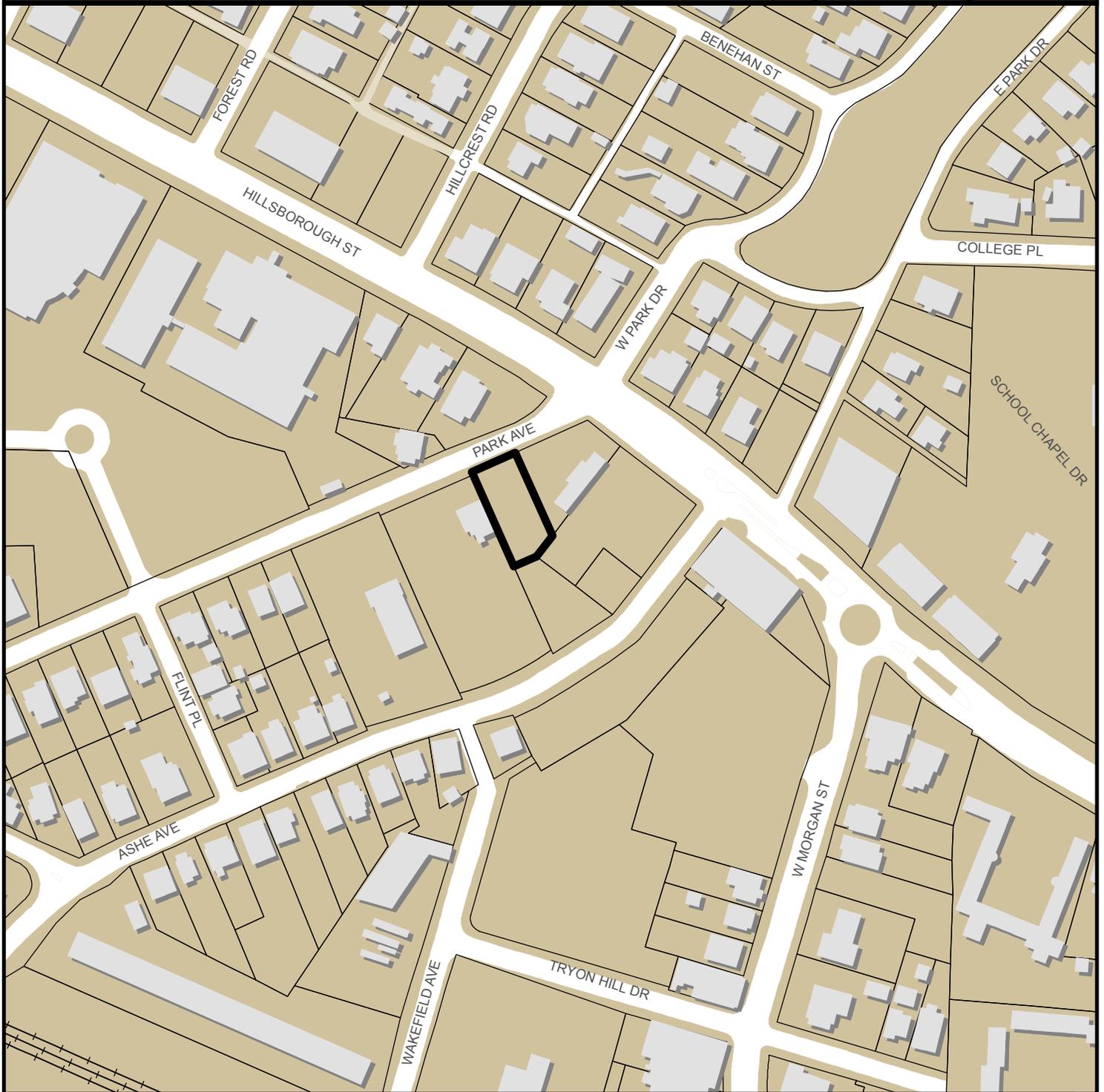


# 103 PARK AVENUE APARTMENTS SR-84-2017



0 300 600 Feet

Zoning: **CX-5-UG-CU w/  
SRPOD**

CAC: **Hillsborough**

Drainage Basin: **Rocky Branch**

Acreage: **0.2**

Sq. Ft.: **13,990**

Planner: **Daniel Stegall**  
Phone: **(919) 996-2712**

Applicant: **Timmons Group**  
Phone: **(919) 866-4943**





# Administrative Approval Action

103 Park Avenue Apartments: SR-84-17,  
Transaction# 531903, AA# 3769

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the south side of Park Avenue. The site address is 103 Park Avenue and the PIN number is 1704107141.

**REQUEST:** Development of a 0.24 acre tract zoned Commercial Mixed Use with an Urban General Frontage under the Special Residential Parking Overlay District (CX-5-UG-CU). Zoning conditions of case Z-34-12 apply to the site. The applicant is proposing to develop a 14,915 square foot, 3-story, 15-unit apartment building with short term and long-term bicycle parking. In addition, the applicant is proposing to recombine 64 square foot from PIN# 1704108117/1313 Hillsborough Street with PIN# 1704107141/103 Park Avenue. The recombination will increase the area of the subject site to exceed the required minimum 10,000 square foot for an apartment building type.

**DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Patrick Barbeau of Timmons Group.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

**Note:** *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

### **PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:**

#### **ENGINEERING**

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

#### **PUBLIC UTILITIES**

2. The previous sewer capacity study for 109 Park Ave and Hillsborough St Apartments must be modified to include flow from this development

#### **URBAN FORESTRY**

3. Obtain the required tree impact permit from the City of Raleigh

### **PRIOR TO ISSUANCE OF BUILDING PERMITS:**

#### **GENERAL**

4. Comply with all conditions of Z-34-12.



# Administrative Approval Action

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5. A recombination map shall be recorded prior to issuance of a building permit.
6. Provide fire flow analysis.

## ENGINEERING

7. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
8. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department.
9. That cross access agreements between the affected lots as shown on the preliminary plan be recorded: between the subject lot identified by PIN 1704107141 and the adjacent lots identified by PIN 1703197985 and PIN 1704106070. These cross access agreements shall be approved by the Development Services Department for recording with the Wake County Register of Deeds, and a copy of the recorded cross access easements shall be returned to the Development Services Department within one (1) day of recordation.
10. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

## URBAN FORESTRY

11. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

## PRIOR TO ISSUANCE OF BUILDING OCCUPANCY PERMITS:

12. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
13. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
14. Next Step: All street lights and street signs required as part of the development approval are installed.
15. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
16. Next Step: Final inspection of new street trees by Urban Forestry Staff.



# Administrative Approval Action

103 Park Avenue Apartments: SR-84-17,  
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**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 3-12-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 3/12/2018

Staff Coordinator: Daniel L. Stegall

# 103 PARK AVENUE APARTMENTS

## PRELIMINARY SITE PLAN SR-84-17

103 PARK AVENUE  
RALEIGH, NC 27605  
WAKE COUNTY, NORTH CAROLINA

PRELIMINARY  
NOT FOR  
CONSTRUCTION

**Administrative Site Review Application**  
(for UDO Districts only)

DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | ext. 919-996-1831  
Litchford Satellite Office | 6330 - 130 Litchford Road | Raleigh, NC 27603 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input checked="" type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number Assigned Project Coordinator Assigned Team Leader
---	---	--

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

Development Name: 103 PARK AVENUE APARTMENTS  
Zoning District: CX-5-UG-CU Overlay District (if applicable): SRPOD Inside City Limits?  Yes  No  
Proposed Use: APARTMENTS  
Property Address(es): 103 PARK AVENUE Major Street Location: S OF HILLSBOROUGH ST  
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:  
P.I.N. 1704107141 P.I.N. P.I.N. P.I.N.

What is your project type?  Apartment  Elderly Facilities  Hospitals  Hotels/Motels  Office  
 Mixed Residential  Non-Residential Condo  School  Shopping Center  Banks  Industrial Building  
 Duplex  Telecommunication Tower  Religious Institutions  Residential Condo  Retail  Cottage Court  
Other, if other, please describe:

WORK SCOPE: Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.  
15 UNIT APARTMENT BUILDING

DESIGN ADJUSTMENT OR ADMIN ALTERNATE: Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

CLIENT/DEVELOPER/OWNER: Company: FMW AT HILLSBOROUGH & MORGAN LLC Name (s): JIM ZANONI  
Address: 132 BREVARD COURT CHARLOTTE NC 28202  
Phone: 704-334-7211 Email: JIM@FMWREALESTATE.COM Fax:

CONSULTANT (Contact Person for Plans): Company: TIMMONS GROUP Name (s): PATRICK BARBEAU, P.E.  
Address: 5410 TRINITY RD STE 102 RALEIGH NC 27607  
Phone: 919-886-4512 Email: PATRICK.BARBEAU@TIMMONS.COM Fax:

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

**ARCHITECT CONTACT**  
STUDIO FUSION, PA  
KEVIN MARLOW  
309 EAST MOREHEAD STREET, STE. 50  
CHARLOTTE, NC 27202  
PH. (704) 377-9799  
KMARLOW@STUDIOFUSIONPA.COM

**OWNER/DEVELOPER CONTACT**  
FMW HILLSBOROUGH AND MORGAN, LLC  
132 BREVARD COURT  
CHARLOTTE, NC 28202  
(704) 334-7211  
JIM@FMWREALESTATE.COM

**CIVIL ENGINEER**  
TIMMONS GROUP  
PATRICK BARBEAU, P.E.  
5410 TRINITY RD. STE 102  
RALEIGH, NC 27607  
PH. (919) 866-4512  
PATRICK.BARBEAU@TIMMONS.COM



VICINITY MAP  
NTS

**Sheet List Table**

Sheet Title	Sheet Number
COVER SHEET	CVR
ZONING CONDITIONS	C0.1
EXISTING CONDITIONS & DEMOLITION PLAN	C1.0
SITE PLAN	C2.0
RECOMBINATION EXHIBIT	C2.1
FIRE APPARATUS ACCESS PLAN	C2.2
GRADING AND STORMWATER PLAN	C3.0
UTILITY PLAN	C5.0
LANDSCAPING PLAN	C6.0
SITE DETAILS	C7.0
SCHEMATIC DESIGN	SD.01
ELEVATIONS	SD.02

**PUBLIC IMPROVEMENT QUANTITY TABLE**

PHASE(S)	1
LOT(S)	1
UNIT(S)	15
LIVABLE BUILDINGS	1
OPEN SPACE	0
OPEN SPACE LOTS(S)	0
PUBLIC WATER	0 LF
PUBLIC SEWER	0 LF
PUBLIC STREET WIDENING	0 LF
PUBLIC SIDEWALK	70 LF
STREET SIGNS	0 LF
WATER SERVICE STUBS	1
SEWER SERVICE STUBS	1

**PROJECT NOTES**

- SOLID WASTE FOR EACH RESIDENCE WILL BE MANAGED THROUGH PRIVATE CONTRACTOR. REFUSE CONTAINERS ARE TO BE STORED ON GROUND LEVEL AS SHOWN ON SITE PLAN IN CONDITIONED SPACE. PRIVATE CONTRACTOR SHALL NOT LEAVE CONTAINERS IN PUBLIC RIGHTS OF WAY.
- ALL INSTALLATION AND MAINTENANCE REQUIREMENTS FOR STREET TREES CAN BE FOUND IN THE RALEIGH CITY TREE MANUAL CHAPTER 2.
- PROJECT SUBJECT TO HILLSBOROUGH MORGAN STREETScape AND PARKING PLAN.
- PROJECT IS EXEMPT FROM ACTIVE STORMWATER CONTROLS PER CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE ("UDO") 9.2.2.A (REF. TC-2-16).
- PROJECT IS EXEMPT FROM TREE CONSERVATION REQUIREMENTS PER UDO SEC. 9.1.2 (SITE UNDER 2 ACRES).
- A RECOMBINATION IS PROPOSED BETWEEN PIN 1704108117 AND PIN 1704107141. THE RECOMBINATION WILL TRANSFER ROUGHLY 64 SF FROM 1704108117 (1313 HILLSBOROUGH ST) TO 1704107141 (103 PARK). THE PROPERTIES WILL REMAIN SEPARATE.

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

**DEVELOPMENT TYPE & SITE DATA TABLE** (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s): CX-5-UG-CU	Proposed building use(s): APARTMENT
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 0
Overlay District: SRPOD	Proposed Building(s) sq. ft. gross 14, 915
Total Site Acres: Inside City Limits: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 10,033 SF (0.23 AC)	Total sq. ft. gross (existing & proposed) 14, 915
Off street parking: Required 0 Provided 0	Proposed height of building(s) 36'
COA (Certificate of Appropriateness) case #	# of stories 3
BDA (Board of Adjustment) case # A-	Ceiling height of 3 <sup>rd</sup> floor 10'-8"
CU (Conditional Use District) case # 2- 34-12	
Stormwater Information	
Existing Impervious Surface 0 acres/square feet	Flood Hazard Area: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 6169 SF acres/square feet	If Yes, please provide:
Neuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils: Flood Study
	FEMA Map Panel # FM3720170300J_400J
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units 15	5. Bedroom Units: 1br 6 2br 6 3br 3 4br or more 0
2. Total # Of Congregate Care Or Life Care Dwelling Units 0	6. Infill Development 2.2.7 N/A
3. Total Number of Hotel Units 0	7. Open Space (only) or Amenity 1248 SF (AMENITY)
4. Overall Total # Of Dwelling Units (1-6 Above) 15	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**SIGNATURE BLOCK** (Applicable to all developments)

I, the filer of this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **TIMMONS GROUP** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: *By: Jim Zanon* Date: *10.5.2017*  
Printed Name: *Jim Zanon*  
Signed: \_\_\_\_\_ Date: \_\_\_\_\_  
Printed Name: \_\_\_\_\_

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16



KNOW WHAT'S BELOW.  
CALL 811 BEFORE YOU DIG.

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
103 PARK AVENUE APARTMENTS  
RALEIGH, NORTH CAROLINA  
COVER SHEET

THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5410 Trinity Road, Suite 102 | Raleigh, NC 27607  
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
12/12/2017	CITY OF RALEIGH
02/06/2018	CITY OF RALEIGH

DATE: 10/06/2017  
DRAWN BY: R. WINGATE  
DESIGNED BY: P. BARBEAU  
CHECKED BY: R. BAKER  
SCALE: AS SHOWN

TRANSACTION NUMBER: 531903  
CASE FILE NUMBER: SR- 84-17

JOB NO.: 37939.002  
SHEET NO.: CVR

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DESIGNED BY  
**P. BARBEAU**

CHECKED BY  
**R. BAKER**

SCALE  
**AS SHOWN**

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

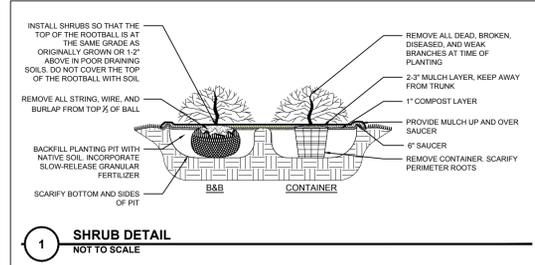
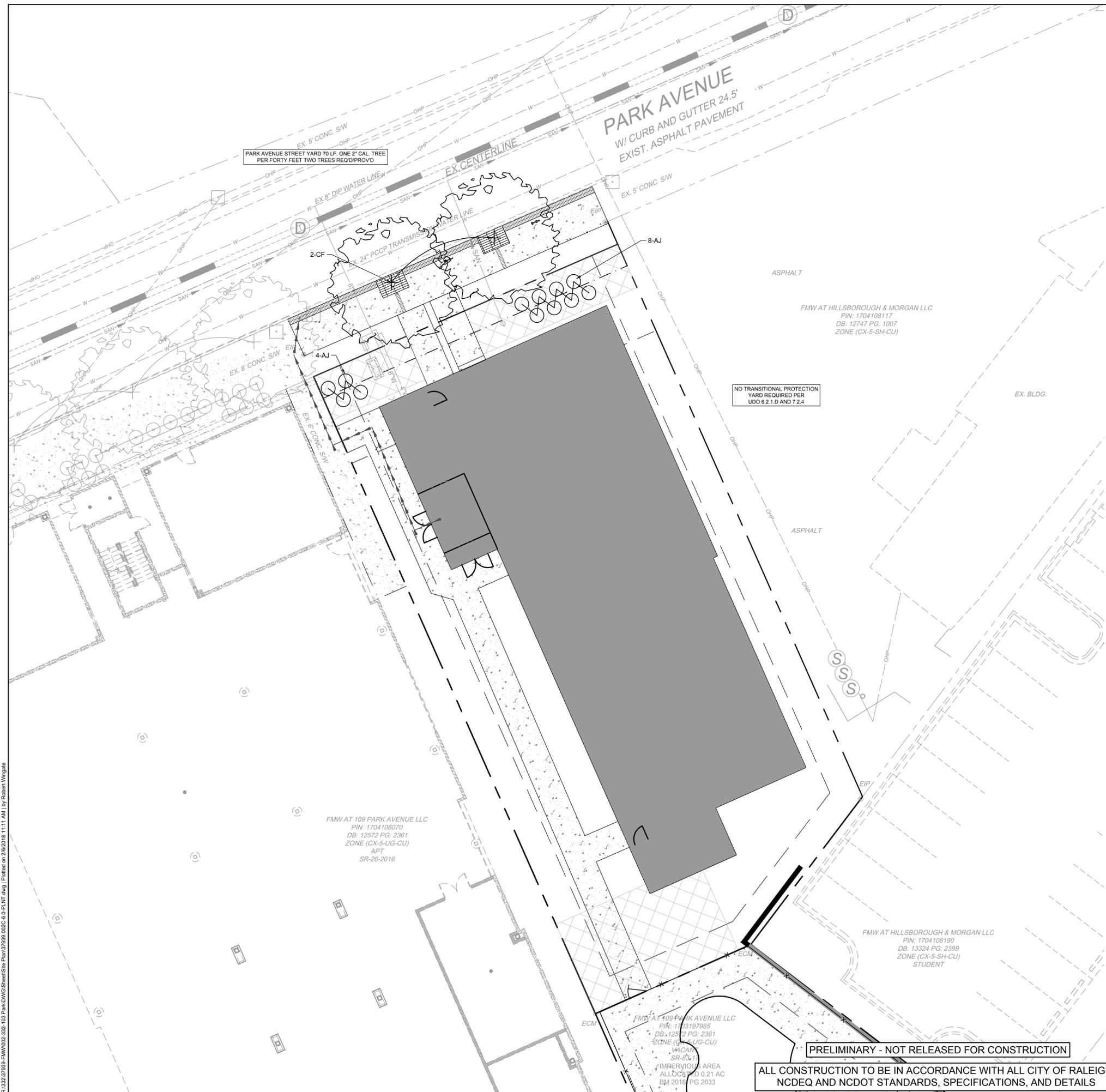
## 103 PARK AVENUE APARTMENTS

RALEIGH, NORTH CAROLINA

### LANDSCAPING PLAN

JOB NO.  
**37939.002**

SHEET NO.  
**C6.0**

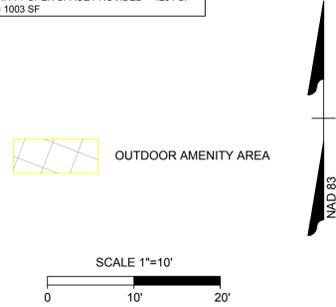


PLANT LIST "FULL"

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT TYPE	USE
<b>TREES</b>						
CF	2	ZELKOVA SERRATA	JAPANESE SELKOVA	2" CAL.	B&B	STREET YARD
<b>SHRUBS</b>						
AJ	12	JUNIPERUS HORIZONTALIS 'PLUMOSA COMPACTA'	ANDORRA JUNIPER	12" HEIGHT	CONT.	STREET YARD

- LANDSCAPING NOTES:**
- PROJECT IS EXEMPT FROM TREE CONSERVATION REQUIREMENTS PER UDO SEC. 9.1.2 (SITE UNDER 2 ACRES).
  - SEE SHEET C7.0 FOR PERTINENT PRGR DETAILS.

**OUTDOOR AMENITY AREA (COR UDO 3.2.4):**  
PARK AVE FRONTAGE OPEN SPACE = 569 SF  
SOUTHERN OPEN SPACE = 694 SF  
TOTAL AMENITY / OPEN SPACE PROVIDED = 1264 SF  
REQUIRED = 1003 SF



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

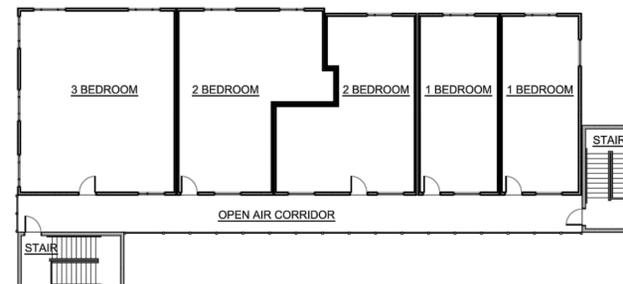
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

R:\3232\37939-FW\002-332-103-ParkCWSheetSite-Plan\37939\_002C-6-PLNT.dwg | Printed on 2/6/2018 11:11 AM | By Robert Wingate

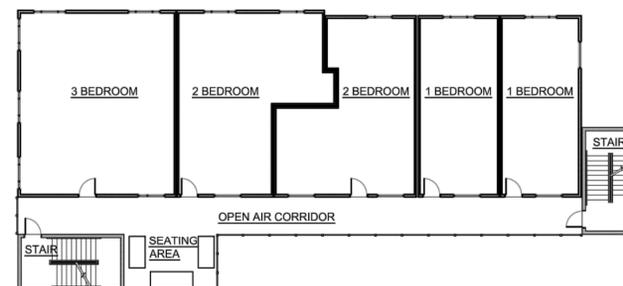
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KEY PLAN

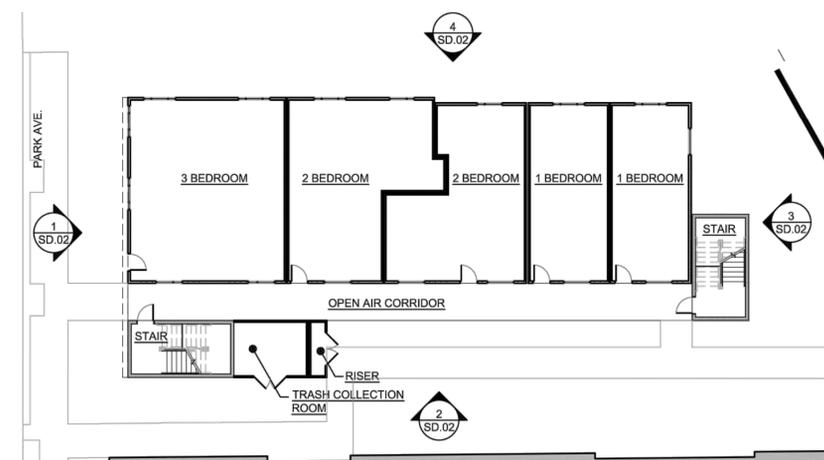
103 PARK BUILDING MATRIX							12/13/2017
UNIT TYPE	DESCRIPTION	GROSS AREA	LEVEL 1	LEVEL 2	LEVEL 3	TOTAL UNITS	GROSS AREA
<b>ONE BEDROOM</b>							
A1-1	1 BEDROOM	519	2	2	2	6	3,114
			2	2	2	6	
<b>TWO BEDROOM</b>							
B1-1	2 BEDROOM	731	1	1	1	3	2,193
B2-1	2 BEDROOM	821	1	1	1	3	2,463
			2	2	2	6	
<b>THREE BEDROOM</b>							
C1-1	3 BEDROOM	1,044	1	1	1	3	3,132
			1	1	1	3	
<b>TOTALS</b>			<b>5</b>	<b>5</b>	<b>5</b>	<b>15</b>	<b>10,902</b>
			<b>LEVEL 1</b>	<b>LEVEL 2</b>	<b>LEVEL 3</b>	<b>TOTAL GROSS</b>	
<b>GROSS AREA PER LEVEL</b>			<b>5,034</b>	<b>5,034</b>	<b>4,847</b>	<b>14,915</b>	



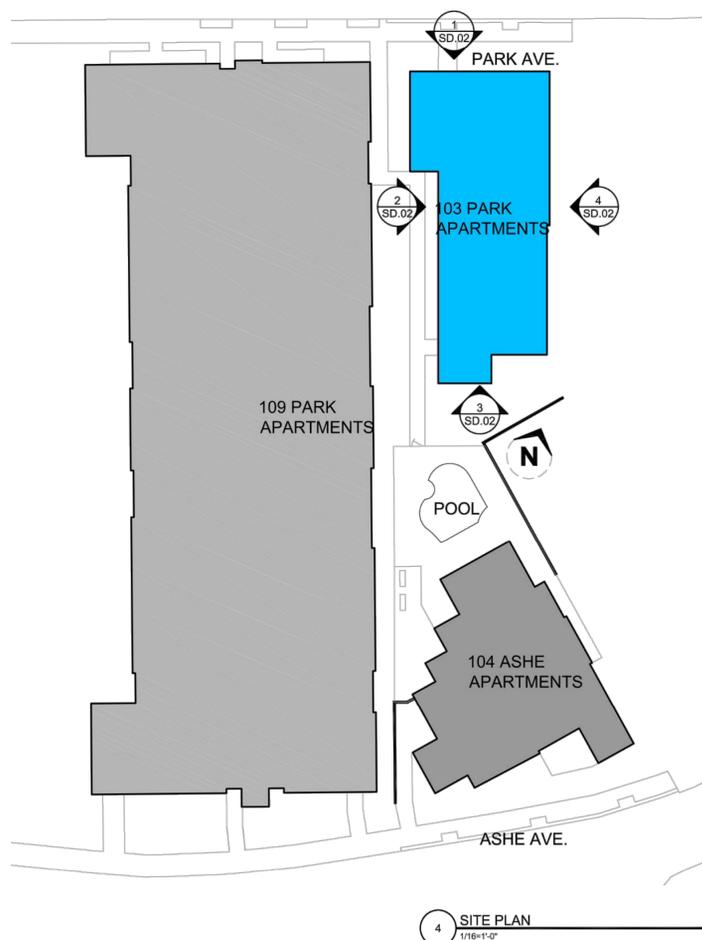
3 LEVEL - 3  
1/16"=1'-0"



2 LEVEL - 2  
1/16"=1'-0"



1 LEVEL - 1  
1/16"=1'-0"



4 SITE PLAN  
1/16"=1'-0"

103 PARK AVE.  
RALEIGH, NC

PROJECT NUMBER : 16-070  
ISSUED: 12-18-2017

REVISION :

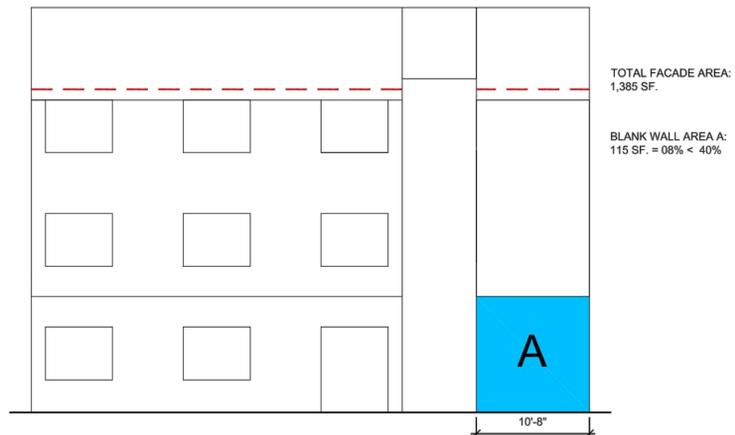
SCHEMATIC  
DESIGN

SD.01

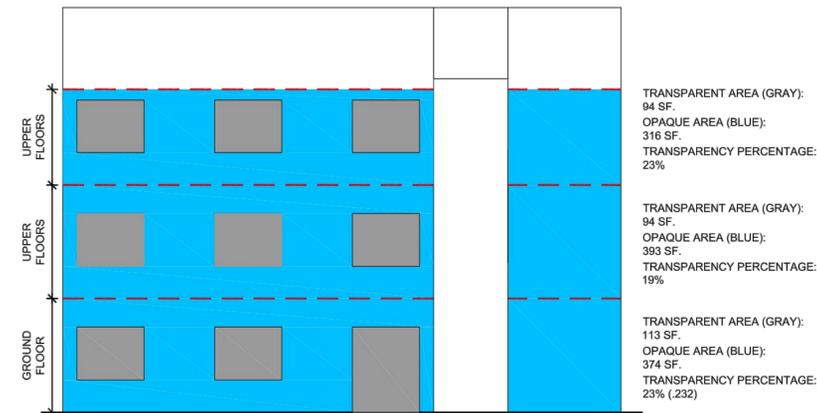
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KEY PLAN

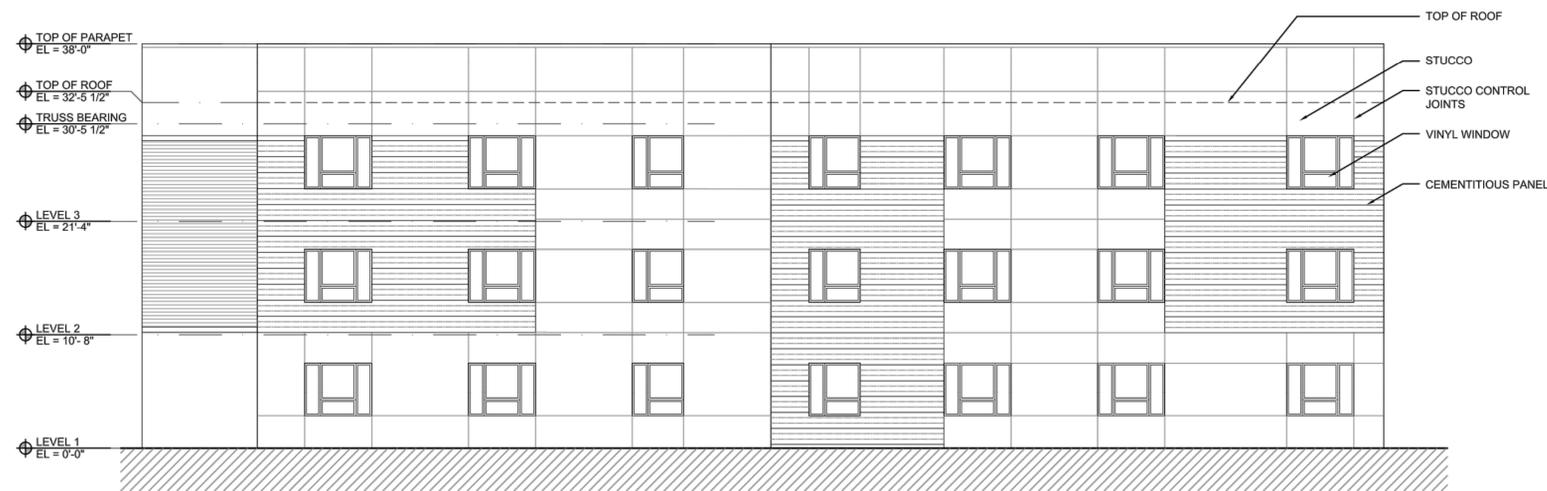
MATERIALS	
•	STUCCO
•	CEMENTITIOUS PANEL
•	VINYL WINDOW
•	STOREFRONT
•	METAL RAILS



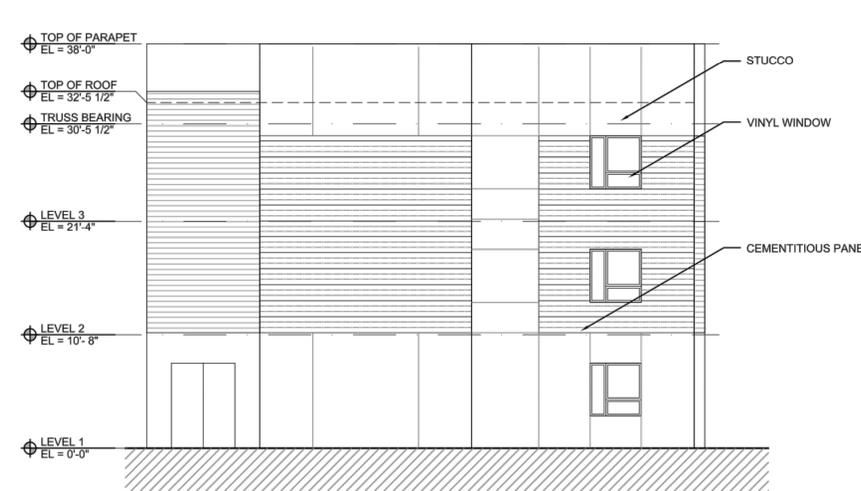
6 BLANK WALL CALCULATIONS  
1/8"=1'-0"



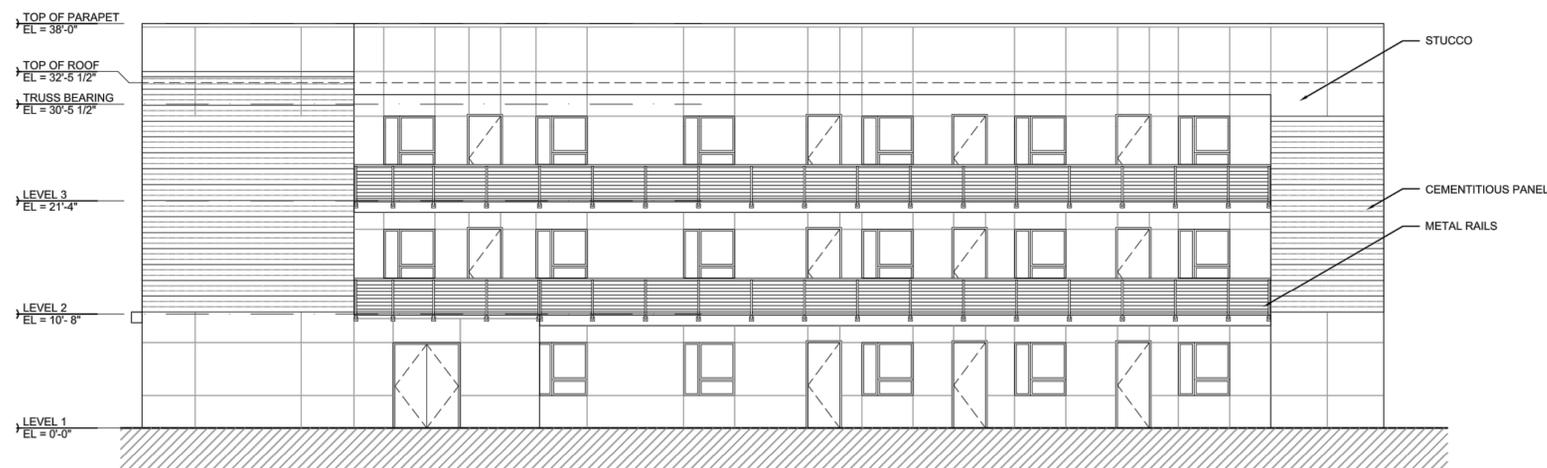
5 TRANSPARENCY CALCULATIONS  
1/8"=1'-0"



4 EAST ELEVATION  
1/8"=1'-0"



3 SOUTH ELEVATION  
1/8"=1'-0"



2 WEST ELEVATION  
1/8"=1'-0"



1 PRIMARY STREET ELEVATION - NORTH ELEVATION  
1/8"=1'-0"

103 PARK AVE.  
RALEIGH, NC

PROJECT NUMBER : 16-070  
ISSUED: 12-18-2017

REVISION :

SCHEMATIC  
DESIGN

SD.02