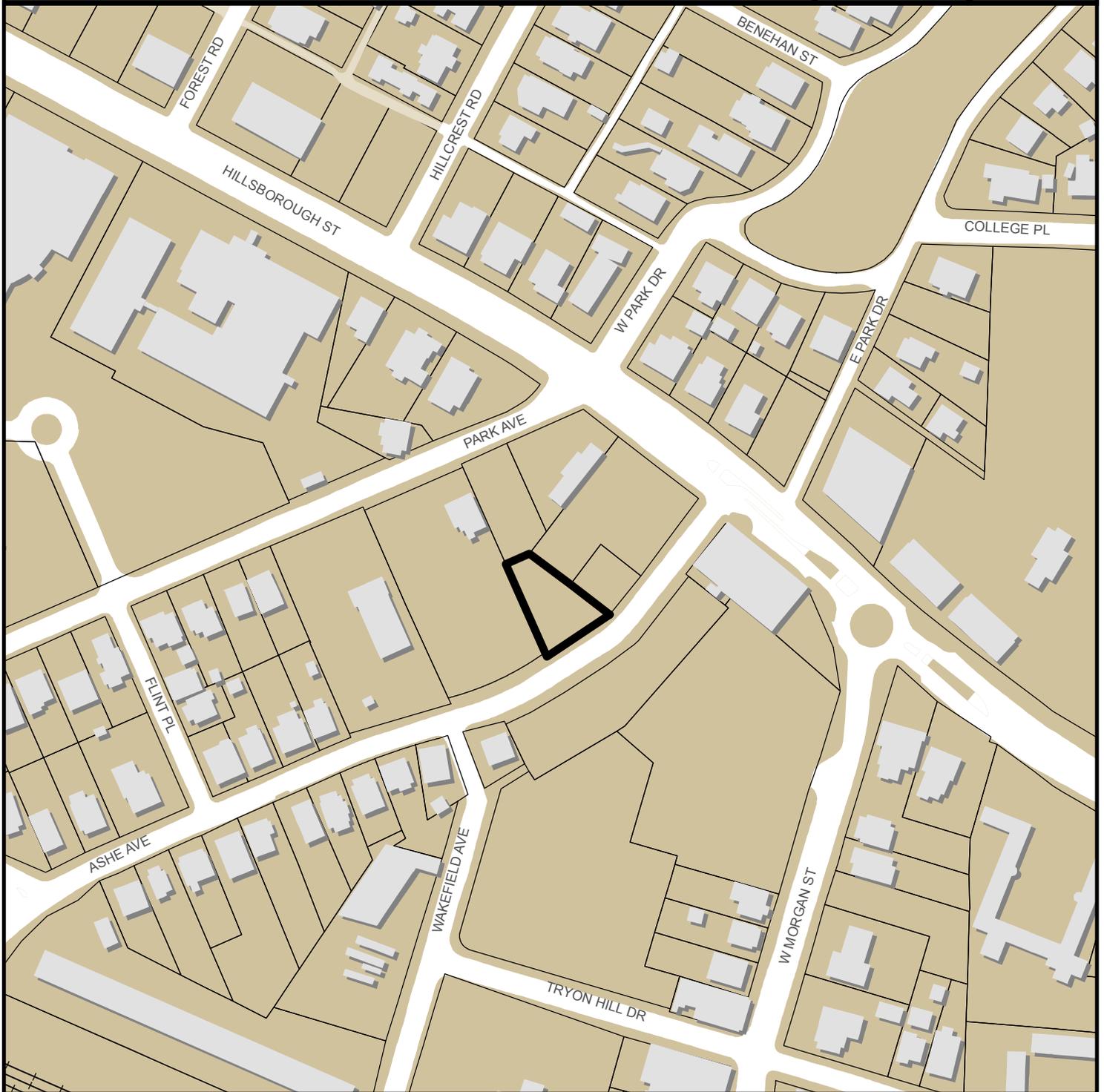


104 ASHE AVENUE APARTMENTS SR-83-2017



0 290 580 Feet

Zoning: **CX-5-UG-CU w/
SRPOD**

CAC: **Hillsborough**

Drainage Basin: **Rocky Branch**

Acreage: **0.23**

Sq. Ft.: **18,070**

Planner: **Daniel Stegall**
Phone: **(919) 996-2712**

Applicant: **Timmons Group**
Phone: **(919) 866-4943**





Administrative Approval Action

104 Ashe Avenue Apartments: SR-83-17, AA# 3770
Transaction# 531899

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the west side of Ashe Avenue and southwest of the intersection of Hillsborough Street and Ashe Avenue. The site address and pin number is 104 Ashe Avenue and 1703198908.

REQUEST: Development of a 0.22 acre tract for 16 apartment units and 1 office in a mixed-use building. The proposed building is 17,665 square feet in size and 4 stories in height. The site is zoned Commercial Mixed Use with an Urban General Frontage (CX-5-UG-CU). In addition the site is located in a Special Residential Parking Overlay District (SRPOD) with zoning conditions that may be referenced by case Z-34-2012.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: A Design Adjustment has been approved by the Development Services Designee for this project waiving the requirement for dedication of a General Utility Placement Easement behind the sidewalk on private property.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Patrick Barbeau of Timmons Group.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

PUBLIC UTILITIES

2. The previous sewer capacity study for 109 Park Ave and Hillsborough St Apartments must be modified to include flow from this development.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

3. Comply with all conditions of Z-34-12.
4. A Final Plat shall be recorded with the Wake County Register of Deeds office for Right of Way and/or Easement Dedications.
5. Provide fire flow analysis.



Administrative Approval Action

104 Ashe Avenue Apartments: SR-83-17, AA# 3770
Transaction# 531899

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ENGINEERING

6. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
7. A cross access agreement between this lot identified by PIN 1703197985 and the adjacent lot identified by PIN 1704107141 as shown on the preliminary plan shall be approved by the Development Services Department for recording with the Wake County Register of Deeds, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one (1) day of recordation. A recorded copy of these documents must be provided to the Development Services Department.
8. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

STORMWATER

9. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.

URBAN FORESTRY

10. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

PRIOR TO THE ISSUANCE OF BUILDING OCCUPANCY PERMIT:

11. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
12. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
13. Next Step: All street lights and street signs required as part of the development approval are installed.
14. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
15. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department. (Shared offsite device located and permitted with 109 Ashe Ave)



Administrative Approval Action

104 Ashe Avenue Apartments: SR-83-17, AA# 3770
Transaction# 531899

City of Raleigh
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One Exchange Plaza
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EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 3-7-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 3/7/18

Staff Coordinator: Daniel L. Stegall

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	104 Ashe Apartments	Date completed Application received	1/10/2018
	Case Number	SR-83-2017	Transaction Number	531899

DEPARTMENT RESPONSE/RECOMMENDATION	Staff <input checked="" type="checkbox"/> SUPPORTS the Design Adjustment based upon the findings in these applicable code:			
	<input type="checkbox"/> <u>UDO Art. 8.3 Blocks, Lots, Access</u>		<input type="checkbox"/> <u>UDO Art. 8.4 New Streets</u>	
	<input checked="" type="checkbox"/> <u>UDO Art. 8.5 Existing Streets</u>		<input type="checkbox"/> <u>Raleigh Street Design Manual</u>	
		<input type="checkbox"/> Other		
	DEPARTMENT	REPRESENTATIVE SIGNATURE	DEPARTMENT	REPRESENTATIVE SIGNATURE
	<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering		<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services		<input type="checkbox"/> PRCR	
	<input type="checkbox"/> Public Utilities			
Findings: Staff supports the request for a Design Adjustment to grant relief for the removal of the 5' General Utility Placement Easement. The approved Hillsborough/Morgan Street Streetscape Plan states that "Utilities are well established in most of the area. Utilities will be on poles in the right of way." There exists a pole line along Ashe Ave on the opposite side of the street from proposed development within the public right-of-way. There is also an additional 9.5' of space between the proposed right-of-way line and the proposed back of sidewalk. Any future utilities can utilize that space for any future placements if underground utilities are required.				

Development Services Director or Designee Action: Approve Approval with Conditions Deny

Authorized Signature KEVIN W. RITCHIE, PE, MPA 3/7/2018
 DEVELOPMENT ENGINEERING MANAGER Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.

CONDITIONS	
-------------------	--

Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495
 Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name 104 ASHE APARTMENTS	
	Case Number	Transaction Number 531899

OWNER	Name FMW AT 109 PARK AVENUE LLC	
	Address 1814 EUCLID AVE	City CHARLOTTE
	State NC	Zip Code 28203
		Phone 704-805-4805

APPLICANT	Name	Firm
	PATRICK BARBEAU	TIMMONS GROUP
	Address 5410 TRINITY RD STE 102	City RALEIGH
	State NC	Zip Code 27607
		Phone 919-866-4512

Applicant must be a Licensed Professional (Engineer, Architect, Surveyor, and/or Contractor)

DESIGN ADJUSTMENT REQUEST	Code Section Referenced: Z-34-12, 8.5.2
	Justification: Remove request from Transportation for 5' utility strip behind proposed public ROW.
	Site is zoned CX-5-UG-CU
	Per the adopted Hillsborough Morgan Streetscape and Parking Plan (Z-34-12), the "utilities in the area are well established and will be on poles in the ROW." Additionally, the building setback is 0'. 8.5.2.B - Mixed Use Streetscape in UG frontages does not call for utility placement behind the ROW.

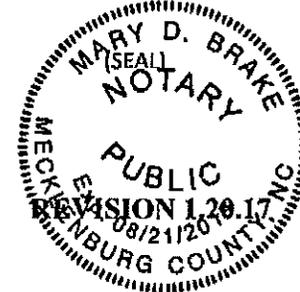
*Please include any additional support (Plan sheets, aeriels, etc.) along with this application. It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request.

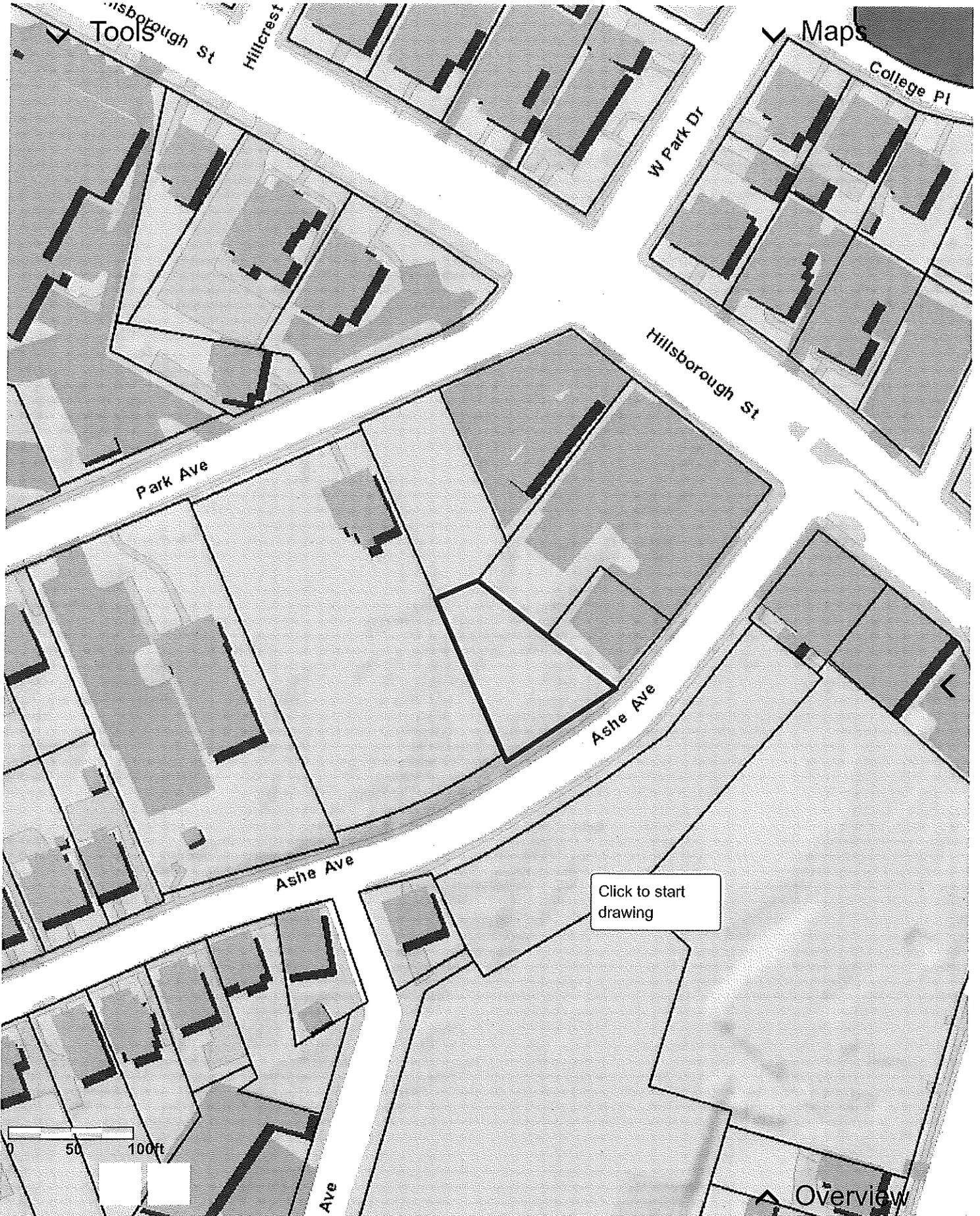
By signing this document I hereby acknowledge the information on this application is, to my knowledge, accurate.

FMW at 109 PARK AVENUE LLC By: *[Signature]* *Charger* 12/18/2017
 Owner/Owner's Representative Signature Date

In Witness whereof, the parties signed have executed this document on this date.

[Signature] 12-18-2017
 Notary Signature Date





104 ASHE AVENUE APARTMENTS

PRELIMINARY SITE PLAN SR-83-17

104 ASHE AVENUE
RALEIGH, NC 27605
WAKE COUNTY, NORTH CAROLINA

PRELIMINARY
NOT FOR
CONSTRUCTION

Administrative Site Review Application
(for UDO Districts only)

Development Services Customer Service Center 11 Exchange Plaza, Suite 401 Raleigh, NC 27601 (919) 996-2895 (fax) 919-996-1431
Litchford Satellite Office 1329 - 1330 Litchford Road Raleigh, NC 27601 (919) 996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> Special <input checked="" type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot
	Transaction Number: 531899 Project Name: 104 ASHE AVENUE

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # _____

GENERAL INFORMATION

Development Name: 104 ASHE AVENUE APARTMENTS
 Zoning District: CX-5-UG-CU Overlay District (if applicable): SRPOD Inside City Limits? No Yes
 Proposed Use: APARTMENTS AND OFFICE

Property Address(es): 104 ASHE AVENUE Major Street Location: SW of HILLSBOROUGH ST
 Wake County Property Identification Number(s) for each parcel to which these guidelines will apply: _____

P.L.N. 1703198908 P.L.N. P.L.N. P.L.N.

What is your project type? Apartment Factory/Industrial Hospital Multi-Family Office
 Retail/Restaurant Non-Residential Condo Cultural Shopping Center Office Industrial Building
 Single Telecommunication Tower Religious Institution Residential Condo Retail Cottage Court
 Other: (if other, please describe) _____

WORK SCOPE
 For City Code Section 10.2.8.0.1, summarize the project work scope. For additions, changes of use, or accessory use (other than that of the UDO), indicate impacts on parking requirements.
 MIXED USE BUILDING (16 APARTMENTS, 1 OFFICE)

DESIGN ADJUSTMENT OR ALTERNATE
 For City Code Chapter 8, summarize your project request either a design adjustment, or Section 10.1: Alternate Administration # _____
 2.34-12, 4.5.2: Remove request from Transportation for utility strip behind proposed public ROW

CLIENT/DEVELOPER/OWNER
 Company: FMW AT 109 PARK AVENUE LLC Name: JIM ZANONI
 Address: 132 BREVARD COURT CHARLOTTE NC 28202
 Phone: 704-334-7211 Email: JIM@FMWREALESTATE.COM Fax: _____

CONSULTANT
 (Contact Person for Plans)
 Company: TIMMONS GROUP Name: PATRICK BARBEAU, P.E.
 Address: 5410 TRINITY RD STE 102 RALEIGH NC 27607
 Phone: 919-866-4512 Email: PATRICK.BARBEAU@TIMMONS.COM Fax: _____

WWW.RALEIGHNC.GOV REVISION 05.13.16

ARCHITECT CONTACT
 STUDIO FUSION, PA
 KEVIN MARLOW
 309 EAST MOREHEAD STREET, STE. 50
 CHARLOTTE, NC 27202
 PH. (704) 377-9799
 KMARLOW@STUDIOFUSIONPA.COM

OWNER/DEVELOPER CONTACT
 FMW AT 109 PARK AVENUE LLC
 132 BREVARD COURT
 CHARLOTTE, NC 28202
 (704) 334-7211
 JIM@FMWREALESTATE.COM

CIVIL ENGINEER
 TIMMONS GROUP
 PATRICK BARBEAU, P.E.
 5410 TRINITY RD. STE 102
 RALEIGH, NC 27607
 PH. (919) 866-4512
 PATRICK.BARBEAU@TIMMONS.COM



VICINITY MAP
NTS

Sheet List Table

Sheet Number	Sheet Title
CVR	COVER SHEET
C0.1	ZONING CONDITIONS
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C2.0	SITE PLAN
C2.1	FIRE APPARATUS ACCESS PLAN
C3.0	GRADING & STORMWATER DRAINAGE PLAN
C5.0	UTILITY PLAN
C6.0	LANDSCAPE PLAN
C7.0	DETAILS
SD.01	SCHEMATIC DESIGN
SD.02	ELEVATION
SD.03	SCHEMATIC DESIGN

PUBLIC IMPROVEMENT QUANTITY TABLE

PHASE(S)	QUANTITY
PHASE(S)	1
LOT(S)	1
UNIT(S)	16
LIVABLE BUILDINGS	1
OPEN SPACE	0
OPEN SPACE LOTS(S)	0
PUBLIC WATER	0 LF
PUBLIC SEWER	0 LF
PUBLIC STREET WIDENING	0 LF
PUBLIC SIDEWALK	107 LF
STREET SIGNS	0 LF
WATER SERVICE STUBS	1
SEWER SERVICE STUBS	1

PROJECT NOTES

- SOLID WASTE FOR EACH RESIDENCE WILL BE MANAGED THROUGH PRIVATE CONTRACTOR. REFUSE CONTAINERS ARE TO BE STORED ON GROUND LEVEL AS SHOWN ON SITE PLAN IN CONDITIONED SPACE. PRIVATE CONTRACTOR SHALL NOT LEAVE CONTAINERS IN PUBLIC RIGHTS OF WAY.
- ALL INSTALLATION AND MAINTENANCE REQUIREMENTS FOR STREET TREES CAN BE FOUND IN THE RALEIGH CITY TREE MANUAL CHAPTER 2.
- PROJECT SUBJECT TO HILLSBOROUGH MORGAN STREETScape AND PARKING PLAN.
- STORMWATER RUNOFF HAS BEEN ADDRESSED UNDER SR-26-2016. SEE BM2016-2033 FOR MAX. IMPERVIOUS AREA.
- PROJECT IS EXEMPT FROM TREE CONSERVATION REQUIREMENTS PER UDO SEC. 9.1.2 (SITE UNDER 2 ACRES).

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s): CX-5-UG-CU	Proposed building use(s): MIXED USE
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross: 0
Overlay District: SRPOD	Proposed Building(s) sq. ft. gross: 17,665
Total Site Area: Inside City Limits: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes 0.204 (8764 SF)	Total sq. ft. gross (existing & proposed):
Off-street parking: Required: 0	Proposed height of building(s): 6'-0"
CDA (Certificate of Appropriateness) case #: _____	# of stories: 4
BDA (Board of Adjustment) case #: _____	Ceiling height of 3 rd floor: 13'
CUD (Conditional Use District) case #: 24-12	

Stormwater Information

Existing Impervious Surface: 0 acres/square feet	Flood Hazard Area: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface: 7874 acres/square feet	If Yes, please provide: Flood Study/ FEMA Map Panel # FM372017000J, 400J
Nature Runoff Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

FOR RESIDENTIAL DEVELOPMENTS

1. Total # of Apartment, Condominium or Residential Units: 16	5. Residential Units: 3br 5 2br 8 1br 3 4br or more: 0
2. Total # of Congregate Care or Life Care Dwelling Units: 0	6. Hill Development 2.2.7 N/A
3. Total Number of Hotel Units: 0	7. Open Space (only) or Amenity: 910 (AMENITY)
4. Overall Total # of Dwelling Units (1-6 above): 16	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to defend all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **TIMMONS GROUP** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I have read, understand and affirm the City project requirements to all application requirements applicable with the proposed development site.

Signed: *Jim Zanoni*, Manager Date: 12/18/2017
 Printed Name: *Jim Zanoni* Date: _____

WWW.RALEIGHNC.GOV REVISION 05.13.16

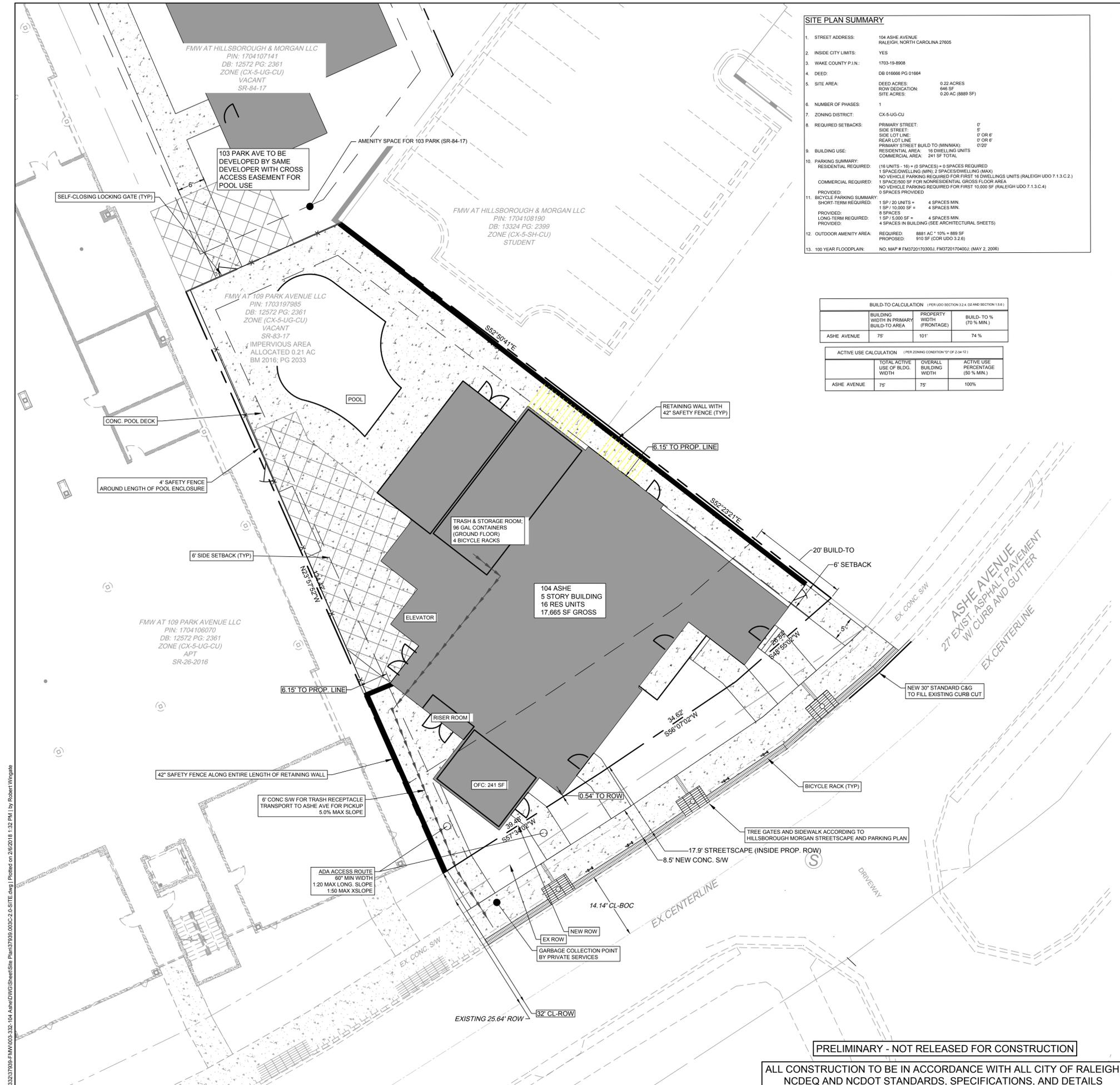
TIMMONS GROUP
 NORTH CAROLINA LICENSE NO. C-1652
 104 ASHE AVENUE APARTMENTS
 RALEIGH, NORTH CAROLINA
 COVER SHEET

TRANSACTION NUMBER
531899
 CASE FILE NUMBER
SR-83-17

JOB NO.
37939.003
 SHEET NO.
CVR



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.



SITE PLAN SUMMARY

- STREET ADDRESS: 104 ASHE AVENUE, RALEIGH, NORTH CAROLINA 27605
- INSIDE CITY LIMITS: YES
- WAKE COUNTY P.L.N.: 1703-19-8008
- DEED: DB 016666 PG 01664
- SITE AREA: DEED ACRES: 0.22 ACRES; ROW DEDICATION: 0.46 SF; SITE ACRES: 0.20 AC (8889 SF)
- NUMBER OF PHASES: 1
- ZONING DISTRICT: CX-5-UG-CU
- REQUIRED SETBACKS: PRIMARY STREET: 0'; SIDE STREET: 5'; REAR LOT LINE: 0' OR 6'; REAR LOT LINE: 0' OR 6'; PRIMARY STREET BUILD TO (MIN/MAX): 0/20'
- BUILDING USE: RESIDENTIAL AREA: 18 DWELLING UNITS; COMMERCIAL AREA: 241 SF TOTAL
- PARKING SUMMARY: RESIDENTIAL REQUIRED: (18 UNITS - 18) = 0 SPACES + 0 SPACES REQUIRED; COMMERCIAL REQUIRED: 1 SPACE/500 SF FOR NONRESIDENTIAL GROSS FLOOR AREA; NO VEHICLE PARKING REQUIRED FOR FIRST 10,000 SF (RALEIGH UDD 7.1.3.C.4)
- BICYCLE PARKING SUMMARY: PROVIDED: 1 SP / 20 UNITS = 4 SPACES MIN.; 8 SPACES; LONG-TERM REQUIRED: 1 SP / 5,000 SF = 4 SPACES MIN.; 4 SPACES IN BUILDING (SEE ARCHITECTURAL SHEETS)
- OUTDOOR AMENITY AREA: REQUIRED: 8881 AC * 10% = 888 SF; PROPOSED: 810 SF (COR UDD 3.2.6)
- 100 YEAR FLOODPLAIN: NO, MAP # FM3721170301, FM3721170401, (MAY 2, 2006)

BUILD-TO CALCULATION (PER UDD SECTION 2.2.4, (2) AND SECTION 1.6.6)

BUILDING WIDTH IN PRIMARY BUILD-TO AREA	PROPERTY WIDTH (FRONTAGE)	BUILD-TO % (70% MIN.)
ASHE AVENUE 75'	101'	74%

ACTIVE USE CALCULATION (PER ZONING CONDITION '1' OF 2.34-1)

TOTAL ACTIVE USE OF BLDG. WIDTH	OVERALL BUILDING WIDTH	ACTIVE USE PERCENTAGE (60% MIN.)
ASHE AVENUE 75'	75'	100%

SITE LAYOUT NOTES

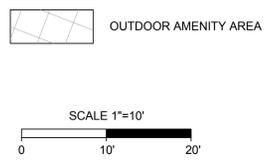
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
- AT LEAST 72 HOURS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) OR (1-800-632-4949) TO HAVE EXISTING UTILITIES LOCATED.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
- ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER CITY OF RALEIGH OR NCDOT STANDARDS AND SPECIFICATIONS.
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.

TRANSPORTATION CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCH (MOST CURRENT EDITION).
- PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- ANY CONTRACTOR OR PROJECT MANAGER THAT IS WORKING ON A CITY PROJECT SHALL SUBMIT A NOTIFICATION TO THE RW OBSTRUCTION APPLICATION FOR EMERGENCY/MAINTENANCE WORK PRIOR TO THE START OF WORK.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



PRELIMINARY
NOT FOR
CONSTRUCTION

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
12/12/2017	CITY OF RALEIGH
02/06/2018	CITY OF RALEIGH

DRAWN BY
R. WINGATE

DESIGNED BY
P. BARBEAU

CHECKED BY
R. BAKER

SCALE
AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
104 ASHE AVENUE APARTMENTS
RALEIGH, NORTH CAROLINA
SITE PLAN

JOB NO.
37939.003

SHEET NO.
C2.0

R:\33307509-FM\0003-332-104-Ashe\DWG\SheetSite Plan\37939.003-C2-0-SITE.dwg | Plotted on 2/6/2018 1:32 PM | by Robert Wingate

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- UTILITY NOTES**
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
 2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
 4. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE ELECTRIC, GAS AND TELEPHONE SERVICE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
 5. THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL AND PROPOSED LOCATION OF UTILITIES TO AVOID CONFLICTS.
 6. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE WATER AND SEWER SERVICE TO THE BUILDING WITH THE BUILDING PLUMBING CONTRACTOR AND THE BUILDING PLANS.

**PRELIMINARY
NOT FOR
CONSTRUCTION**

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 | FAX 919.833.8124 | www.timmons.com

REVISION DESCRIPTION	DATE
CITY OF RALEIGH	12/17/2017
CITY OF RALEIGH	02/06/2018

YOUR VISION ACHIEVED THROUGH OURS.

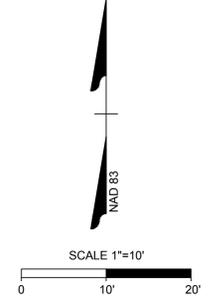
DATE: 10/06/2017
DRAWN BY: R. WINGATE
DESIGNED BY: P. BARBEAU
CHECKED BY: R. BAKER
SCALE: AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
104 ASHE AVENUE APARTMENTS
RALEIGH, NORTH CAROLINA
UTILITY PLAN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
104 ASHE AVENUE APARTMENTS
RALEIGH, NORTH CAROLINA
UTILITY PLAN

JOB NO. 37939.003
SHEET NO. C5.0

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

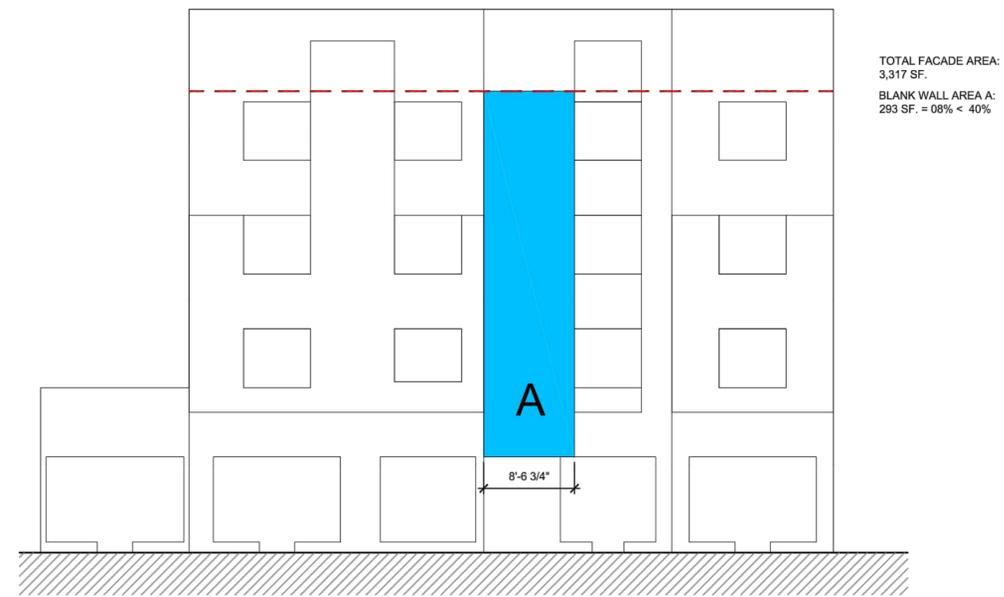


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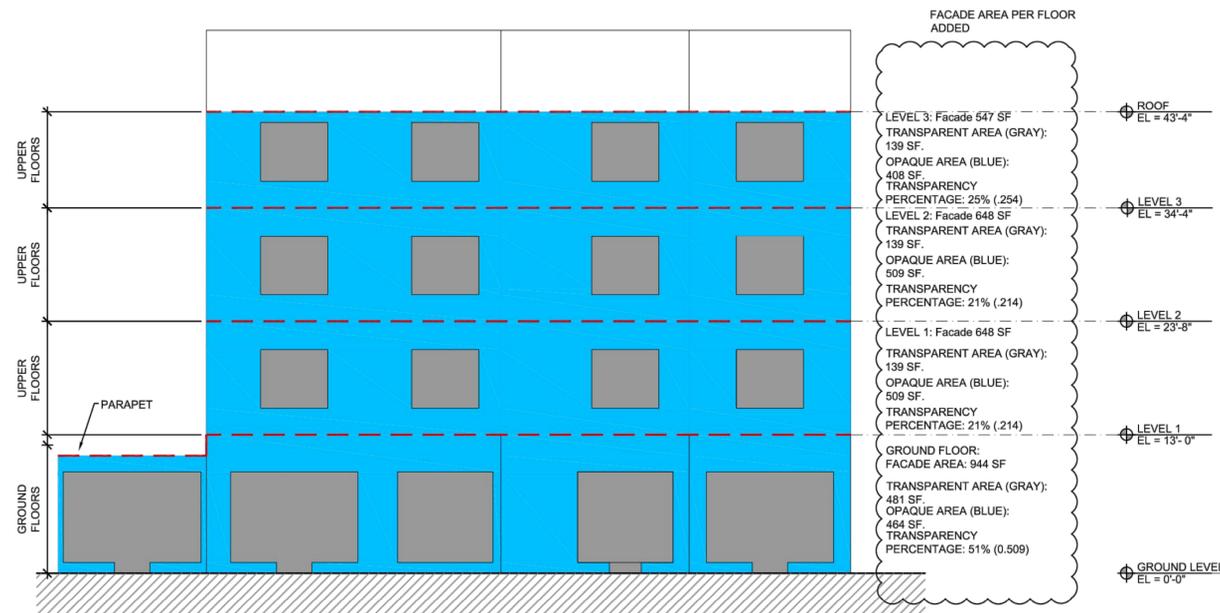
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KEY PLAN



TOTAL FACADE AREA:
3,317 SF.
BLANK WALL AREA A:
293 SF. = 08% < 40%

2 BLANK WALL CALCULATIONS
1/8"=1'-0"



1 TRANSPARENCY CALCULATIONS
1/8"=1'-0"

104 ASHE AVE.
RALEIGH, NORTH CAROLINA

PROJECT NUMBER : 16-061
ISSUED: 12-18-2017
REVISION : 1-23-2018

SCHEMATIC DESIGN

SD.03