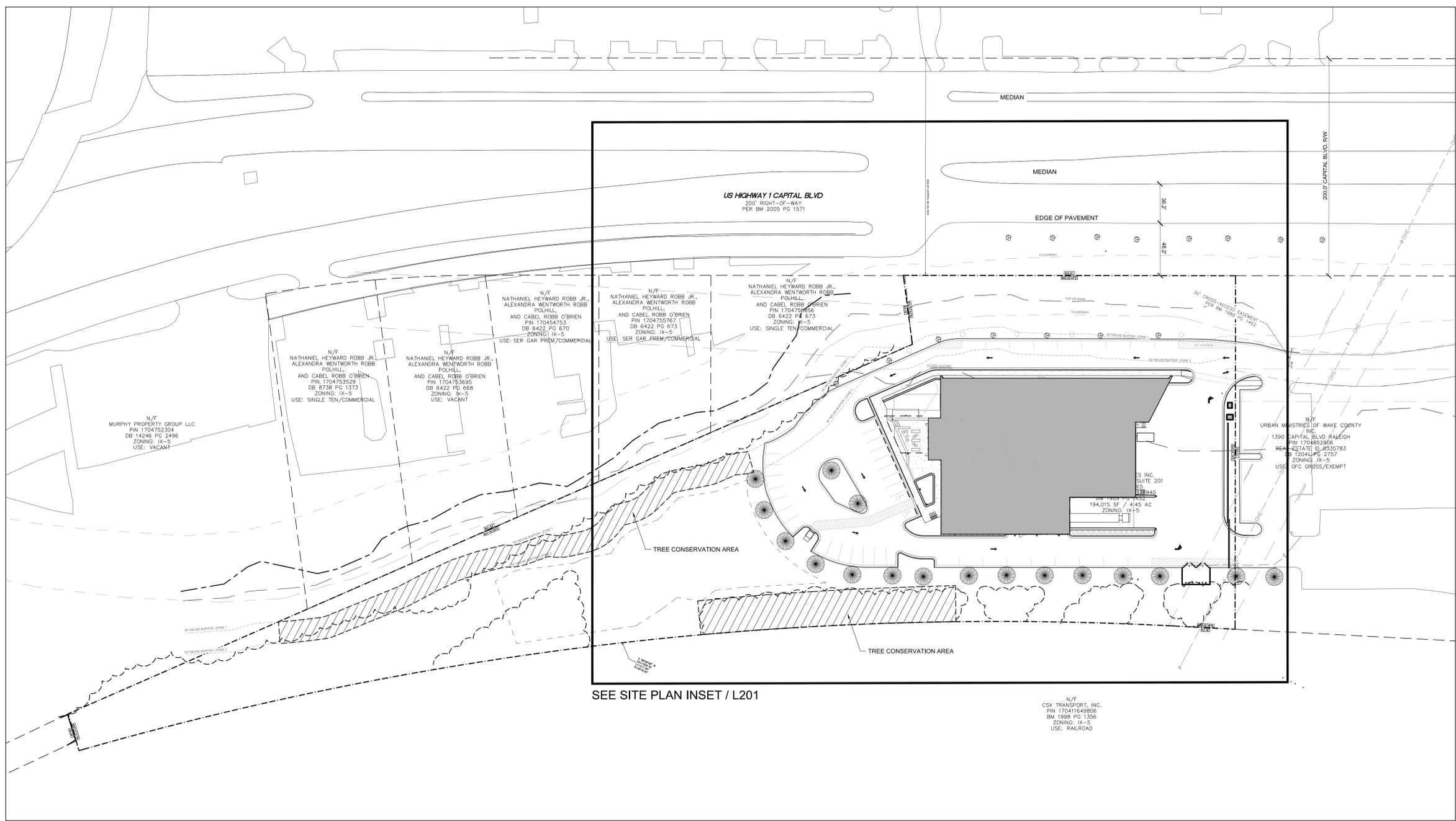
REVISION	DATE
1. City Comment Responses	11/03/17
2. City Comment Responses	12/04/17
3.	

MARK	ISSUE	DATE
Job Number	830360.000	
Drawn	JAB	
Checked	BHS	
Approved	BHS	

TITLE

Overall Site Plan

SHEET NUMBER
L-200



SEE SITE PLAN INSET / L201

GENERAL LAYOUT NOTES:

1. Site survey provided by M-III. Areas outside of project boundaries collected from Wake County GIS. Landscape Architect assumes no responsibility for accuracy of survey or GIS data.
2. Any discrepancies in layout should be brought to the Landscape Architect's attention prior to construction.
3. Written dimensions supercede scaled dimensions. Do not scale drawings. All dimensions are referenced to back of curb or edge of pavement unless otherwise noted.
4. All staking work to be done by a licensed surveyor registered in the state of North Carolina.
5. All proposed pavement to meet existing flush. Provide expansion joints where proposed concrete paving meets existing.
6. Access to all driveways and all businesses shall be maintained at all times.
7. All signage shall adhere to MUTCD standards and specifications.
8. No placement of equipment or materials is allowed outside of the approved area.



CONSULTANTS

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GROUNDED ENGINEERING
PO BOX 37132, RALEIGH, NC 27627

STRUCTURAL
CALYX ENGINEERS & CONSULTANTS
6750 TRYON ROAD, CARY, NC 27518

MEP
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2100 GATEWAY CENTRE BLVD, SUITE 100,
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LANDSCAPING
OBS LANDSCAPE ARCHITECTS
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OWNER
JOHN GLOVER



PROJECT

**Capital Boulevard
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CAPITAL BOULEVARD,
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JOHN GLOVER
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ADMINISTRATIVE SITE REVIEW 29 SEPTEMBER 2017

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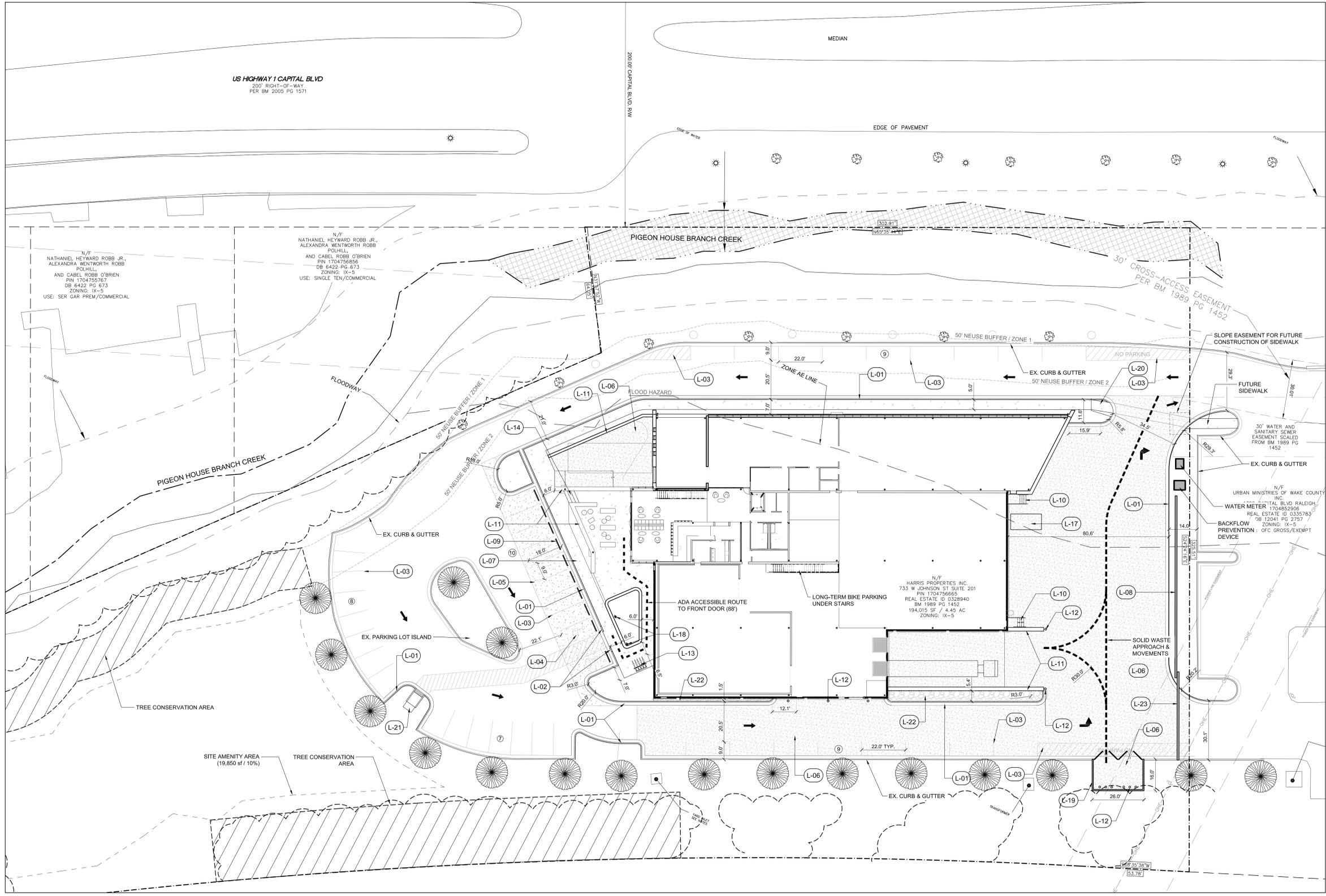
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Site Plan

**SHEET NUMBER
L-201**



PARKING REQUIREMENTS:

Light Industrial:	Required	Total Parking Spaces
Office: 4,011sf		29.74 (30)
1 vehicle space / 600sf of office	6.856	43
Indoor area: 14,091sf		
1 vehicle space / 3,000sf indoor area	4.697	
1 long-term bike space / 40,000gsf, min. 4	1	
Warehouse:	Required	
Gross floor area: 7,041sf		
1 vehicle space / 3,000sf indoor area	2.347	
1 long-term bike space / 40,000sf, min. 4	1	
Restaurant / Bar:	Required	
Gross floor area: 2,377		
1 vehicle space / 150sf	15.84	
1 short-term bike space / 50,000sf, min. 4	1	
1 long-term bike space / 25,000sf, min. 4	1	
Accessible Vehicle Parking:		
1 accessible space / 25 vehicle spaces		

LAYOUT SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
(L-01)	24" Concrete Curb & Gutter	4/D-100 (L-13)
(L-02)	Wipe Down Curb	9/D-100 (L-14)
(L-03)	Pavement markings	6/D-100 (L-17)
(L-04)	Accessible parking space striping	8/D-100 (L-18)
(L-05)	Concrete paving - Standard Duty on Stone	1/D-100 (L-19)
(L-06)	Concrete paving - Heavy duty	2/D-100 (L-20)
(L-07)	Concrete paving - Standard Duty	3/D-100 (L-21)
(L-08)	8' high screening wall. Refer to Architectural Plans on Sheet A30-02.	5/D-100 (L-22)
(L-09)	Concrete Wheel Stops	10/D-100 (L-23)
(L-10)	Metal industrial stairs. Refer to Architectural Plans.	
(L-11)	Retaining wall. Refer to Architectural Details.	
(L-12)	Steel bollard with sleeve.	

GENERAL LAYOUT NOTES:

- Any discrepancies in layout should be brought to the Landscape Architect's attention prior to construction.
- Written dimensions supercede scaled dimensions. Do not scale drawings. All dimensions are referenced to back of curb or edge of pavement unless otherwise noted.
- All staking work to be done by a licensed surveyor registered in the state of North Carolina.
- All proposed pavement to meet existing flush. Provide expansion joints where proposed concrete paving meets existing.
- Access to all driveways and all businesses shall be maintained at all times.
- All signage shall adhere to MUTCD standards and specifications.
- No placement of equipment or materials is allowed outside of the approved area.
- All sidewalks and curb ramps shall meet current City of Raleigh accessibility standards.



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PROJECT

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 Brewery**
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 1323 CAPITAL BLVD,
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ADMINISTRATIVE SITE REVIEW 29 SEPTEMBER 2017

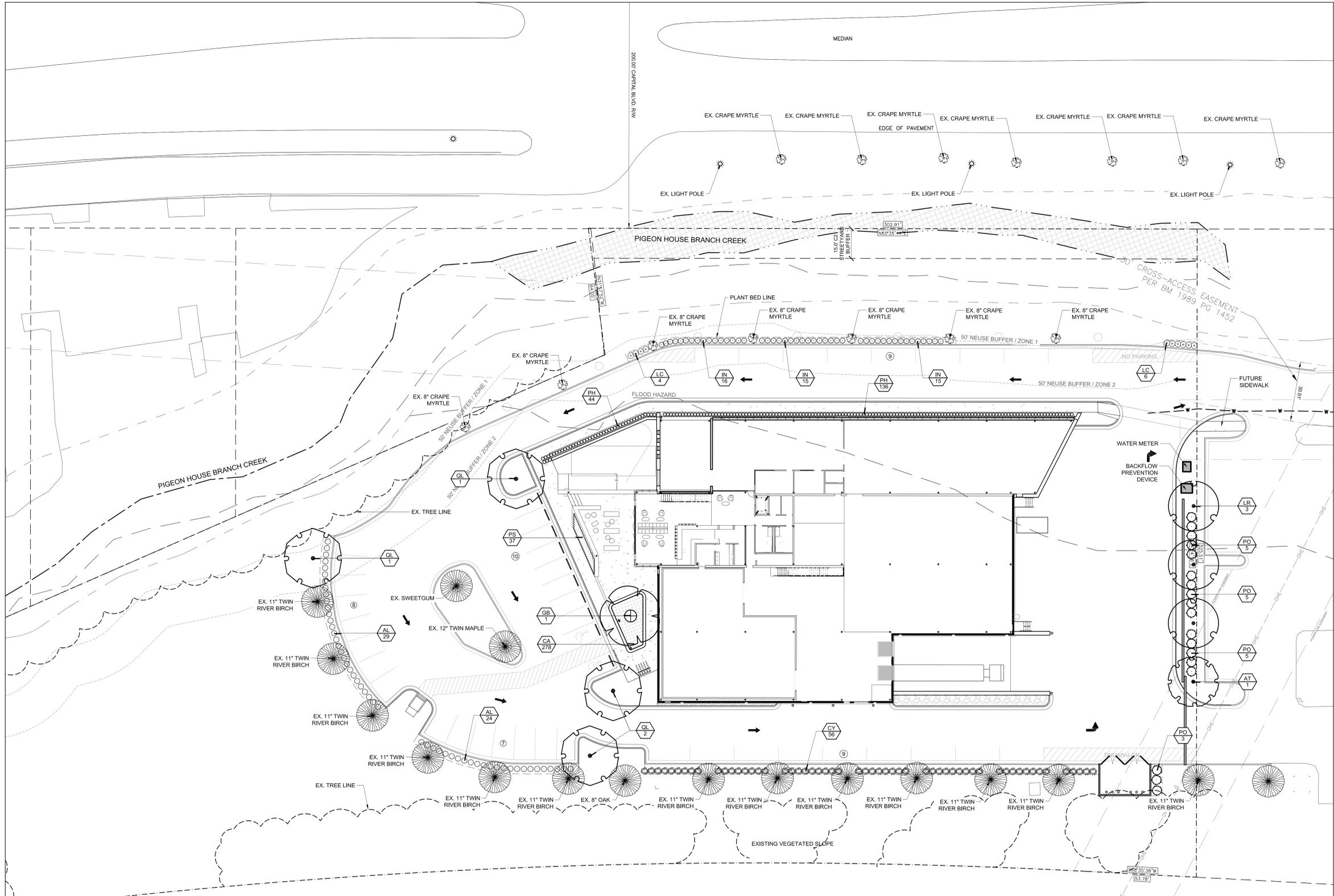
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12/04/17	2. City Comment Responses	12/04/17
	3.	

Planting Plan

**SHEET NUMBER
 L-400**



- GENERAL PLANTING NOTES:**
- All plant materials to comply with American Standard for Nursery Stock ANSI Z60.
 - Contractor engaged in landscape implementation shall be a landscape contractor licensed in the state of North Carolina.
 - Landscape Architect to approve bed layout in field. Substitutions of plant materials specified can only occur with prior approval by Landscape Architect.
 - Prepare plant beds per specifications.
 - Install plants and mulch beds with 3" of triple-shredded hardwood mulch.
 - All disturbed areas not noted for plant beds or paving to be seeded with turf, per specifications.
 - Landscape Contractor to guarantee plant materials for a one year period following substantial completion per specifications.
 - Contractor to maintain plant material per specifications.
 - Areas damaged by Landscape Contractor to be repaired at no additional cost to owner.
 - Any existing vegetation, not involved in new construction, shall be isolated and protected by tree protection fencing.
 - Contractor shall insure that all plant material is free of fire ants prior to installation.

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	HEIGHT	REMARKS
AT	1	Acer truncatum / Shantung Maple	B & B	3" Cal	10' min.	Single Straight Leader; Full & Heavy
GB	1	Ginkgo biloba / Maidenhair Tree	B & B	3" Cal	10' min.	Full & Heavy; Single Straight Leader, Male only
LR	3	Liquidambar styraciflua 'Rotundiloba' / Round-Lobed Sweet Gum	B & B	3" Cal	10' min.	Full & Heavy; Single Straight Leader; Uniform Canopy; Fruitless
QL	4	Quercus lyrata 'Highbeam' / Highbeam Overcup Oak	B & B	3" Cal	14' min.	Full & Heavy; Single Straight Leader
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	HEIGHT	REMARKS
AL	52	Abelia x grandiflora 'Little Richard' / Little Richard Abelia	3 gal	-	18" Min.	Full & Heavy; Uniform shape
CY	56	Cephalotaxus harringtonia 'Yewtopia' TM / Yewtopia Plum Yew	3 gal	18" Min.		Full & Heavy
IN	47	Ilex vomitoria 'Nana' / Dwarf Yaupon	3 gal	18" Min.		Full & Heavy; Uniform shape
LC	10	Loropetalum chinense 'Crimson Fire' / Crimson Fire Loropetalum	3 gal	18" Min.		Full & Heavy; Uniform shape
PH	180	Panicum virgatum 'Heavy Metal' / Blue Switch Grass	1 gal			Full & Heavy; 18" OC
PO	18	Prunus laurocerasus 'Otto Luyken' / Luykens Laurel	5 gal	24" Min.		Full & Heavy; Uniform Shape
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	HEIGHT	REMARKS
CA	278	Carex appalachica / Appalachian Sedge	3" pot			Full & Heavy
PS	37	Panicum virgatum 'Shenandoah' / Switch Grass	1 gallon		18" o.c.	Full & Heavy

STREETYARD REQUIREMENTS

C2 Streetyard Required
 15' avg. width; 4 shade trees per 100'; 15 shrubs per 100'
 Street frontage: 260ft / 100' * 4 = 11 trees required

No trees or shrubs provided, as the required buffer lies within Zone 1 of the Neuse River Basin riparian buffer for the Pigeon House Branch Creek.

LOADING AREA SCREENING

The combination of the screen wall, tree conservation areas, and topography ensure the roof mechanical units will be screened from all adjacent properties.

City of Raleigh UDO, Sec. 7.2.5.B:

- Outdoor loading areas 50 square feet or larger not screened by an intervening building must be screened from view from adjacent property or public street right-of-way for their entire length.
- Enclosed loading areas must be screened with a roll down door or other opaque screen.
- Unenclosed loading areas must be screened by a wall totaling 8 feet in height. Walls shall be compatible with the principal building in terms of texture, quality, material and color.
- Planting material must be provided so that no more than two-thirds of the surface area of the screening wall is visible at the time of maturity of the plants.
- Screening may also be accomplished with evergreen plant material that can be expected to reach a height of 8 feet with a spread of 4 feet within three years of planting.

STREET TREE REQUIREMENTS

Within the R/W:
 1 Shade Tree, 40' oc avg. or 1 Understory tree, 20' oc avg. when under powerlines

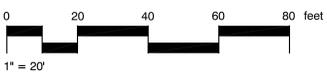
260ft / 20' oc = 13 Understory trees required
 13 Understory trees provided: 6 existing / 7 proposed Crape Myrtles

PARKING LOT REQUIREMENTS

1 Shade Tree / 2,000sf
 47,232.34sf / 2,000sf = 24 Shade Trees

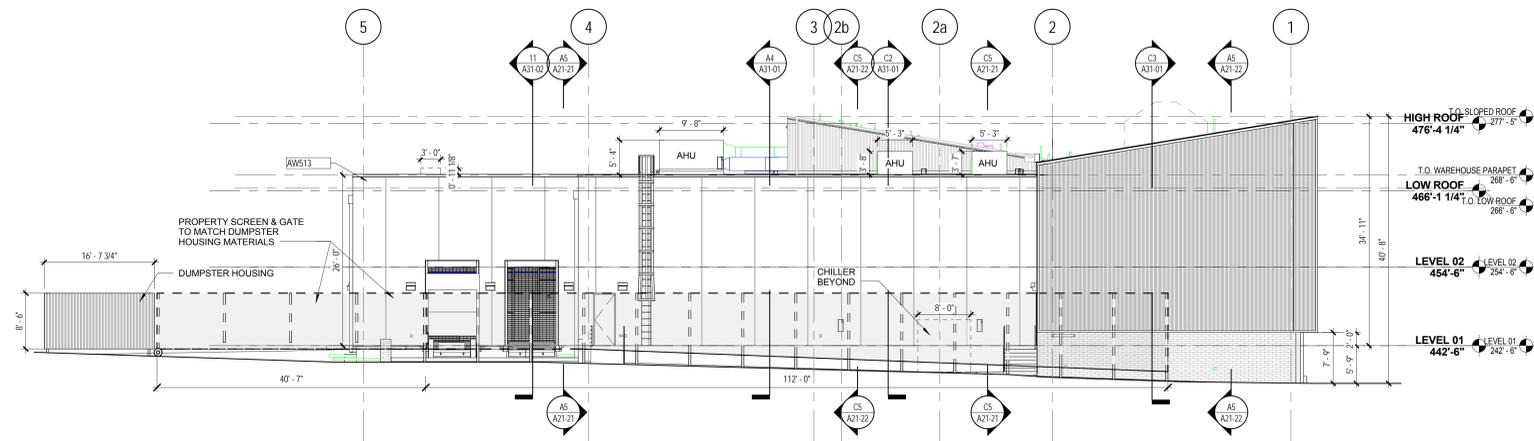
9 Shade trees proposed / 15 Shade trees existing
 * Acer truncatum approved to count towards this requirement

Perimeter Island: 30 shrubs per 100sf
 Shrubs required: 90 (300sf / 100' * 30 = 90)
 Shrubs provided: 90

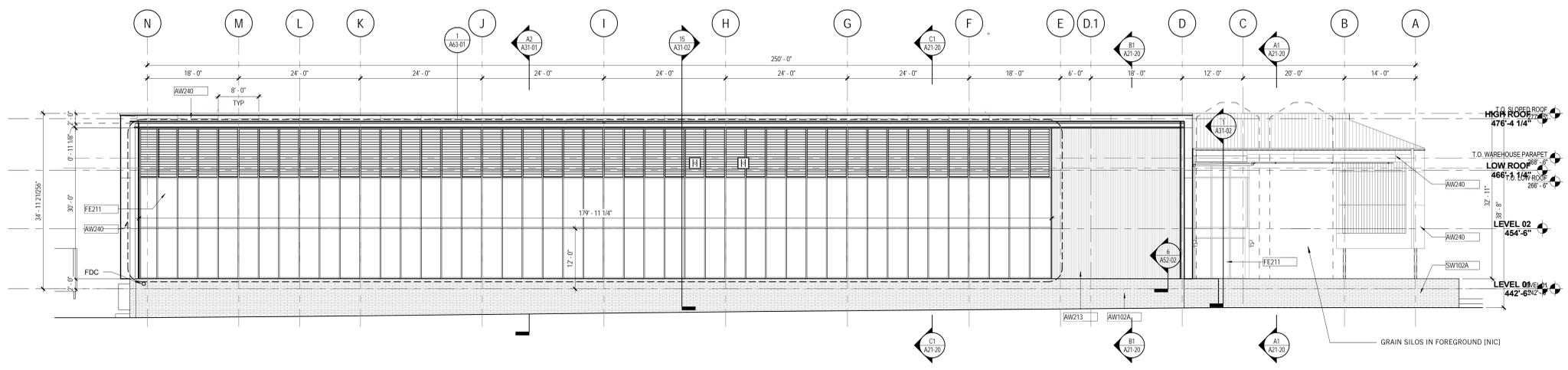


	ALLOWABLE (TABLE 503)	INCREASE FOR SPRINKLERS	SHOWN ON PLANS	CODE REFERENCE
Type of Construction	Type IIB	Type IIB	Type IIB	Table 503
Building Height in Feet	Feet 55	Feet = H+20=75'	Feet 35'	504.2
Building Height in Stories	Stories 3	Stories +1=4	Stories 2	504.2

NOTE:
THE COMBINATION OF THE SCREEN WALL, TREE CONSERVATION AREAS, AND TOPOGRAPHY ENSURE ALL MECHANICAL UNITS ARE SCREENED FROM ALL ADJACENT PROPERTIES.



C1 EAST ELEVATION
3/32" = 1'-0"



A1 NORTH ELEVATION
3/32" = 1'-0"

Revisions

NO	ISSUE	DATE
1	City Comment Responses	11/03/2017
2	City Comment Responses 2	12/06/2017

EXTERIOR ELEVATION GENERAL NOTES

1. MATERIAL SYMBOLS ON ELEVATIONS ARE TO DISPLAY THE EXTENT OF THE MATERIAL ONLY. THEY ARE NOT TO SCALE.
2. REFER TO SHEET(S) A00-01 FOR DESCRIPTION OF EXTERIOR ASSEMBLIES.
3. ANY MECHANICAL, ELECTRICAL, OR DATA INFORMATION IS SHOWN FOR LOCATION COORDINATION ONLY. REFER TO DOCUMENTATION OF OTHER DISCIPLINES FOR ADDITIONAL INFORMATION.
4. REFER TO CODE COMPLIANCE SHEETS IN G01 SERIES FOR EXTENT OF RATED WALLS.
5. PROVIDE STANDARD MULLION COVER CAPS UNLESS OTHERWISE NOTED.
6. LOCATE ROOF OVERFLOW DISCHARGE AT 1'-6" ABOVE GRADE.
7. ALL EXTERIOR GLAZING INSTALLED IS TO BE CAPABLE OF BREAKING AWAY BY FIRE FIGHTERS.

EXTERIOR ELEVATION LEGEND

- PRECAST JOINT. MATCH PRECAST COLOR

SPANDREL GLAZING (08.80.00)	EXPOSED CONCRETE (03.30.00)
STONE MASONRY VENEER (04.43.13)	CONCRETE MASONRY UNIT RUNNING BOND (05.20.00)
PRE-CAST ARCHITECTURAL CONCRETE, TYPE A (03.45.00)	ALUMINUM COMPOSITE WALL PANEL SYSTEM (07.32.43)
PRE-CAST ARCHITECTURAL CONCRETE, TYPE B (03.45.00)	INSULATED METAL PANEL (07.42.19)
PERFORATED METAL PANEL (06.70.00)	FORMED METAL PANEL (07.42.13)

Sheet Information

Date	DECEMBER 2017
BCOM Project Number	214-17893-002
Job Number	830360.000
Drawn	Author
Checked	Checker
Approved	Approver
Title	

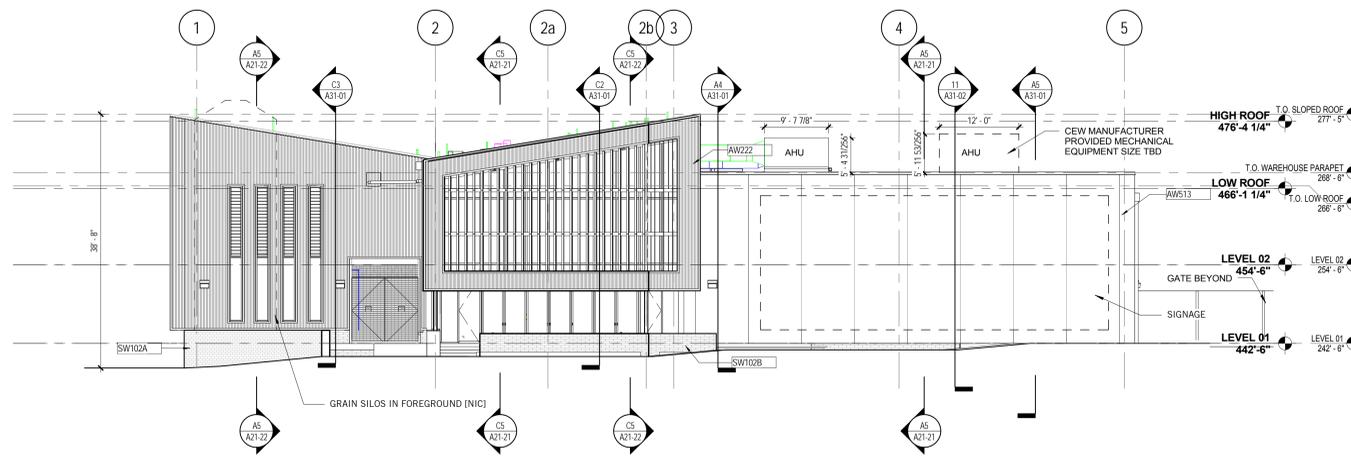
EXTERIOR ELEVATIONS

Sheet
A20-01

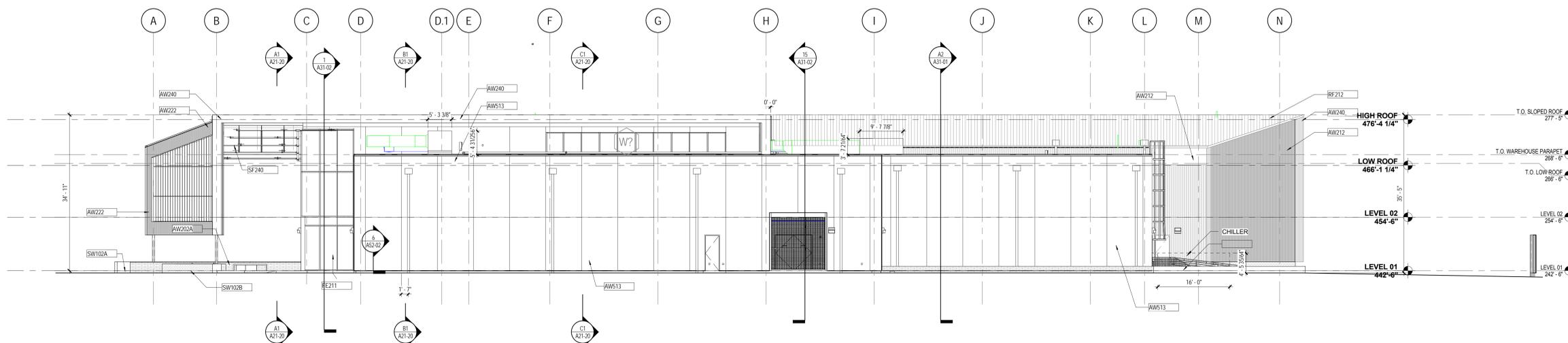
Type of Construction	ALLOWABLE (TABLE 503)	INCREASE FOR SPRINKLERS	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet	Type IIB Feet 55	Feet = H+20=75'	Type IIB Feet 35'	Table 503 504.2
Building Height in Stories	Stories 3	Stories +1 = 4	Stories 2	504.2

Street Front Transparency: Minimum of 20% required, 49% actual.

NOTE:
THE COMBINATION OF THE SCREEN WALL, TREE CONSERVATION AREAS,
AND TOPOGRAPHY ENSURE ALL MECHANICAL UNITS ARE SCREENED FROM
ALL ADJACENT PROPERTIES.



C1 WEST ELEVATION
3/32" = 1'-0"



A1 SOUTH ELEVATION
3/32" = 1'-0"



Revisions

NO	ISSUE	DATE
1	City Comment Responses	11/03/2017
2	City Comment Responses 2	12/06/2017

EXTERIOR ELEVATION GENERAL NOTES

1. MATERIAL SYMBOLS ON ELEVATIONS ARE TO DISPLAY THE EXTENT OF THE MATERIAL ONLY. THEY ARE NOT TO SCALE.
2. REFER TO SHEET(S) A00-01 FOR DESCRIPTION OF EXTERIOR ASSEMBLIES.
3. ANY MECHANICAL, ELECTRICAL, OR DATA INFORMATION IS SHOWN FOR LOCATION COORDINATION ONLY. REFER TO DOCUMENTATION OF OTHER DISCIPLINES FOR ADDITIONAL INFORMATION.
4. REFER TO CODE COMPLIANCE SHEETS IN G01 SERIES FOR EXTENT OF RATED WALLS.
5. PROVIDE STANDARD MULLION COVER CAPS UNLESS OTHERWISE NOTED.
6. LOCATE ROOF OVERFLOW DISCHARGE AT 1'-6" ABOVE GRADE.
7. ALL EXTERIOR GLAZING INSTALLED IS TO BE CAPABLE OF BREAKING AWAY BY FIRE FIGHTERS.

EXTERIOR ELEVATION LEGEND

<p>SPANDREL GLAZING [08.80.00]</p> <p>STONE MASONRY VENEER [04.43.13]</p> <p>PRE-CAST ARCHITECTURAL CONCRETE, TYPE A [03.45.00]</p> <p>PRE-CAST ARCHITECTURAL CONCRETE, TYPE B [03.45.00]</p> <p>PERFORATED METAL PANEL [06.70.00]</p>	<p>EXPOSED CONCRETE [03.30.00]</p> <p>CONCRETE MASONRY UNIT, RUNNING BOND [06.20.00]</p> <p>ALUMINUM COMPOSITE WALL PANEL SYSTEM [07.42.51]</p> <p>INSULATED METAL PANEL [07.42.12]</p> <p>FORMED METAL PANEL [07.42.13]</p>
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EXTERIOR
ELEVATIONS

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A20-02