

SR-82-18 Bee Safe Storage 2

**Administrative Site Review Application  
(for UDO Districts only)**

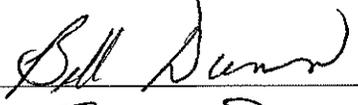


**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number <b>568165</b> Assigned Project Coordinator <b>Natasha Bolvin</b> Assigned Team Leader
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #		
<b>GENERAL INFORMATION</b>		
Development Name <b>Bee Safe Storage</b>		
Zoning District <b>IX-5</b>	Overlay District (if applicable) <b>NA</b>	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Use <b>Storage Facility</b>		
Property Address(es) <b>1108 &amp; 1216 Capital Blvd Raleigh, NC 27603</b>		Major Street Locator: <b>CAPITAL BLVD</b>
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
P.I.N. <b>1704659251</b>	P.I.N. <b>1704752304</b>	P.I.N. P.I.N.
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Office <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Banks <input type="checkbox"/> Industrial Building <input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> Cottage Court <input checked="" type="checkbox"/> Other: If other, please describe: <u>Storage Facility</u>		
<b>WORK SCOPE</b>	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. The existing car dealership buildings will be removed. Two proposed storage buildings with associated parking and utilities will be constructed. The required parking will be reduced from the existing use. Refer to the Site Plan.	
<b>DESIGN ADJUSTMENT OR ADMIN ALTERNATE</b>	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE <b>A design adjustment is neither required nor proposed.</b>	
<b>CLIENT/DEVELOPER/ OWNER</b>	Company <b>Carroll Capital Investments, LLC</b> Name (s) <b>Bill Dunn</b>	
	Address <b>201 N Elm Street, Greensboro, NC 27401</b>	
	Phone <b>(336) 314-4524</b>	Email <b>bdunn@cipconst.com</b> Fax
<b>CONSULTANT (Contact Person for Plans)</b>	Company <b>Timmons Group</b> Name (s) <b>Stephen Ballentine, PE</b>	
	Address <b>5410 Trinity Road Ste. 102 Raleigh, NC 27607</b>	
	Phone <b>(984) 255-2367</b>	Email <b>stephen.ballentine@timmons.com</b> Fax

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) IX-5	Proposed building use(s) Storage Facility
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 2602 SF TO BE REMOVED.
Overlay District None	Proposed Building(s) sq. ft. gross BLDG 1: 69,617 SF, BLDG 2: 75,869 SF
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 2.45 acres	Total sq. ft. gross (existing & proposed) 145,486 SF
Off street parking: Required 10 Provided 11	Proposed height of building(s) 67'-8"
COA (Certificate of Appropriateness) case #	# of stories 5
BOA (Board of Adjustment) case # A-	Ceiling height of 1 <sup>st</sup> Floor 15'-0" (UNDERSIDE  )
CUD (Conditional Use District) case # Z-	
Stormwater Information	
Existing Impervious Surface 0.57 AC acres/square feet	Flood Hazard Area <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Impervious Surface 1.08 AC acres/square feet	If Yes, please provide:
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils Cm (Chewa  Flood Study FEMA FEMA Map Panel # 3720170400J, 5/2/2006  )
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units NA	5. Bedroom Units: 1br NA 2br NA 3br NA 4br or more NA
2. Total # Of Congregate Care Or Life Care Dwelling Units NA	6. Infill Development 2.2.7 NA
3. Total Number of Hotel Units NA	7. Open Space (only) or Amenity NA
4. Overall Total # Of Dwelling Units (1-6 Above) NA	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
<p>In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.</p> <p>I hereby designate <u>Timmons Group, Contact: Stephen Ballentine, PE</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.</p> <p>I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.</p> <p>Signed <u></u> Date <u>8/24/2018</u></p> <p>Printed Name <u>BILL DAWN</u></p> <p>Signed _____ Date _____</p> <p>Printed Name _____</p>	

General Requirements	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to the City of Raleigh	<input checked="" type="checkbox"/>				
2. Administrative Site Review Application completed and signed by the property owner(s)	<input checked="" type="checkbox"/>				
3. Client must complete and adhere page 1 and 2 of the Administrative Site Review Application to the plan cover sheet	<input checked="" type="checkbox"/>				
4. I have referenced the Administrative Site Review Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>				
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		✓		
b) Existing Conditions Sheet, including, but not limited to, structures, buildings, utilities, infrastructure, and vegetation	<input checked="" type="checkbox"/>		✓		
c) Proposed Site Plan	<input checked="" type="checkbox"/>		✓		
d) Proposed Grading Plan	<input checked="" type="checkbox"/>		✓		
e) Proposed Stormwater Plan, including preliminary stormwater quantity and quality summary and calculations package. If not required, provide City Code section on front cover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
f) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
g) Proposed Tree Conservation Plan – For secondary Tree Conservation Areas, include two copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina register forester. If not required, provide City Code section on front cover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
h) Proposed Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
i) Building elevations that show existing and/or proposed building height. If demolition, do not include buildings to be demolished.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
j) Transportation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" =100', etc.), and date of preparation. For re-submittals – include all revision dates	<input checked="" type="checkbox"/>		✓		
7. Minimum plan size 18"x24" not to exceed 36"x42"	<input checked="" type="checkbox"/>		✓		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		✓		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		✓		
10. Digital copy of only the plan and elevations. Label the CD or flash drive with the plan name, case file number, and indicate the review cycle #.	<input checked="" type="checkbox"/>		✓		
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
12. If applicable, zoning conditions adhered to the plan cover sheet	<input type="checkbox"/>	<input checked="" type="checkbox"/>			

# LEVEL 3 - ADMINISTRATIVE SITE PLAN

# BEE SAFE STORAGE - CAPITAL BLVD.

TRANSACTION #: TBD SR#: TBD

PRELIMINARY  
NOT FOR  
CONSTRUCTION

Administrative Site Review Application  
(for UDO Districts only)



DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot Transaction Number Assigned Project Coordinator Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

Development Name: **Bee Safe Storage**

Zoning District: **IX-5** Overlay District (if applicable): **NA** Inside City Limits?  Yes  No

Proposed Use: **Storage Facility**

Property Address(es): **1108 & 1216 Capital Blvd Raleigh, NC 27603** Major Street Locator: **CAPITAL BLVD**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. **1704659251** P.I.N. **1704752304** P.I.N. P.I.N.

What is your project type?

Apartment  
 Elderly Facilities  
 Hospitals  
 Hotels/Motels  
 Office  
 Assisted Residential  
 Non-Residential Condo  
 School  
 Shopping Center  
 Banks  
 Industrial Building  
 Duplex  
 Telecommunication Tower  
 Religious Institutions  
 Residential Condo  
 Retail  
 Cottage Court  
 Other: if other, please describe: **Storage Facility**

WORK SCOPE: Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. The existing car dealership buildings will be removed. Two proposed storage buildings with associated parking and utilities will be constructed. The required parking will be reduced from the existing use. Refer to the Site Plan.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE: Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE. **A design adjustment is neither required nor proposed.**

CLIENT/DEVELOPER/OWNER: Company **Carroll Capital Investments, LLC** Name (s) **Bill Dunn**  
Address **201 N Elm Street, Greensboro, NC 27401**  
Phone **(336) 314-4524** Email **bdunn@cipconst.com** Fax

CONSULTANT (Contact Person for Plans): Company **Timmons Group** Name (s) **Stephen Ballentine, PE**  
Address **5410 Trinity Road Ste. 102 Raleigh, NC 27607**  
Phone **(984) 255-2367** Email **stephen.ballentine@timmons.com** Fax

PAGE 1 OF 3 [WWW.RALEIGHNC.GOV](http://WWW.RALEIGHNC.GOV) REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s) <b>IX-5</b>	Proposed building use(s) <b>Storage Facility</b>
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross <b>2602 SF TO BE REMOVED.</b>
Overlay District <b>None</b>	Proposed Building(s) sq. ft. gross <b>145,486 SF</b>
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <b>2.45 acres</b>	Total sq. ft. gross (existing & proposed) <b>145,486 SF</b>
Off street parking: Required <b>10</b> Provided <b>11</b>	Proposed height of building(s) <b>67'-8"</b>
COA (Certificate of Appropriateness) case #	# of stories <b>5</b>
BOA (Board of Adjustment) case # <b>A-</b>	Ceiling height of 1 <sup>st</sup> floor <b>15'-0" (UNDERSIDE)</b>
CUD (Conditional Use District) case # <b>Z-</b>	

Stormwater Information

Existing Impervious Surface <b>0.57 AC</b> acres/square feet	Flood Hazard Area <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Impervious Surface <b>1.08 AC</b> acres/square feet	If Yes, please provide: Alluvial Soil Crn (Chewag Flood Study FEMA FEMA Map Panel # <b>9720170400J, 5/2/2006</b> )
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Wetlands <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

FOR RESIDENTIAL DEVELOPMENTS

1. Total # of Apartment, Condominium or Residential Units <b>NA</b>	5. Bedroom Units: 1br <b>NA</b> 2br <b>NA</b> 3br <b>NA</b> 4br or more <b>NA</b>
2. Total # of Congregate Care Or Life Care Dwelling Units <b>NA</b>	6. Infill Development 2.2.7 <b>NA</b>
3. Total Number of Hotel Units <b>NA</b>	7. Open Space (only) or Amenity <b>NA</b>
4. Overall Total # of Dwelling Units (1-6 Above) <b>NA</b>	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **Timmons Group, Contact: Stephen Ballentine, PE** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed *Bill Dunn* Date **9/24/2018**

Printed Name **Bill Dunn**

Signed \_\_\_\_\_ Date \_\_\_\_\_

Printed Name \_\_\_\_\_

PAGE 2 OF 3 [WWW.RALEIGHNC.GOV](http://WWW.RALEIGHNC.GOV) REVISION 05.13.16

1108 CAPITAL BLVD  
RALEIGH, WAKE COUNTY, NORTH CAROLINA 27603



VICINITY MAP

Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	SITE PLAN
C2.1	FIRE TRUCK AND HYDRANT ACCESS PLAN
C2.2	WASTE SERVICES ACCESS PLAN
C3.0	GRADING AND DRAINAGE PLAN
C5.0	UTILITY PLAN
C6.0	LANDSCAPE PLAN
C6.1	TREE CONSERVATION PLAN
C7.0	DETAILS
C7.1	DETAILS
C7.2	DETAILS
C7.3	DETAILS
A1	BUILDING ONE - ELEVATIONS
A2	BUILDING ONE - ELEVATIONS
A3	BUILDING TWO - ELEVATIONS
A4	BUILDING TWO - ELEVATIONS
ESL	SITE LIGHTING PLAN

PHASE NUMBER(S)	PHASE 1
NUMBER OF LOT(S)	1 (RECOMBINED)
LOT NUMBER(S) BY PHASE	N/A
NUMBER OF UNITS	N/A
LIVABLE BUILDINGS	N/A
OPEN SPACE	N/A
NUMBER OF OPEN SPACE LOTS	0
PUBLIC WATER (LF)	170
PUBLIC SEWER (LF)	0
PUBLIC STREET (LF) - FULL	0
PUBLIC STREET (LF) - PARTIAL	0
PUBLIC SIDEWALK (LF)	85
STREET SIGNS (LF)	0
WATER SERVICE STUBS	2
SEWER SERVICE STUBS	2

PROJECT NOTES:

- SITE IS EXEMPT FROM ACTIVE STORMWATER CONTROLS PER CITY OF RALEIGH UDO 9.2.2.E.2.a.
- SITE DOES NOT EXCEED 10 LBS/AC/YR IN NITROGEN EXPORT LOADING. PER CITY OF RALEIGH UDO 9.2.2.B.2. STORMWATER NITROGEN EXPORT LOADING SHALL BE OFF-SET THROUGH A PAYMENT IN LIEU. SOLID WASTE MANAGEMENT WILL BE MANAGED THROUGH PRIVATE CONTRACTOR AND ON-SITE DUMPSTER(S).
- PROJECT SHALL COMPLY WITH CITY OF RALEIGH TREE CONSERVATION REQUIREMENTS.

DEVELOPER:  
**CARROLL CAPITAL INVESTMENTS, LLC**  
201 NORTH ELM STREET  
GREENSBORO, NC 27401  
**ROBERT GRILL**  
(336) 275-6198 x108  
thamn23@gmail.com

CIVIL ENGINEER / SURVEYOR:  
**TIMMONS GROUP**  
5410 TRINITY ROAD, STE. 102  
RALEIGH, NC 27607  
**STEPHEN BALLENTINE, PE**  
(984) 255-2367  
STEPHEN.BALLENTINE@TIMMONS.COM

ARCHITECT:  
**LINDSEY ARCHITECTURE**  
125 S. ELM STREET, STE 300  
GREENSBORO, NC 27401  
**EMILY HINTON, AIA NCARB**  
(336) 617-4402  
EMILY@LINDSEYARCH.COM

OWNER #1:  
**ESC PROPERTIES OF WAKE COUNTY, LLC**  
4101 BASHFORD BLUFFS LANE  
RALEIGH, NC 27603-8744

OWNER #2:  
**MALLPASS, EDWARD CLARK**  
4101 BASHFORD BLUFFS LANE  
RALEIGH, NC 27603-8744



KNOW WHAT'S BELOW.  
CALL 811 BEFORE YOU DIG.

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
BEE SAFE STORAGE - CAPITAL BLVD  
1108 CAPITAL BLVD., RALEIGH - WAKE COUNTY - NORTH CAROLINA 27603  
COVER SHEET

THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5410 Trinity Road, Suite 102 | Raleigh, NC 27607  
TEL 919.866.9951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 08/30/18  
DRAWN BY: L. RUSH  
DESIGNED BY: S. BALLENTINE  
CHECKED BY: S. BALLENTINE  
SCALE: AS SHOWN

JOB NO. 40486.001  
SHEET NO. C0.0

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

PRELIMINARY  
NOT FOR  
CONSTRUCTION

THIS DRAWING PREPARED AT THE  
RALEIGH OFFICE  
5410 Trinity Road, Suite 102 | Raleigh, NC 27607  
TEL 919.866.9551 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE  
08/30/18  
DRAWN BY  
L. RUSH  
DESIGNED BY  
S. BALLENTINE  
CHECKED BY  
S. BALLENTINE

SCALE  
AS SHOWN

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

BEE SAFE STORAGE - CAPITAL BLVD  
1108 CAPITAL BLVD., RALEIGH - WAKE COUNTY - NORTH CAROLINA 27603  
EXISTING CONDITIONS AND DEMOLITION PLAN

JOB NO.  
40486.001  
SHEET NO.  
C1.0

**SURVEY NOTES**

- ON SITE BOUNDARY, TOPOGRAPHY AND PLANIMETRIC INFORMATION IS TAKEN FROM A SURVEY BY TIMMONS GROUP DATED SEPTEMBER 28, 2017. OFFSITE TOPOGRAPHY AND PLANIMETRIC INFORMATION FROM OTHER SOURCES AND HAS NOT BEEN FIELD VERIFIED BY TIMMONS GROUP.
- ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH.
- BASIS OF BEARING SHOWN HEREON IS NC GRID NAD83 (2011).
- VERTICAL DATUM SHOWN HEREON IS NAVD83 (2011).
- OTHER SOURCES OF INFORMATION INCLUDE WAKE COUNTY GIS AND AERIAL IMAGERY.
- SITE CONTAINS FLOODWAY AND ZONE X FLOODPLAIN PER FEMA MAP #3720170400J (05-02-2006). FLOODWAY RUNS ALONG THE CREEK. THE REMAINDER OF THE PROPERTY IS IN ZONE X.
- BASE FLOOD ELEVATION: 242 FEET
- RECORDED PROPERTY DATA:
- MAP NAME: 1704 11
- DEED BOOK 015887, PAGE 00161; DEED BOOK 016266, PAGE 01175
- EXISTING IMPERVIOUS AREA = 0.57 ACRES
- TOTAL PROPERTY AREA = 106.722 SF = 2.45 AC.

**EXISTING CONDITIONS NOTES**

- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
- ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
- REMOVE TOPSOIL AND STOCKPILE APPROPRIATELY ON-SITE. ON-SITE TEMPORARY STOCKPILES SHALL BE LOCATED WITHIN CONSTRUCTION LIMITS.
- ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED TO ALLOW NEW CONSTRUCTION TO BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED). UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE. TRENCH IN EXISTING ASPHALT SHALL BE PATCHED PER PAVEMENT REPAIR DETAIL.
- PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGE OCCUR, NOTIFY ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL USE NO ONE CALL (811) TO LOCATE ALL UNDERGROUND UTILITIES. CONTRACTOR IS RESPONSIBLE FOR REMOVING OR ABANDONING ALL EXISTING UTILITIES AND STRUCTURES REQUIRED TO COMPLETE SITE CONSTRUCTION, EITHER ONSITE OR IN PUBLIC ROW, IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- ANY EXISTING UNIDENTIFIED SEPTIC SYSTEMS AND WELLS FOUND ON SITE SHALL BE REMOVED OR ABANDONED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AT NO CHARGE TO THE OWNER
- VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
- CONTRACTOR SHALL COORDINATE ALL CONNECTIONS, RELOCATION AND DEMOLITION WORK WITH THE APPROPRIATE COMPANY OR JURISDICTION HAVING AUTHORITY AND SHALL OBTAIN ANY PERMITS AS REQUIRED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND OSHA REGULATIONS.
- EXISTING MANHOLES, VALVE BOXES, VAULTS, CLEANOUTS, UTILITY POLES ETC. TO REMAIN WITHIN THE GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO FUNCTION PROPERLY WITH THE PROPOSED FINISHED GRADES (WETHER OR NOT INDICATED TO BE MODIFIED).
- GENERAL CONTRACTOR TO COORDINATE ALL PEDESTRIAN ACCESS PATHS, LOCATIONS, LIGHTING ETC. WITH THE OWNER.
- UNKNOWN UTILITIES MAY EXIST. PRIOR TO BEGINNING ANY CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES WITHIN THE WORK AREA. IN CASE OF DISCREPANCY OR CONFLICT, THEN NOTIFY ENGINEER.

**EXISTING CONDITIONS KEYNOTES**

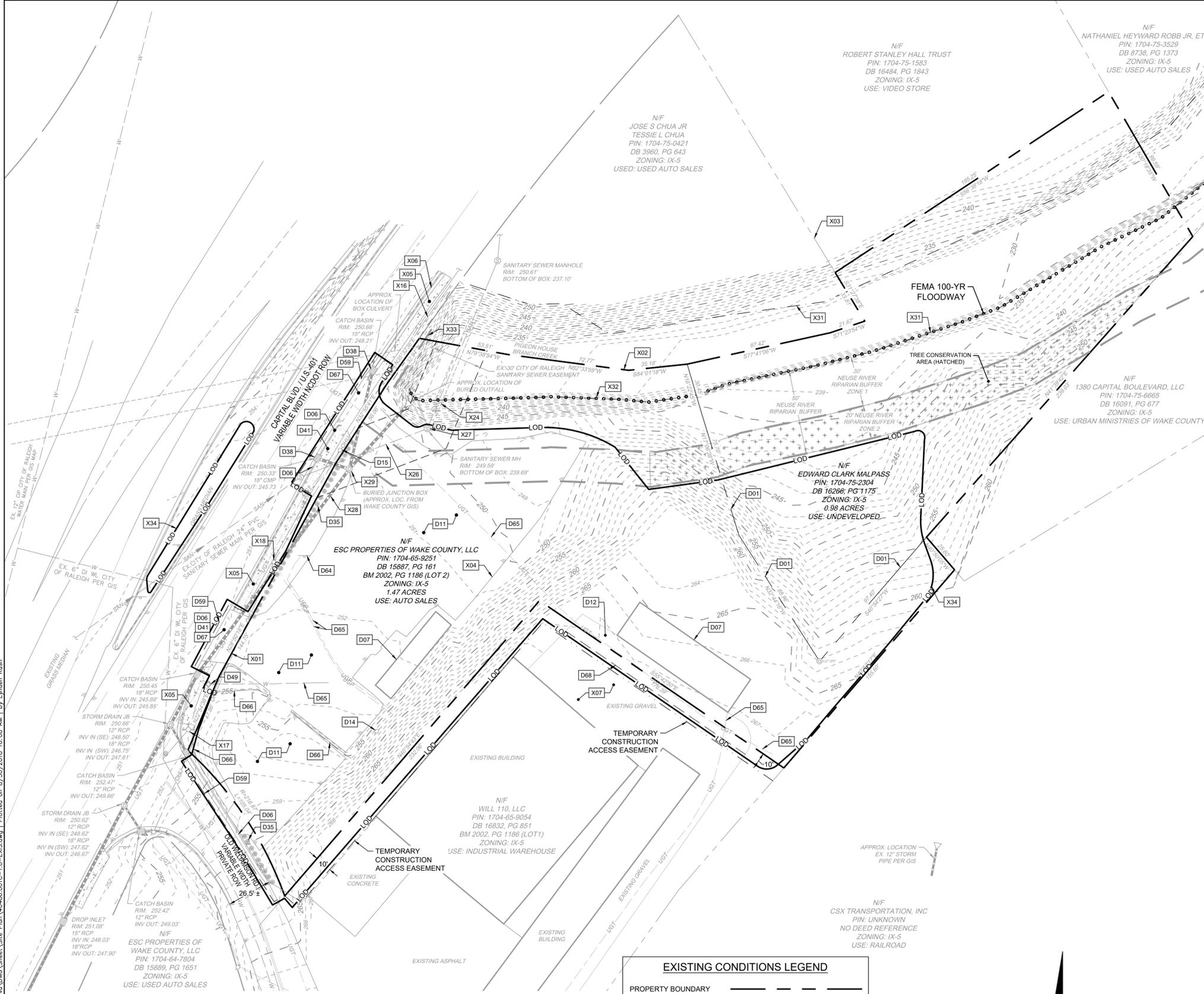
NUMBER	DESCRIPTION
X01	EXISTING RIGHT-OF-WAY (TYP.)
X02	EXISTING PROPERTY BOUNDARY (TYP.)
X03	EXISTING ADJACENT PROPERTY/LOT LINE (TYP.)
X05	EXISTING CONCRETE WALK TO REMAIN (TYP.)
X06	EXISTING CURB & GUTTER (TYP.)
X07	EXISTING GRAVEL TO REMAIN
X16	EXISTING GUARDRAIL TO REMAIN
X17	EXISTING HYDRANT TO REMAIN
X18	EXISTING UTILITY POLE TO REMAIN
X24	EXISTING AERIAL SANITARY SEWER CROSSING CREEK
X26	EXISTING CITY OF RALEIGH 24" SANITARY SEWER MAIN TO REMAIN
X27	EXISTING SANITARY SEWER MANHOLE TO REMAIN.
X28	EXISTING STORM TO REMAIN
X29	EXISTING STORM STRUCTURE TO REMAIN. CONTRACTOR TO UNCOVER BURIED STRUCTURE AND ADJUST RIM TO MATCH FINISHED GRADE
X31	EXISTING TOP OF HYDRAULIC BANK PER ENVIRONMENTAL DETERMINATION
X32	LIMITS OF FEMA REGULATED FLOODWAY
X33	EXISTING HEADWALL
X34	LIMITS OF DISTURBANCE (TYP.)

**DEMOLITION KEYNOTES**

NUMBER	DESCRIPTION
D01	PROPERTY LINE TO BE REMOVED (LOTS TO BE RECOMBINED)
D06	EXISTING CURB & GUTTER TO BE REMOVED (TYP.)
D07	EXISTING BUILDING & ASSOC. STRUCTURES TO BE REMOVED
D11	EXISTING ASPHALT TO BE REMOVED
D12	EXISTING GRAVEL TO BE REMOVED
D14	EXISTING UTILITY POLE TO BE REMOVED
D15	EXISTING UTILITY POLE TO BE RELOCATED. SEE UTILITY PLAN.
D35	BOLLARDS TO BE REMOVED (TYP.)
D38	EXISTING CURB INLET TO CONVERTED OR REPLACED WITH A DOT DROP INLET. SEE GRADING PLAN.
D41	CONCRETE SIDEWALK TO BE REMOVED
D49	REMOVE EX. WATER METER. CONTRACTOR TO ABANDON SERVICE PER CORPUD STANDARDS. CAP SERVICE AT WATER MAIN
D59	LIMITS OF SAWCUT AND FULL DEPTH PAVEMENT REMOVAL
D64	EXISTING SIGN TO BE REMOVED
D65	EXISTING UTILITY SERVICES TO BE REMOVED
D66	EXISTING RETAINING WALL TO BE REMOVED
D67	EXISTING DRIVEWAY APRON TO BE REMOVED
D68	OWNER TO COORDINATE WITH NEIGHBOR. REMOVE EXISTING GRAVEL UP TO THIS LINE.

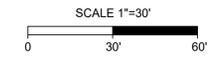
PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



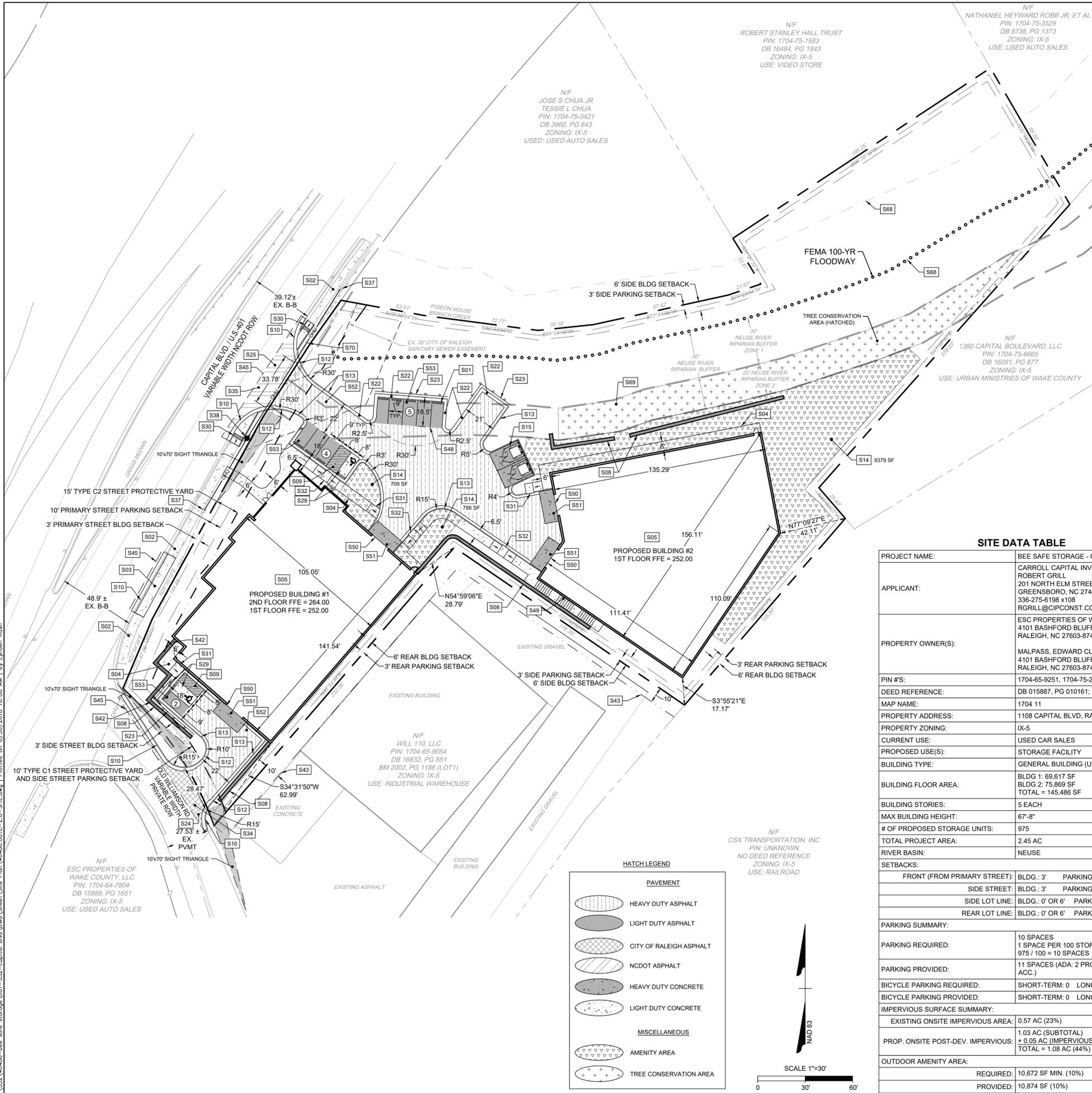
**EXISTING CONDITIONS LEGEND**

PROPERTY BOUNDARY	---
ADJACENT PROPERTY	---
EXISTING TREE LINE	~ ~ ~
EXISTING SANITARY SEWER	SAN
EXISTING SANITARY MH	⊙
EXISTING STORM SEWER	---
EXISTING O/H POWER	OHP
EXISTING POWER POLE	⊙
EXISTING LIGHT POLE	⊙
EXISTING FIRE HYDRANT	⊙
EXISTING WATER VALVE	⊙
LIMITS OF DISTURBANCE	LOD
FEMA FLOODWAY	•••••



KNOW WHAT'S BELOW.  
CALL 811 BEFORE YOU DIG.

C:\332\40486-bee safe storage\001-332-capital blvd\DWG\Sheet\Site Plan\40486.001C-10-EX16.dwg | Plotted on 8/30/2018 10:08 AM | by Lynden Rush



**SITE LAYOUT NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
- AT LEAST 72 HOURS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) OR (1-800-632-4949) TO HAVE EXISTING UTILITIES LOCATED.
- PARKING SPACES ARE 8.5' WIDE X 18' LONG MINIMUM EXCEPT HANDICAP SPACES WHICH ARE 8.0' WIDE MINIMUM WITH 8.0' VAN ACCESS AND 5.0' STANDARD ACCESS AISLES.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ALL CURB AND GUTTER ON-SITE SHALL BE 24" WIDE. ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
- TRANSITION FROM 30" TO 24" CURB AND GUTTER IS TO OCCUR ON-SITE. THIS TRANSITION SHALL BE 10' LONG IMMEDIATELY ADJACENT TO PUBLIC RIGHT OF WAY.
- ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- ALL DRIVEWAY DESIGN AND CONSTRUCTION MUST COMPLY WITH THE RALEIGH STREET DESIGN MANUAL. DRIVEWAYS SHALL BE PERMITTED SEPARATELY.
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
- PER SECTION A-1 OF THE COR SOLID WASTE COLLECTION DESIGN MANUAL, ALL PARKING AREAS TO BE DIRECTLY ACCESSED BY SOLID WASTE COLLECTION VEHICLES MUST MAINTAIN ALL INTERNAL INSIDE CURB RADI AT A MIN. 30'. ALL PARKING LOT AISLES THAT WILL BE TRAVELED BY SOLID WASTE COLLECTION VEHICLES MUST MEET THE RESIDENTIAL STREET STANDARD OF 8' SUB-BASE AND 2.5' ASPHALT SURFACE. SITE PLANS MUST DESIGNATE THE INGRESS AND EGRESS ROUTES FOR SOLID WASTE COLLECTION VEHICLES.

**TRANSPORTATION CONSTRUCTION NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- ANY CONTRACTOR OR PROJECT MANAGER THAT IS WORKING ON A CITY PROJECT SHALL SUBMIT A NOTIFICATION TO THE RW OBSTRUCTION APPLICATION FOR EMERGENCY/MAINTENANCE WORK PRIOR TO THE START OF WORK.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

**SITE DATA TABLE**

PROJECT NAME:	BEE SAFE STORAGE - CAPITAL BLVD.
APPLICANT:	CARROLL CAPITAL INVESTMENTS, LLC ROBERT GRILL 201 NORTH ELM STREET GREENSBORO, NC 27401 336-275-6198 x108 RGRILL@CIPCONST.COM
PROPERTY OWNER(S):	ESC PROPERTIES OF WAKE COUNTY, LLC 4101 BASHFORD BLUFFS LANE RALEIGH, NC 27603-8744
PIN #'S:	1704-65-9251, 1704-75-2304
DEED REFERENCE:	DB 015887, PG 010161; DB 016266, PG 01175
MAP NAME:	1704 11
PROPERTY ADDRESS:	1108 CAPITAL BLVD, RALEIGH, NC 27603
PROPERTY ZONING:	IX-5
CURRENT USE:	USED CAR SALES
PROPOSED USE(S):	STORAGE FACILITY
BUILDING TYPE:	GENERAL BUILDING (UDO SEC 3.2.5)
BUILDING FLOOR AREA:	BLDG 1: 69,617 SF BLDG 2: 75,869 SF TOTAL = 145,486 SF
BUILDING STORIES:	5 EACH
MAX BUILDING HEIGHT:	67'-8"
# OF PROPOSED STORAGE UNITS:	975
TOTAL PROJECT AREA:	2.45 AC
RIVER BASIN:	NEUSE
SETBACKS:	FRONT (FROM PRIMARY STREET): BLDG.: 3' PARKING: 10' SIDE STREET: BLDG.: 3' PARKING: 10' SIDE LOT LINE: BLDG.: 0' OR 6' PARKING: 0' OR 3' REAR LOT LINE: BLDG.: 0' OR 6' PARKING: 0' OR 3'
PARKING SUMMARY:	
PARKING REQUIRED:	10 SPACES 1 SPACE PER 100 STORAGE UNITS 975 / 100 = 10 SPACES
PARKING PROVIDED:	11 SPACES (ADA: 2 PROVIDED W/ 2 VAN ACC.)
BICYCLE PARKING REQUIRED:	SHORT-TERM: 0 LONG-TERM: 0
BICYCLE PARKING PROVIDED:	SHORT-TERM: 0 LONG-TERM: 0
IMPERVIOUS SURFACE SUMMARY:	
EXISTING ONSITE IMPERVIOUS AREA:	0.57 AC (23%)
PROP. ONSITE POST-DEV. IMPERVIOUS:	1.03 AC (SUBTOTAL) + 0.05 AC (IMPERVIOUS CONTINGENCY) TOTAL = 1.08 AC (44%)
OUTDOOR AMENITY AREA:	REQUIRED: 10,672 SF MIN. (10%) PROVIDED: 10,874 SF (10%)

SITE LAYOUT KEYNOTES	
NUMBER	DESCRIPTION
S01	CONCRETE WHEELSTOP (TYP.)
S02	EXISTING SIDEWALK TO REMAIN
S03	PROPOSED CONCRETE SIDEWALK PER CITY SPECS. MATCH EXISTING.
S04	PROPOSED CONCRETE SIDEWALK (TYP.)
S05	PROPOSED BUILDING; SEE ARCHITECTURAL PLANS
S08	PROPOSED RETAINING WALL BY OTHERS STRUCTURAL ENGINEER. 42" MIN. HEIGHT PEDESTRIAN SAFETY RAIL REQUIRED ATOP WALL WHEREVER WALL HEIGHT EXCEEDS 30".
S09	PROPOSED CONCRETE ADA STALL. STRIPING & SYMBOL OF ACCESSIBILITY PER ADA AND LOCAL REQUIREMENTS
S10	PROPOSED 30" CURB & GUTTER PER CITY & DOT SPECS
S12	TRANSITION 24" TO 30" CURB AND GUTTER WITHIN 10' OF ROW
S13	PROPOSED 24" CURB & GUTTER ON PRIVATE PROPERTY (TYP.)
S14	PROPOSED AMENITY AREA (TYP.)
S15	DUMPSTER ENCLOSURE WITH HEAVY DUTY CONCRETE PAD
S22	PROPOSED 24" FLUSH CONCRETE (NO CURB)
S23	PROPOSED VEHICULAR GUARDRAIL. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO ARCHITECT.
S24	PROPOSED ASPHALT IN RW PER CITY OF RALEIGH SPECS.
S25	PROPOSED ASPHALT IN RW PER NCDOT SPECS.
S29	VAN ACCESSIBLE ADA STALL & SIGN
S30	TYPE N-1 CITY OF RALEIGH CURB RAMP
S31	ADA RAMP
S32	FLUSH ADA RAMP
S34	FULL ACCESS DRIVEWAY
S35	RIGHT-IN / RIGHT OUT DRIVEWAY EXISTING UTILITY POLE TO REMAIN. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY TO REMOVE ANY EXISTING LIGHTS SHINING ON PRIVATE PROPERTY. (DO NOT REMOVE STREET LIGHTS.)
S38	PROPOSED UTILITY POLE LOCATION. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY TO RELOCATE EXISTING POLE OUT OF DRIVEWAY AND SIDEWALK.
S42	6" HIGH DECORATIVE FENCE ATOP RETAINING WALL
S43	TEMPORARY CONSTRUCTION ACCESS EASEMENT
S45	LIMITS OF SAWCUT AND FULL DEPTH PAVEMENT REMOVAL
S48	PARKING STALL STRIPING (PER LOCAL CODES) (TYP.)
S49	STAIRS WITH HANDRAILS. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO OWNER.
S50	PORT. SEE ARCHITECT PLANS.
S51	HEAVY-DUTY CONCRETE PAVEMENT
S52	HEAVY-DUTY ASPHALT PAVEMENT
S53	LIGHT-DUTY ASPHALT PAVEMENT
S68	TOP OF HYDRAULIC STREAM BANK PER ENVIRONMENTAL DETERMINATION.
S69	PROPOSED TREE CONSERVATION AREA
S70	EXISTING GUARDRAIL TO REMAIN

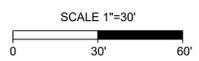
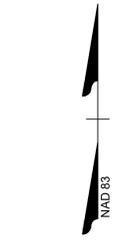
PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

**HATCH LEGEND**

PAVEMENT	
[Hatch Pattern]	HEAVY DUTY ASPHALT
[Hatch Pattern]	LIGHT DUTY ASPHALT
[Hatch Pattern]	CITY OF RALEIGH ASPHALT
[Hatch Pattern]	NCDOT ASPHALT
[Hatch Pattern]	HEAVY DUTY CONCRETE
[Hatch Pattern]	LIGHT DUTY CONCRETE
MISCELLANEOUS	
[Hatch Pattern]	AMENITY AREA
[Hatch Pattern]	TREE CONSERVATION AREA

NIF  
CSX TRANSPORTATION, INC  
PIN: UNKNOWN  
NO DEED REFERENCE  
ZONING: IX-5  
USE: RAILROAD



PRELIMINARY  
NOT FOR  
CONSTRUCTION

THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5410 Trinity Road, Suite 102 | Raleigh, NC 27607  
TEL 919.866.9551 FAX 919.833.8124 www.timmons.com

REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	08/30/18

DATE  
08/30/18  
DRAWN BY  
L. RUSH  
DESIGNED BY  
S. BALLENTINE  
CHECKED BY  
S. BALLENTINE  
SCALE  
AS SHOWN

**TIMMONS GROUP**

**BEE SAFE STORAGE - CAPITAL BLVD**  
1108 CAPITAL BLVD., RALEIGH - WAKE COUNTY - NORTH CAROLINA 27603

**SITE PLAN**

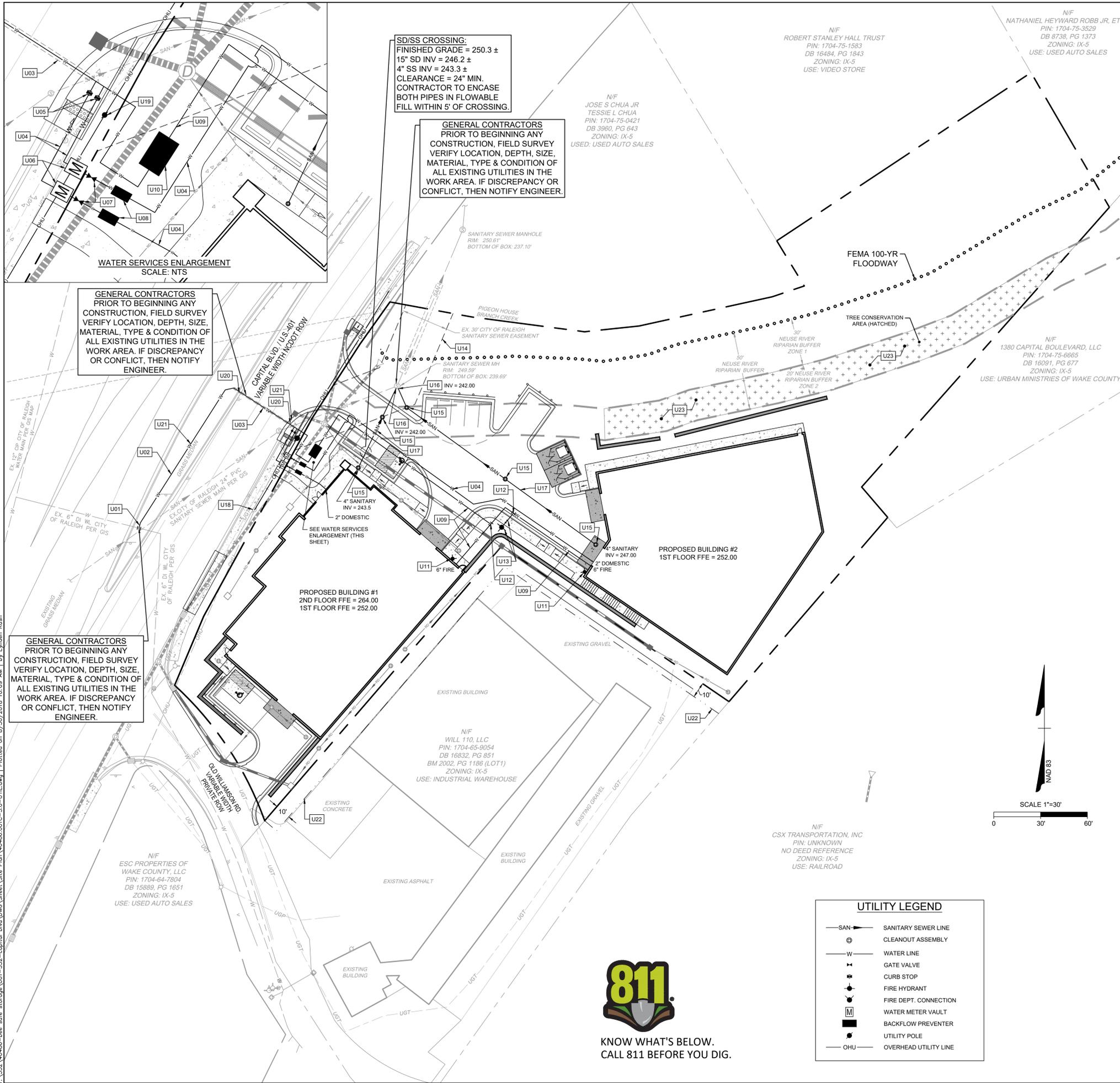
NORTH CAROLINA LICENSE NO. C-1652

JOB NO.  
40486.001

SHEET NO.  
C2.0

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

C:\332\40486-bee safe storage\001-332-capital blvd\DWG\Sheet\Site Plan\40486.001C-2.0-SITE.dwg | Plotted on 8/30/2018 10:08 AM by Lynden Rush



**SD/SS CROSSING:**  
 FINISHED GRADE = 250.3 ±  
 15" SD INV = 246.2 ±  
 4" SS INV = 243.3 ±  
 CLEARANCE = 24" MIN.  
 CONTRACTOR TO ENCASE  
 BOTH PIPES IN FLOWABLE  
 FILL WITHIN 5' OF CROSSING.

**GENERAL CONTRACTORS  
 PRIOR TO BEGINNING ANY  
 CONSTRUCTION, FIELD SURVEY  
 VERIFY LOCATION, DEPTH, SIZE,  
 MATERIAL, TYPE & CONDITION OF  
 ALL EXISTING UTILITIES IN THE  
 WORK AREA. IF DISCREPANCY OR  
 CONFLICT, THEN NOTIFY ENGINEER.**

**GENERAL CONTRACTORS  
 PRIOR TO BEGINNING ANY  
 CONSTRUCTION, FIELD SURVEY  
 VERIFY LOCATION, DEPTH, SIZE,  
 MATERIAL, TYPE & CONDITION OF  
 ALL EXISTING UTILITIES IN THE  
 WORK AREA. IF DISCREPANCY  
 OR CONFLICT, THEN NOTIFY  
 ENGINEER.**

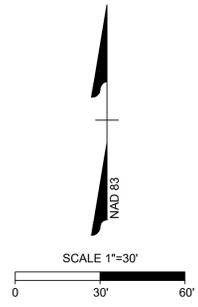
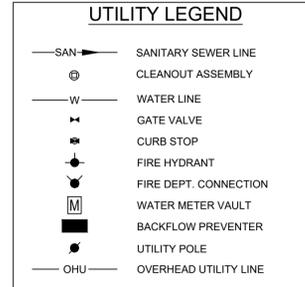
**GENERAL CONTRACTORS  
 PRIOR TO BEGINNING ANY  
 CONSTRUCTION, FIELD SURVEY  
 VERIFY LOCATION, DEPTH, SIZE,  
 MATERIAL, TYPE & CONDITION OF  
 ALL EXISTING UTILITIES IN THE  
 WORK AREA. IF DISCREPANCY  
 OR CONFLICT, THEN NOTIFY  
 ENGINEER.**

**STANDARD UTILITY NOTES:**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER AND/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL TYPE 'K' COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT.
- INSTALL SCHEDULE 40 PVC SEWER SERVICES @ MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM. (4" AT 1/4 INCH/FT MIN., 6" AT 1/8 INCH/FT MIN.)
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE AND/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

**UTILITY KEYNOTES**

NUMBER	DESCRIPTION
U01	TAP EXISTING 6" DI WATER MAIN WITH 6"x6" TAPPING SLEEVE AND 6" TAPPING VALVE PER CITY SPECS.
U02	PROPOSED CITY OF RALEIGH 6" DI WATER MAIN PER CITY SPECS. 3.0' MIN. COVER.
U03	BORE & JACK .45 LF OF 14" DIA STEEL ENCASUREMENT PIPE (0.375" NOMINAL ENCASUREMENT THICKNESS) WITH 6" DIP CARRIER PIPE & SPIDERS PER CITY SPECS.
U04	PROPOSED 2" TYPE 'K' COPPER DOMESTIC WATER SERVICE
U05	CURB STOP
U06	PROPOSED 2" DOMESTIC WATER METER PER CITY SPECS.
U07	PROPOSED 2" SERVICE VALVE @ RAW LINE
U08	PROPOSED 2" RPZ DOMESTIC BACKFLOW PREVENTER IN ABOVE GRADE HEATED & INSULATED ENCLOSURE PER CITY SPECS.
U09	PROPOSED 6" DI PRIVATE FIRE WATER SERVICE PER CITY SPECS. 3.0' MIN. COVER.
U10	PROPOSED 6" RPDA FIRE BACKFLOW PREVENTER IN ABOVE GRADE HEATED & INSULATED ENCLOSURE PER CITY SPECS.
U11	PROPOSED FIRE DEPARTMENT CONNECTION. SEE ARCHITECT/PLUMBING DRAWINGS.
U12	PROPOSED 6"x6" TEE
U13	PROPOSED 6" DI HYDRANT SERVICE & 6" GATE VALVE PER CITY SPECS.
U14	EXISTING 30" WIDE CITY OF RALEIGH SANITARY SEWER EASEMENT
U15	PROPOSED SANITARY SEWER CLEANOUT PER CITY SPECS. ALL CLEANOUTS IN PAVED AREAS SHALL BE TRAFFIC-RATED.
U16	CONNECT 4" SANITARY SEWER SERVICE TO EXISTING SANITARY SEWER MANHOLE PER CITY SPECS. CORE DRILL & INSTALL FLEXIBLE RUBBER BOOT.
U17	PROPOSED 4" PVC SANITARY SEWER SERVICE @ 1/4 INCH/FOOT MINIMUM SLOPE PER CITY SPECS. 4.0' MIN. COVER.
U18	EXISTING UTILITY POLE TO REMAIN. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY TO REMOVE ANY EXISTING LIGHTS SHINING ON PRIVATE PROPERTY. (DO NOT REMOVE STREET LIGHTS.)
U19	PROPOSED UTILITY POLE LOCATION. CONTRACTOR TO COORDINATE W/ UTILITY COMPANY TO RELOCATE EXISTING POLE OUT OF DRIVEWAY & SIDEWALK.
U20	CUT & PATCH EXISTING ROAD, CURB & GUTTER AS NEEDED PER CITY & DOT SPECS.
U21	CONTRACTOR TO COORDINATE TRAFFIC CONTROL PER CITY & DOT STANDARDS.
U22	TEMPORARY CONSTRUCTION ACCESS EASEMENT
U23	TREE CONSERVATION AREA



KNOW WHAT'S BELOW.  
 CALL 811 BEFORE YOU DIG.

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
 5410 Trinity Road, Suite 02 | Raleigh, NC 27607  
 TEL 919.866.9551 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
08/30/18	

DRAWN BY  
**S.MOORE**

DESIGNED BY  
**S.MOORE**

CHECKED BY  
**R.BAKER**

SCALE  
**AS SHOWN**

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

**BEE SAFE STORAGE - CAPITAL BLVD**  
 1108 CAPITAL BLVD., RALEIGH - WAKE COUNTY - NORTH CAROLINA 27603

**UTILITY PLAN**

JOB NO.  
**40486.001**

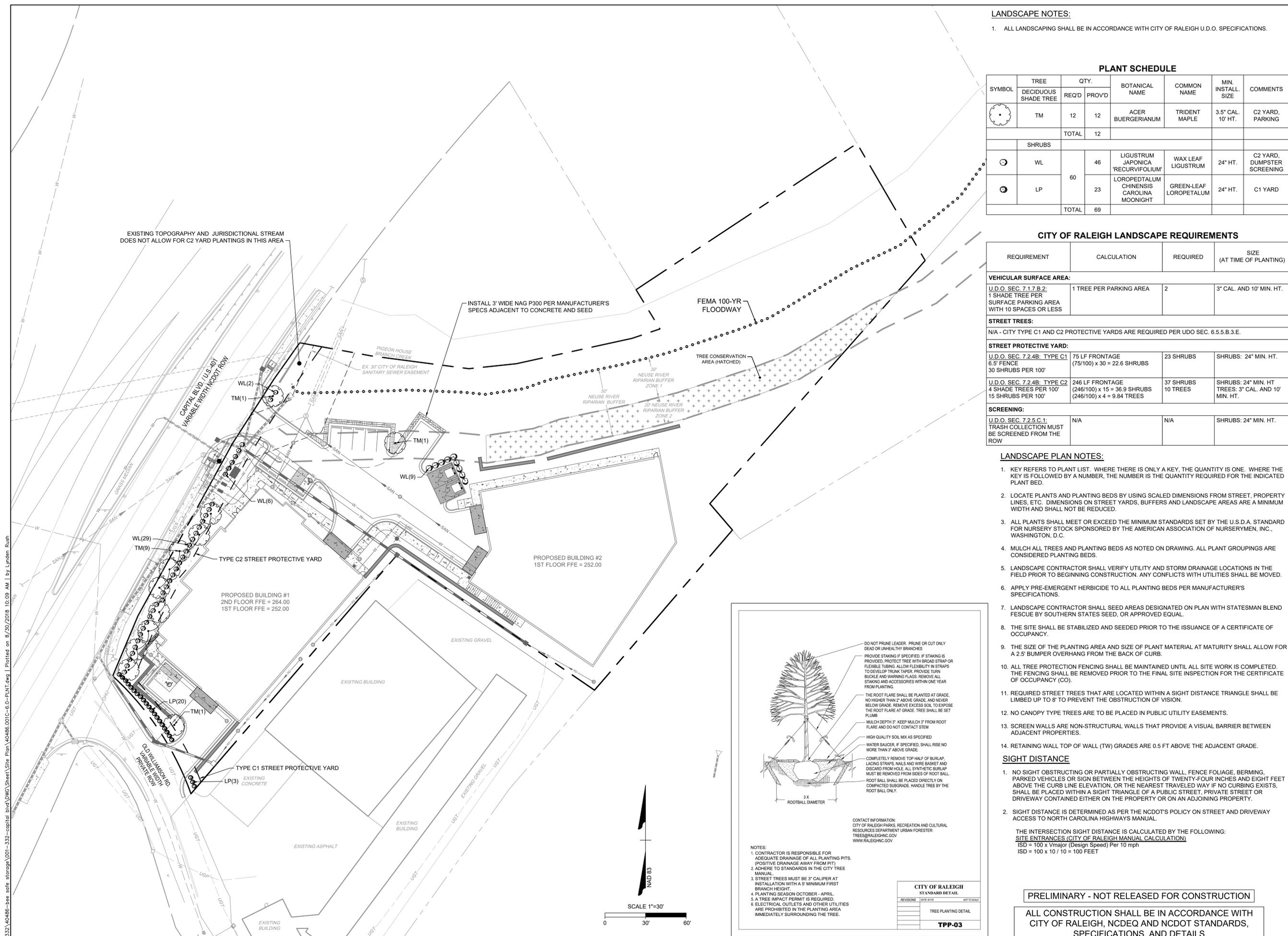
SHEET NO.  
**C5.0**

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH  
 CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS,  
 SPECIFICATIONS, AND DETAILS

C:\322\40486-bee safe storage\001-332-capital blvd\DWG\Sheet\Site Plan\40486.001C-5.0-UTIL.dwg | Plotted on 8/30/2018 10:09 AM | by Lynden Rush

C:\322\40486-bee safe storage\001-332-capital Blvd\DWG\Sheet\Site Plan\40486.001C-6.0-PLANT.dwg | Plotted on 8/30/2018 10:09 AM | by Lyndee Rush



**LANDSCAPE NOTES:**  
 1. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH U.D.O. SPECIFICATIONS.

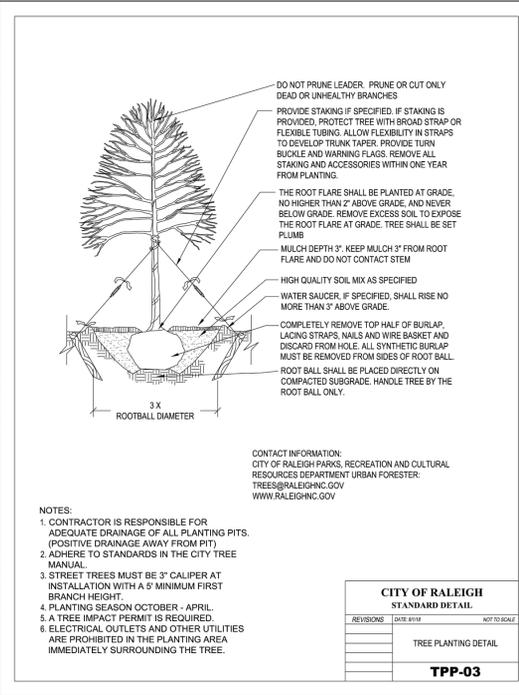
**PLANT SCHEDULE**

SYMBOL	TREE DECIDUOUS SHADE TREE	QTY.		BOTANICAL NAME	COMMON NAME	MIN. INSTALL. SIZE	COMMENTS
		REQ'D	PROV'D				
	TM	12	12	ACER BUERGERIANUM	TRIDENT MAPLE	3.5" CAL. 10' HT.	C2 YARD, PARKING
TOTAL		12					
<b>SHRUBS</b>							
	WL		46	LIGUSTRUM JAPONICA 'RECURVIFOLIUM'	WAX LEAF LIGUSTRUM	24" HT.	C2 YARD, DUMPSTER SCREENING
	LP		23	LOROPEDTALUM CHINENSIS CAROLINA MOONLIGHT	GREEN-LEAF LOROPETALUM	24" HT.	C1 YARD
TOTAL		69					

**CITY OF RALEIGH LANDSCAPE REQUIREMENTS**

REQUIREMENT	CALCULATION	REQUIRED	SIZE (AT TIME OF PLANTING)
<b>VEHICULAR SURFACE AREA:</b> U.D.O. SEC. 7.1.7.B.2: 1 SHADE TREE PER SURFACE PARKING AREA WITH 10 SPACES OR LESS	1 TREE PER PARKING AREA	2	3" CAL. AND 10' MIN. HT.
<b>STREET TREES:</b> N/A - CITY TYPE C1 AND C2 PROTECTIVE YARDS ARE REQUIRED PER UDO SEC. 6.5.5.B.3.E.			
<b>STREET PROTECTIVE YARD:</b>			
U.D.O. SEC. 7.2.4B: TYPE C1 6.5' FENCE 30 SHRUBS PER 100'	75 LF FRONTAGE (75/100) x 30 = 22.6 SHRUBS	23 SHRUBS	SHRUBS: 24" MIN. HT.
U.D.O. SEC. 7.2.4B: TYPE C2 4 SHADE TREES PER 100' 15 SHRUBS PER 100'	246 LF FRONTAGE (246/100) x 15 = 36.9 SHRUBS (246/100) x 4 = 9.84 TREES	37 SHRUBS 10 TREES	SHRUBS: 24" MIN. HT. TREES: 3" CAL. AND 10' MIN. HT.
<b>SCREENING:</b> U.D.O. SEC. 7.2.5.C.1: TRASH COLLECTION MUST BE SCREENED FROM THE ROW	N/A	N/A	SHRUBS: 24" MIN. HT.

- LANDSCAPE PLAN NOTES:**
- KEY REFERS TO PLANT LIST. WHERE THERE IS ONLY A KEY, THE QUANTITY IS ONE. WHERE THE KEY IS FOLLOWED BY A NUMBER, THE NUMBER IS THE QUANTITY REQUIRED FOR THE INDICATED PLANT BED.
  - LOCATE PLANTS AND PLANTING BEDS BY USING SCALED DIMENSIONS FROM STREET, PROPERTY LINES, ETC. DIMENSIONS ON STREET YARDS, BUFFERS AND LANDSCAPE AREAS ARE A MINIMUM WIDTH AND SHALL NOT BE REDUCED.
  - ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE U.S.D.A. STANDARD FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C.
  - MULCH ALL TREES AND PLANTING BEDS AS NOTED ON DRAWING. ALL PLANT GROUPINGS ARE CONSIDERED PLANTING BEDS.
  - LANDSCAPE CONTRACTOR SHALL VERIFY UTILITY AND STORM DRAINAGE LOCATIONS IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. ANY CONFLICTS WITH UTILITIES SHALL BE MOVED.
  - APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS PER MANUFACTURER'S SPECIFICATIONS.
  - LANDSCAPE CONTRACTOR SHALL SEED AREAS DESIGNATED ON PLAN WITH STATESMAN BLEND FESCUE BY SOUTHERN STATES SEED, OR APPROVED EQUAL.
  - THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2.5' BUMPER OVERHANG FROM THE BACK OF CURB.
  - ALL TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED. THE FENCING SHALL BE REMOVED PRIOR TO THE FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY (CO).
  - REQUIRED STREET TREES THAT ARE LOCATED WITHIN A SIGHT DISTANCE TRIANGLE SHALL BE LIMBED UP TO 8' TO PREVENT THE OBSTRUCTION OF VISION.
  - NO CANOPY TYPE TREES ARE TO BE PLACED IN PUBLIC UTILITY EASEMENTS.
  - SCREEN WALLS ARE NON-STRUCTURAL WALLS THAT PROVIDE A VISUAL BARRIER BETWEEN ADJACENT PROPERTIES.
  - RETAINING WALL TOP OF WALL (TW) GRADES ARE 0.5 FT ABOVE THE ADJACENT GRADE.
- SIGHT DISTANCE**
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
  - SIGHT DISTANCE IS DETERMINED AS PER THE NCDOT'S POLICY ON STREET AND DRIVEWAY ACCESS TO NORTH CAROLINA HIGHWAYS MANUAL.
- THE INTERSECTION SIGHT DISTANCE IS CALCULATED BY THE FOLLOWING:  
**SITE ENTRANCES (CITY OF RALEIGH MANUAL CALCULATION)**  
 ISD = 100 x V/major (Design Speed) Per 10 mph  
 ISD = 100 x 10 / 10 = 100 FEET



**PRELIMINARY NOT FOR CONSTRUCTION**

THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
 5410 Trinity Road, Suite 02 | Raleigh, NC 27607  
 TEL 919.866.9551 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 08/30/18  
 DRAWN BY: L. RUSH  
 DESIGNED BY: S. BALLENTINE  
 CHECKED BY: S. BALLENTINE

SCALE AS SHOWN

**TIMMONS GROUP**  
 NORTH CAROLINA LICENSE NO. C-1652  
**BEE SAFE STORAGE - CAPITAL BLVD**  
 1108 CAPITAL BLVD., RALEIGH - WAKE COUNTY - NORTH CAROLINA 27603  
**LANDSCAPE PLAN**

JOB NO. 40486.001  
 SHEET NO. C6.0

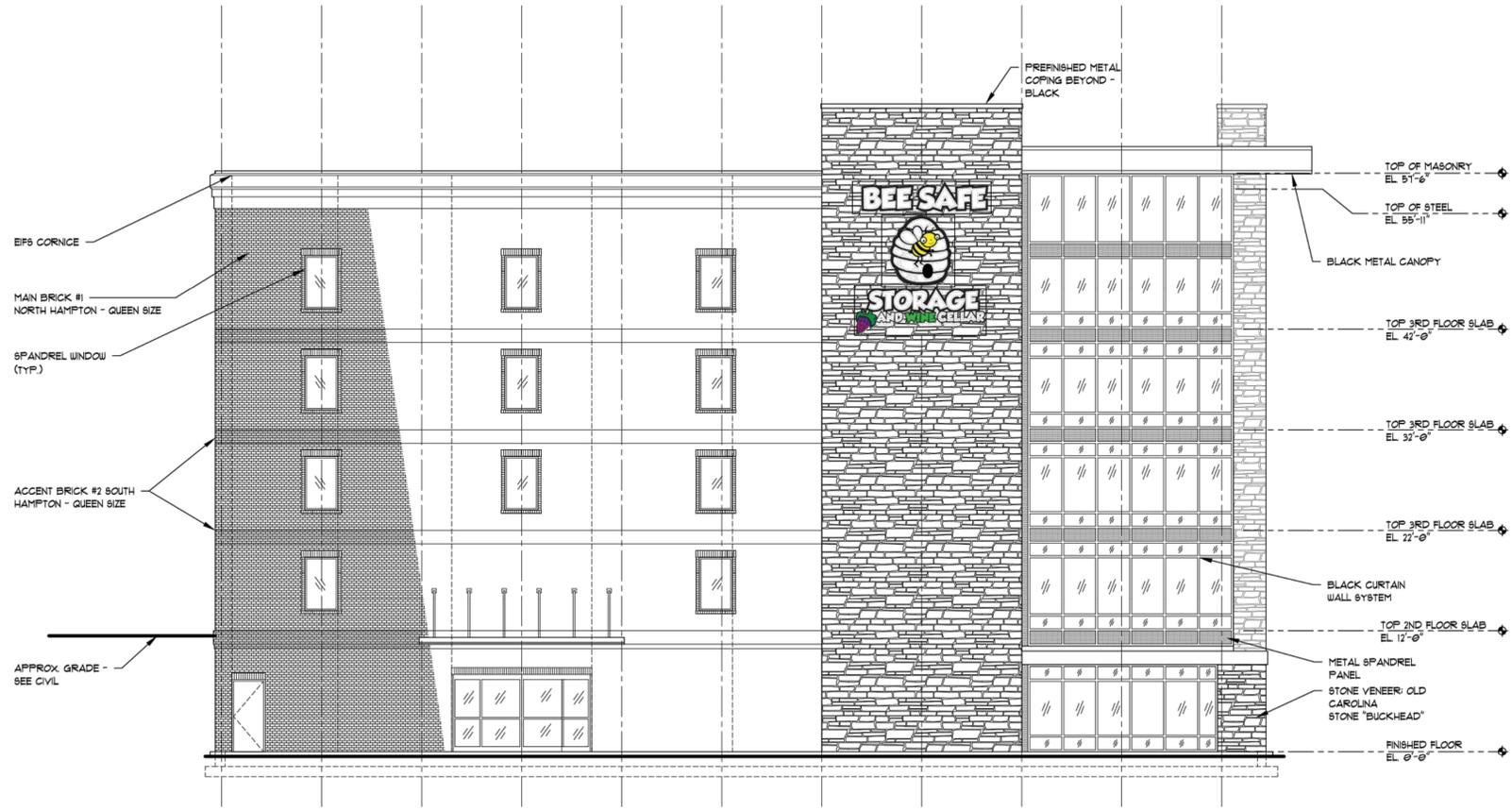
**PRELIMINARY - NOT RELEASED FOR CONSTRUCTION**  
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



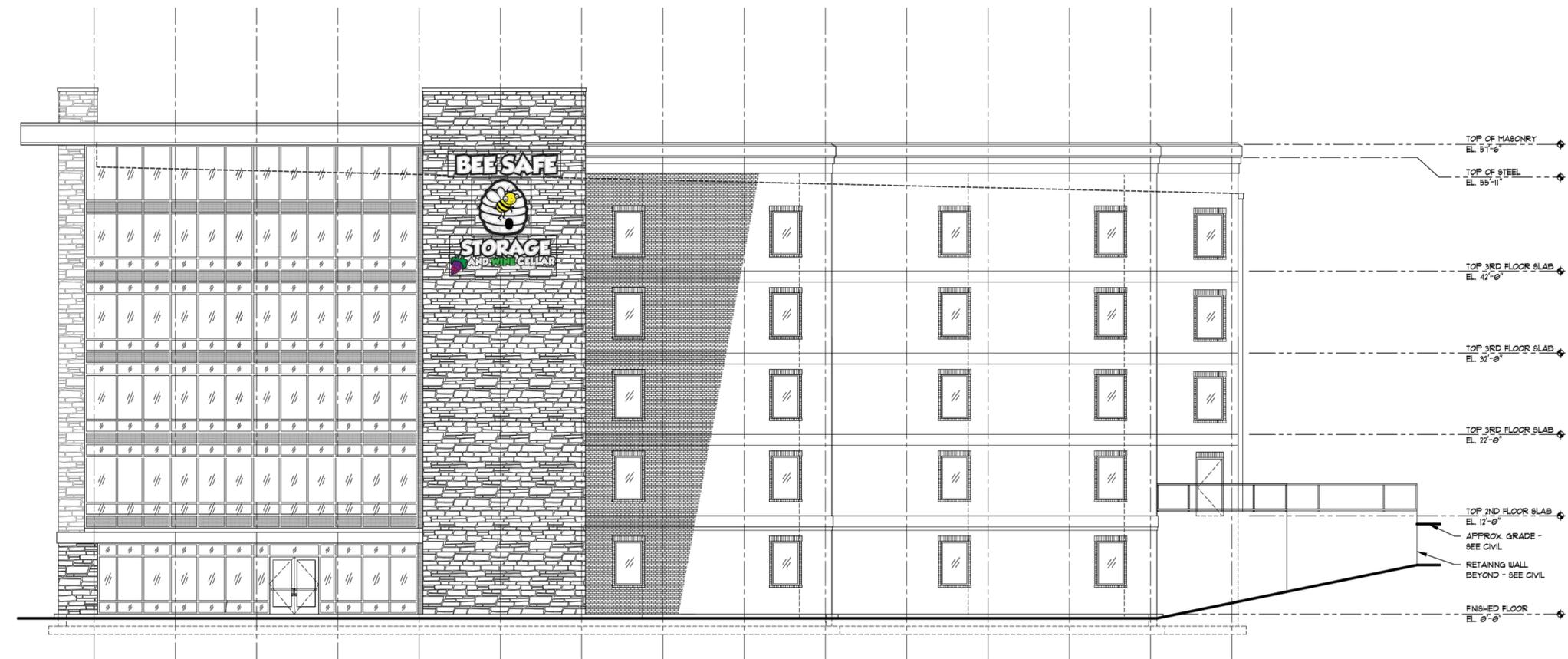
**BEE SAFE**  
**CAPITAL BOULEVARD**  
 RALEIGH, NORTH CAROLINA

**BUILDING ONE - ELEVATIONS**

DATE 07-06-2018  
 DRAWN BY MAHJEK  
 CHECK BY --  
 JOB NO. 18-030  
 SHEET



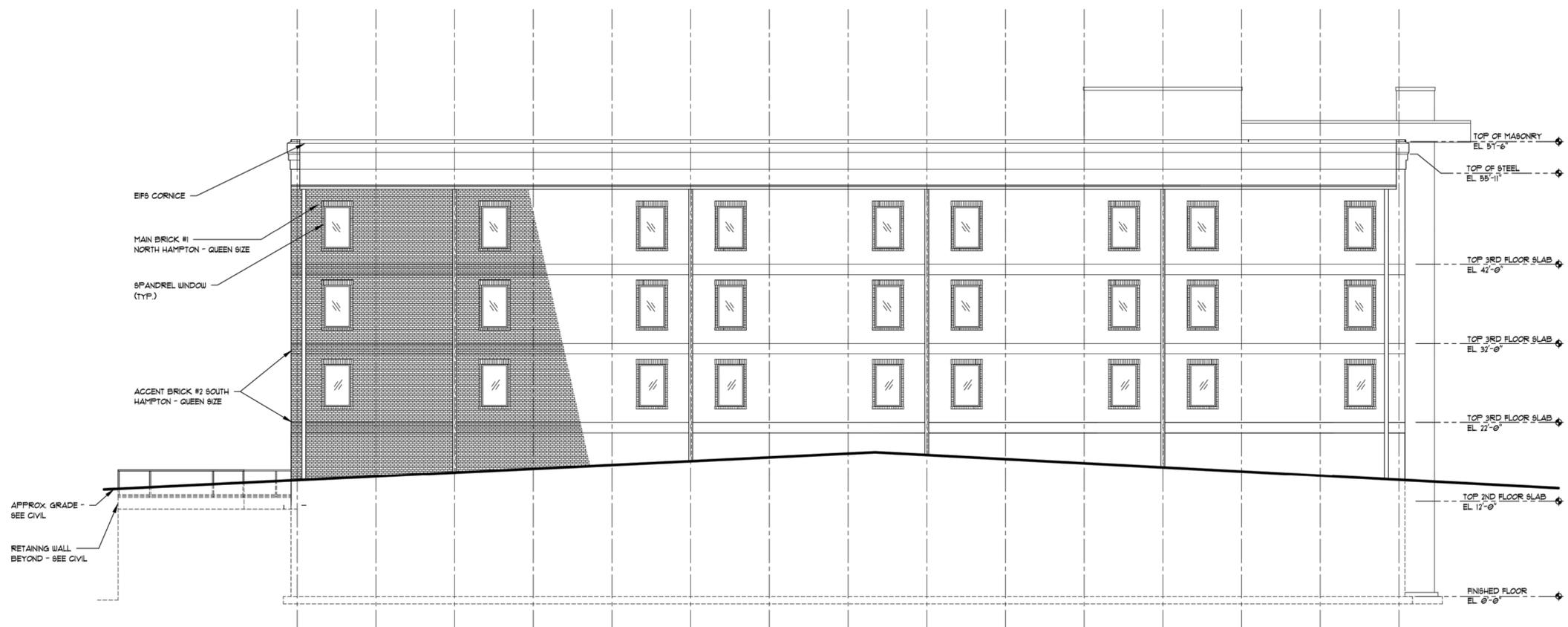
**1**  
**A1** BUILDING ONE - LEFT SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



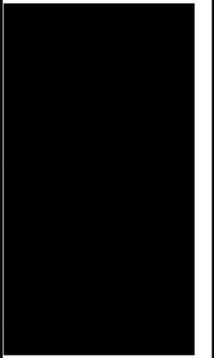
**2**  
**A1** BUILDING ONE - FRONT ELEVATION  
 SCALE: 1/8"=1'-0"



1  
A2 BUILDING ONE - RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



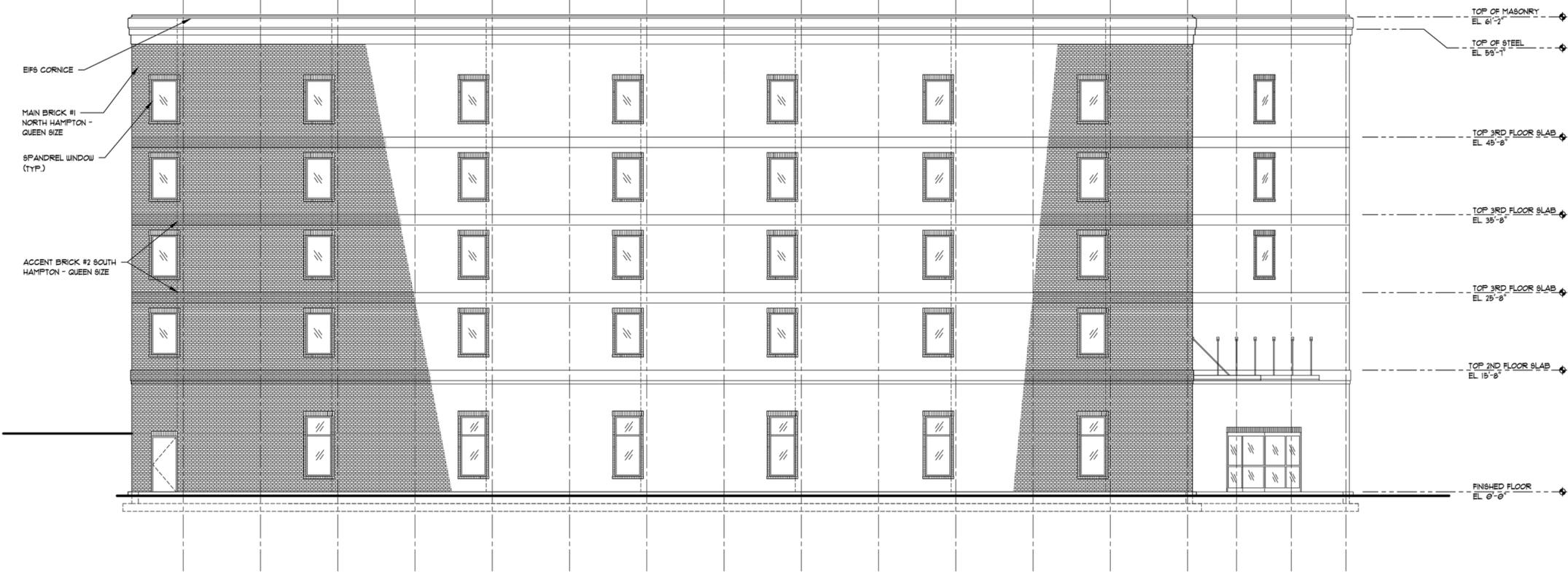
2  
A2 BUILDING ONE - REAR ELEVATION  
SCALE: 1/8"=1'-0"



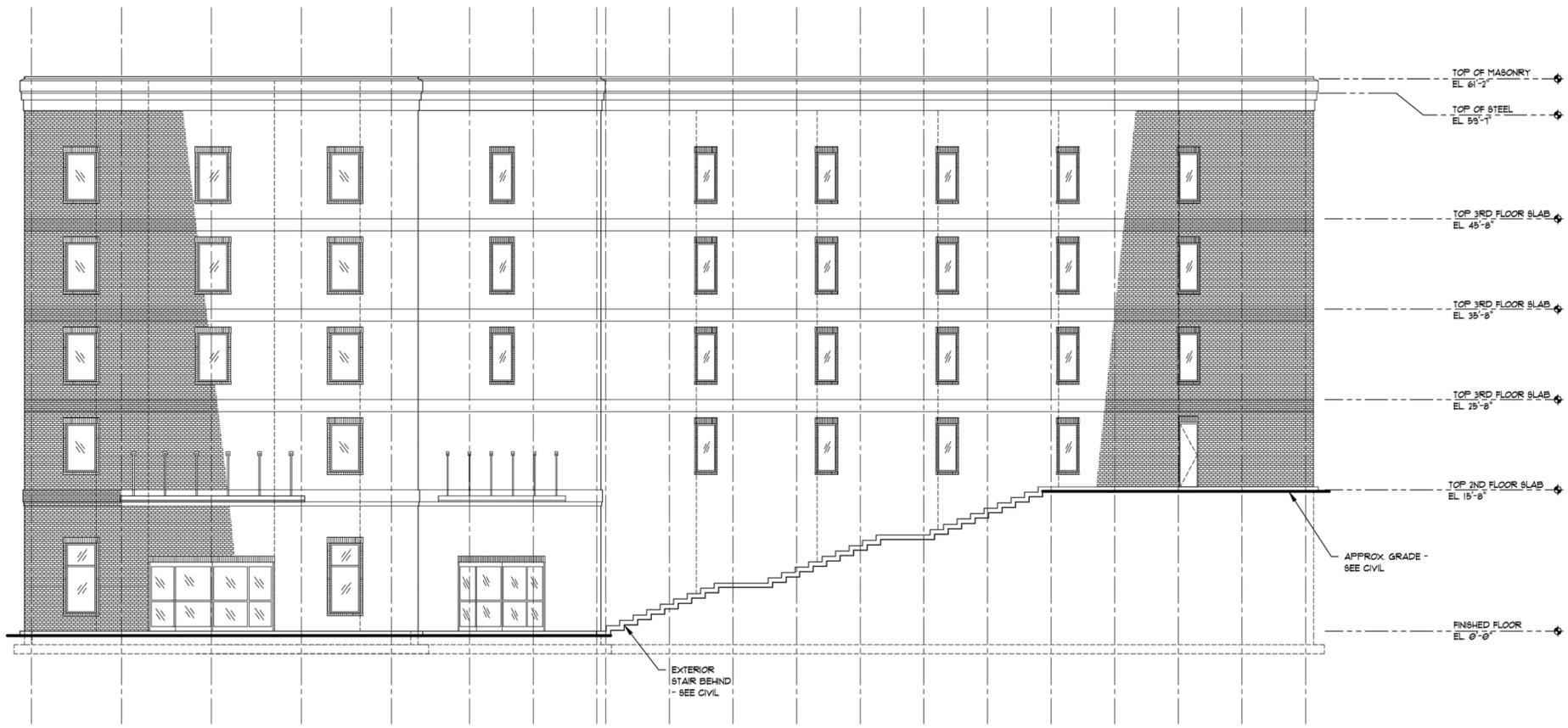
**BEE SAFE**  
**CAPITAL BOULEVARD**  
 RALEIGH, NORTH CAROLINA

**BUILDING TWO - ELEVATIONS**

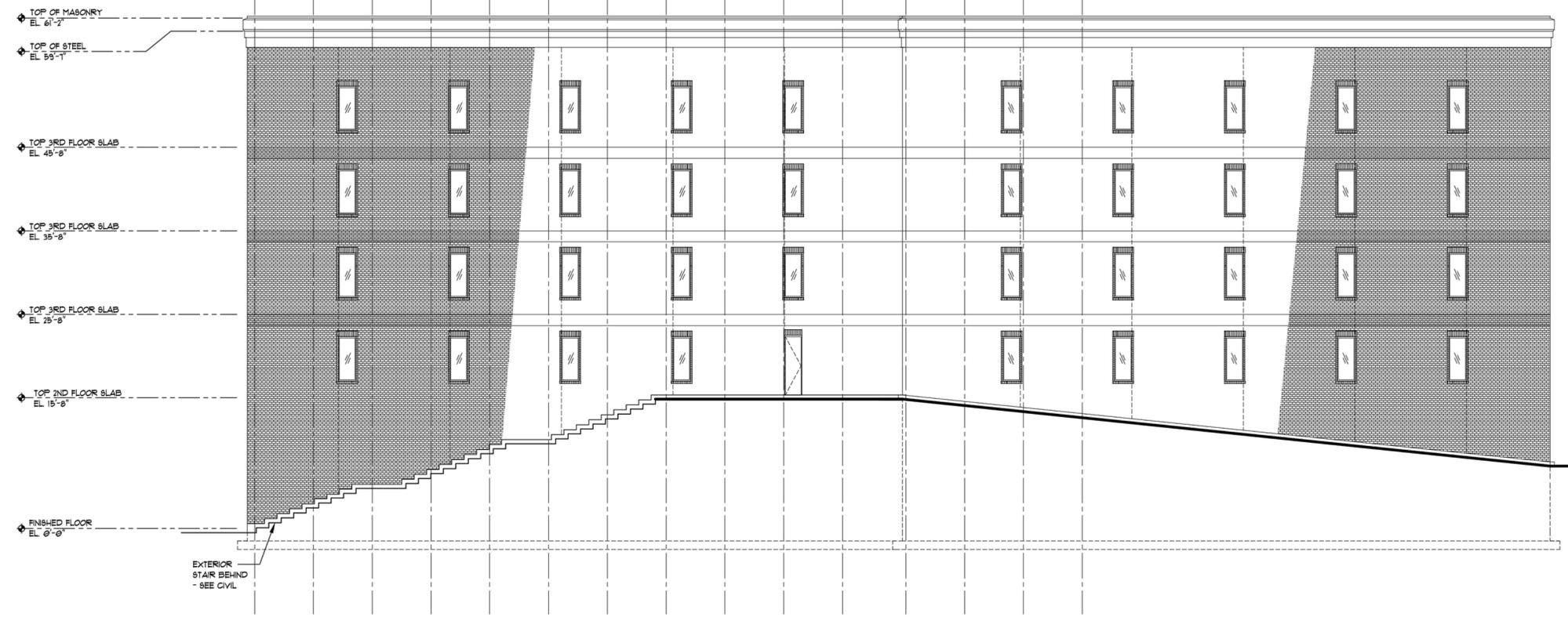
DATE 07-06-2018  
 DRAWN BY MAHJEKH  
 CHECK BY --  
 JOB NO. 18-030  
 SHEET



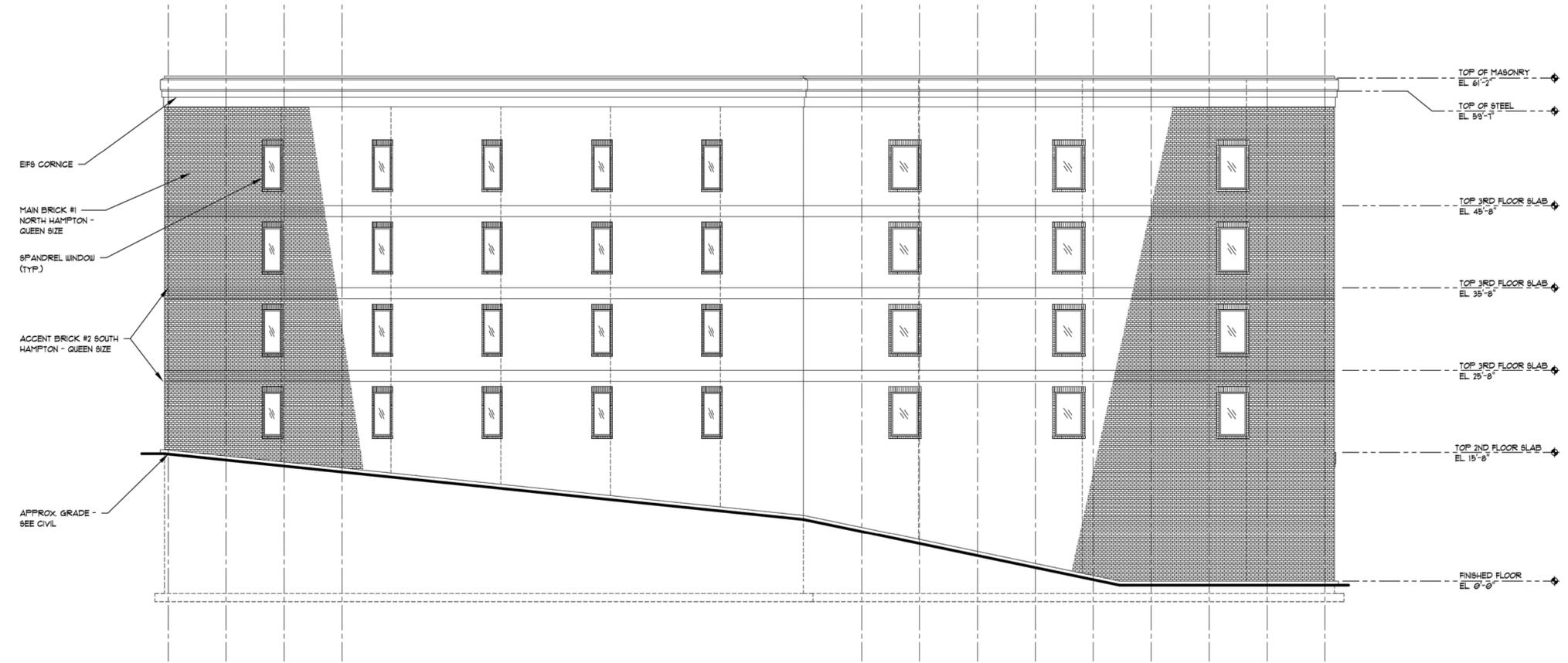
**1**  
**A3**  
**BUILDING TWO - LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**2**  
**A3**  
**BUILDING TWO - FRONT ELEVATION**  
 SCALE: 1/8"=1'-0"



**1**  
**A4** BUILDING TWO - RIGHT SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



**2**  
**A4** BUILDING TWO - REAR ELEVATION  
 SCALE: 1/8"=1'-0"

**BEE SAFE**  
**CAPITAL BOULEVARD**  
 RALEIGH, NORTH CAROLINA

**BUILDING TWO - ELEVATIONS**

DATE 07-06-2018  
 DRAWN BY MAHJEKH  
 CHECK BY --  
 JOB NO. 18-030  
 SHEET

**A4**