



Administrative Approval Action

SR-87-18 / Noir Bar & Lounge Addition
Transaction# 568906 AA#3982

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the west side of Glenwood Avenue, south of Peace Street at 425 Glenwood Ave.

REQUEST: Development of a 0.25 acre tract zoned DX-7-SH. Construction of a 1,484 SF rear fence enclosed, uncovered, outdoor patio addition to an existing 3,040 SF general building bar/nightclub.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: Case DA-4-18. A design adjustment has been submitted for relief from right-of-way dedication and street improvement requirements.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 5/23/2019 by *Sears Design Group, P.A.*

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **BUILDING PERMITS** – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A right-of-way permit shall be issued that shows the closure of the driveway and construction of the streetscape in accordance with the plans.
2. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
3. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

Stormwater

4. No increase in impervious is proposed. Any increase in impervious would require stormwater review and approval. (UDO 9.2).
5. If impervious surface is increased, a payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).



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6. If impervious surface is increased, all stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
7. If impervious surface is increased, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

8. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes one street trees along Glenwood Av.

The following are required prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
4. Final inspection of all right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 6-26-2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Development Services Dir./Designee)

Date: 6/26/19

Staff Coordinator: Jermon Purifoy

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Noir Bar & Lounge	
	Development Case Number	A SR-87-2018	
	Transaction Number	568906	
	Design Adjustment Number	DA - 4 - 2019	
STAFF RESPONSE	Staff recommendation based upon the findings in the applicable code(s):		
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	<input type="checkbox"/> Raleigh Street Design Manual	
	Staff SUPPORTS <input type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.		
	DEPARTMENTS		
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering	<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services	<input checked="" type="checkbox"/> Parks & Recreation and Cult. Res.	
	<input type="checkbox"/> Public Utilities		
	CONDITIONS:		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			

Authorized Signature

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.5 Existing Streets



**DEVELOPMENT
SERVICES
DEPARTMENT**

- A. The requested design adjustment meets the intent of this Article;
YES ☒ NO ☐
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES ☒ NO ☐
- C. The requested design adjustment does not increase congestion or compromise safety;
YES ☒ NO ☐
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
YES ☒ NO ☐
- E. The requested design adjustment has been designed and certified by a Professional Engineer.
YES ☒ NO ☐

STAFF FINDINGS

Glenwood Avenue is designated as a Main Street Parallel Parking. The required right-of-way width is 90 feet. This requires dedication of 1/2 - 90' right-of-way along the frontage of 510 Glenwood Avenue.(RSDM 3.2.4 A, UDO 8.5.1 B.1.a).

The previous Certified Action (#1188) for Noir Bar & Lounge, SP 12-2009, granted a variance to the right-of-way dedication, which is supported for this development along this corridor in Glenwood South.

The client is also requesting a design adjustment to the standard streetscape width. The approval of SP-12-2009 allowed for a raised patio to be constructed on the property, but now encompasses part of the required Main Street Streetscape width of 16 feet on the property.

The client has applied for this design adjustment and the standards are modified according to Section 8.5.3.B (Nonconforming Streetscapes) in the UDO:

1. Reduce or eliminate the planting area.

The planting area width is reduced from 6 feet to 3.7 feet. The development will still provide the required planting area for the tree with a tree grate and 600 cubic feet of structural soil in accordance with the City of Raleigh tree planting detail TPP-006 and TPP-007.

2. Reduce the sidewalk width.

The sidewalk width is ten feet measured to the raised platform and ADA accessible. The area of the sidewalk on the property is within an existing sidewalk easement Book 14210 Page 01894.

Design Adjustment Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Noir Bar & Lounge		
	Case Number SP-87-18		
	Transaction Number 568906		
	OWNER	Name My Three B's LLC	
		Address 510 Glenwood Avenue	City Raleigh
		State NC	Zip Code 27603 Phone 919-345-8704
	CONTACT	Name Ron Price, ASLA	Firm Sears Design Group, P.A.
		Address 625 W. Jones Street	City Raleigh
		State NC	Zip Code 27603 Phone 919-832-7000
	REQUEST	I am seeking a Design Adjustment from the requirements set forth in the following:	
<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access		- See page 2 for findings	
<input type="checkbox"/> UDO Art. 8.4 New Streets		- See page 3 for findings	
<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets		- See page 4 for findings	
<input type="checkbox"/> Raleigh Street Design Manual		- See page 5 for findings	
Provide details about the request; (please attach a memorandum if additional space is needed):			
Sidewalk Width: Applicant is requesting that the new sidewalk improvements be constructed within existing pavement width to avoid impacting existing private raised patio, railings, and tree planters located outside the right-of-way.			

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature

Date

CHECKLIST

Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
Development Services, Development Engineering
One Exchange Plaza, Suite 500
Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA -
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Article 8.5 Existing Streets

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with Sec. 10.2.18. approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;
The existing streetscape is narrower than standard and is nonconforming. An existing raised wall and patio, previously approved with SP-12-09, reduces the available existing sidewalk width to 13.7'. Therefore, per UDO Section 8.5.3.B.1, the applicant requests a reduction of the planting area adjacent to the curb from the standard 6' width to 3.7' width. The standard 10' wide sidewalk will be provided to meet requirements of the "Main Street" Streetscape Type per UDO Section 8.5.2.
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
The design adjustment maintains the standard sidewalk width. Further, since the Streetscape Types in UDO Section 8.5.2 is designated a "Main Street", standard tree grates will be provided meeting standard City detail TPP-06. The required planting area will also be paved, thereby providing additional space for pedestrians. Below this paved area, a structural soils system will be provided for tree planting per standard City detail TPP-07.
- C. The requested design adjustment does not increase congestion or compromise safety;
The standard 10' sidewalk width is maintained providing the required area for pedestrian circulation.
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
The design meets standard City details, providing one new shade tree and tree grate and new sidewalk area. No additional maintenance responsibilities are required above those of these standard installations.
- E. The requested design adjustment has been designed and certified by a Professional Engineer.
The design is shown per City standard details and is prepared by a Licensed Landscape Architect.

Individual Acknowledgement



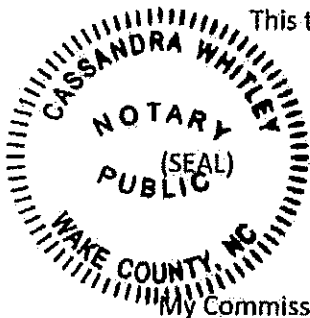
DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA
COUNTY OF Wake

INDIVIDUAL

I, Cassandra Whitley, a Notary Public do hereby certify that
Richard Battaglia personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This the 5 day of December, 2018.



Notary Public

Cassandra Whitley

My Commission Expires: 9/14/2022



Certified Action of the City of Raleigh Planning Commission

City of Raleigh
Development Plans Review Center
One Exchange Plaza
Raleigh, NC 27601
(919) 516-2626
www.raleighnc.gov

Case File / Name: SP-12-09 / Noir Bar and Lounge

Owner: Matt Kenner
Designer: Hager Smith Design PA

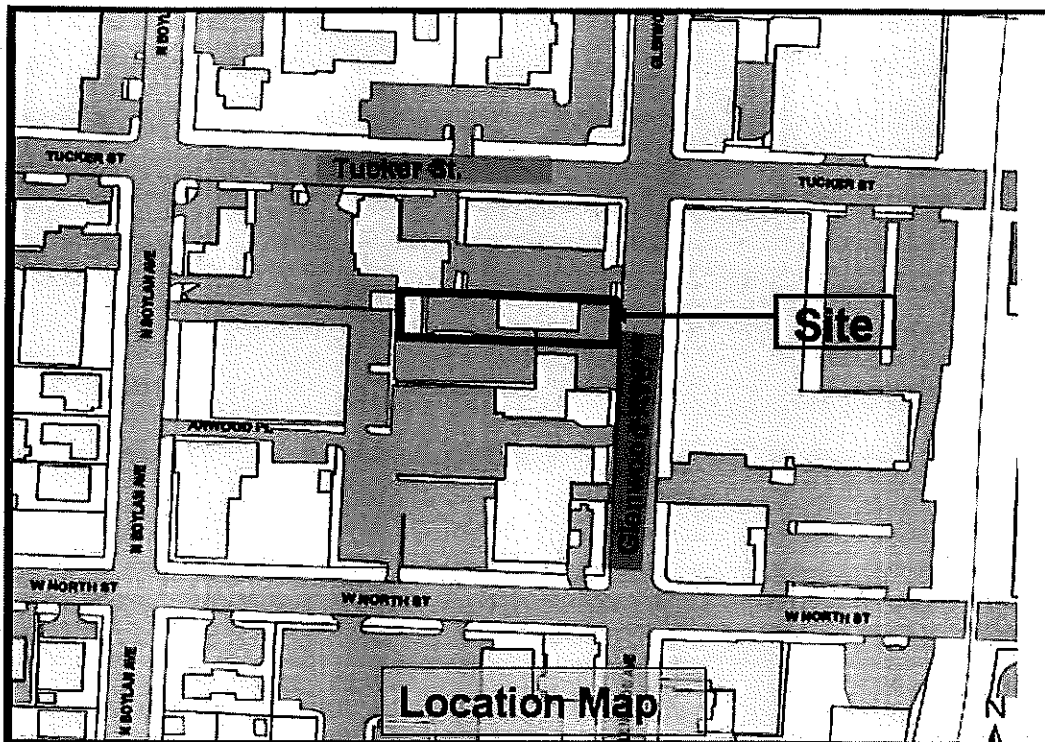
General Location: Intersection of Tucker St. and Glenwood Ave.

**Planning District
/ CAC:** University / Hillsborough

Nature of Case: The proposed retail use is a change of use from industrial (Electrical contractor), converting a single story building totaling 2,500 square foot, zoned Neighborhood Business with Pedestrian Business Overlay District on a 0.25 acre tract. Additionally, on the western portion of this site is an existing 1,250 square foot storage building. This change of use constitutes Planning Commission approval pursuant to 10-2132.2(i)(2)g additionally, the proposed retail use is located within 400' of a residential zoning district and requires adherence to the Glenwood South Streetscape Plan. Also, a variance is requested by the applicant and supported by staff from required right-of-way dedication and construction requirements for Glenwood Avenue.

Key Issues: The applicant is requesting a right of way and infrastructure variance for Glenwood Avenue which is being supported by staff.

Contact: Jamie Loyack



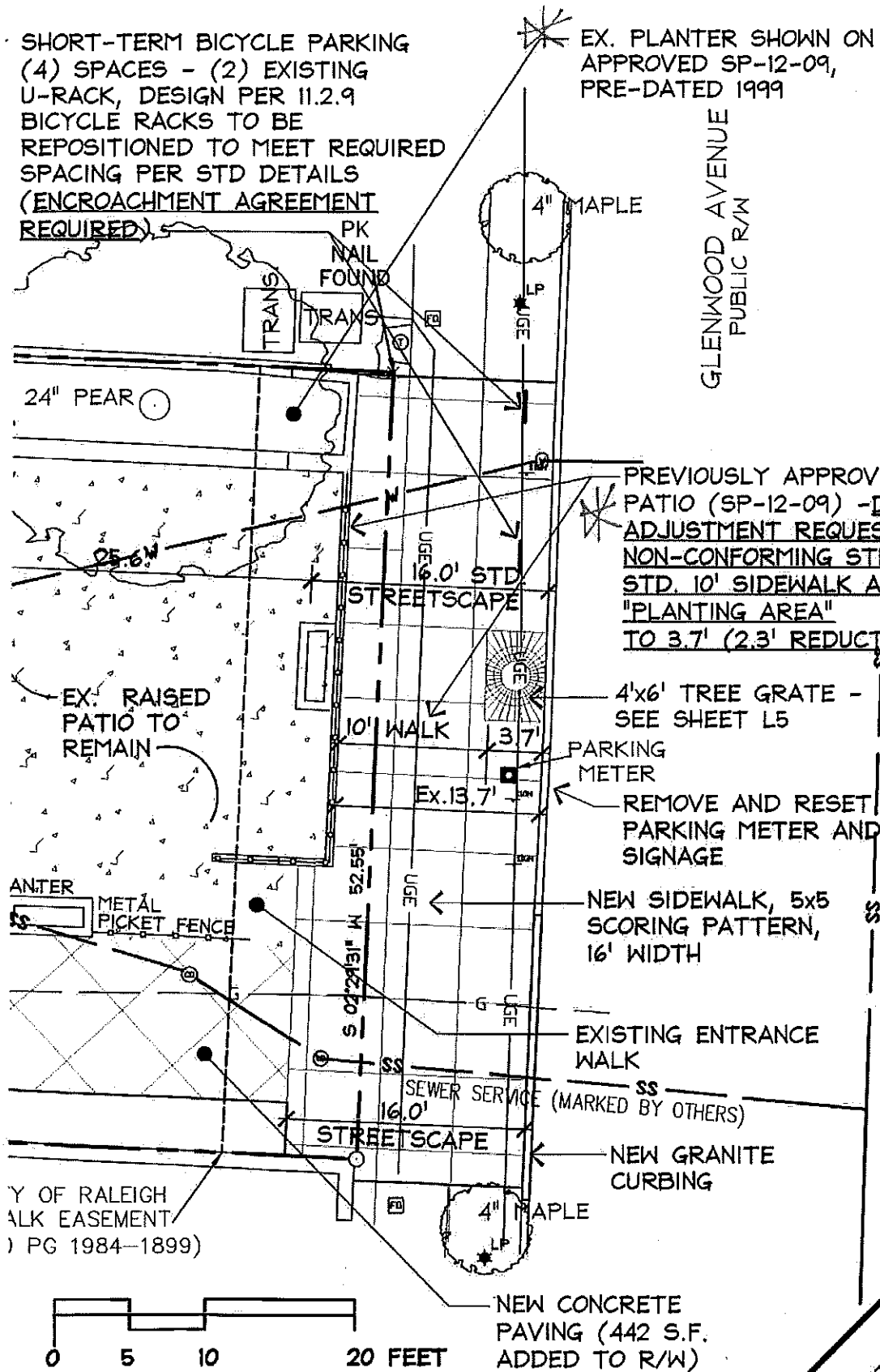


SHORT-TERM BICYCLE PARKING
(4) SPACES - (2) EXISTING
U-RACK, DESIGN PER 11.2.9
BICYCLE RACKS TO BE
REPOSITIONED TO MEET REQUIRED
SPACING PER STD DETAILS
(ENCROACHMENT AGREEMENT
REQUIRED)

EX. PLANTER SHOWN ON
APPROVED SP-12-09,
PRE-DATED 1999

GLENWOOD AVENUE
PUBLIC R/W

REAR PATIO
NOIR B
425 GL
RALEIGH, N



PREVIOUSLY APPROVED RAISED
PATIO (SP-12-09) - DESIGN
ADJUSTMENT REQUEST FOR
NON-CONFORMING STREETScape WITH
STD. 10' SIDEWALK AND REDUCED
"PLANTING AREA"
TO 3.7' (2.3' REDUCTION)

EX. RAISED
PATIO TO
REMAIN

ANTER
METAL
PICKET FENCE

Y OF RALEIGH
ALK EASEMENT
(PG 1984-1899)

4'x6' TREE GRATE -
SEE SHEET L5
PARKING
METER
REMOVE AND RESET
PARKING METER AND
SIGNAGE

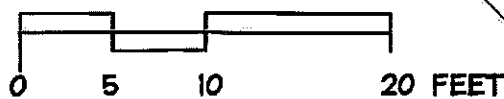
NEW SIDEWALK, 5x5
SCORING PATTERN,
16' WIDTH

EXISTING ENTRANCE
WALK

SEWER SERVICE (MARKED BY OTHERS)

NEW GRANITE
CURBING

NEW CONCRETE
PAVING (442 S.F.
ADDED TO R/W)



Proj. RLP
Coord.
Date: 09-05-2018
Revisions: 12-17-2018
1/28/2019

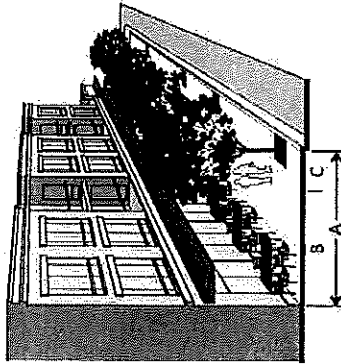
PROPOSED SITE PLAN

DESIGN GROUP, P.A.
PE ARCHITECTS
Raleigh, NC 27603
(919) 832-8140
designgroup.com

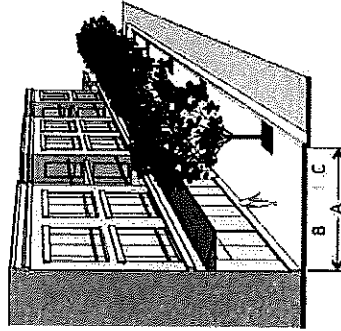
Sec. 8.5.2. Streetscape Types

The required streetscape type is determined by the zoning district or by the designated frontage. Where there is a conflict between a designated frontage and the zoning district, the designated frontage standard applies. If more than 1 streetscape can be used, the Planning and Development Officer shall make the final determination. Design specifications for streetscape improvements can be found in the Raleigh Street Design Manual and City Tree Manual.

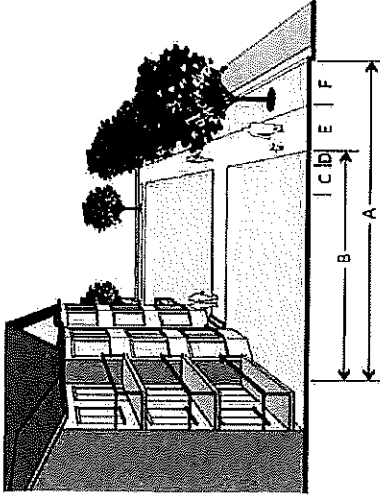
A. Main Street



B. Mixed Use



C. Commercial



Frontages	
Applicable frontages	-SH, -UG, -UL, -GR, -PL
Zoning Districts	
Applicable zoning districts	Mixed use districts
Width	
A Streetscape width (max)	35'
Streetscape	
B Sidewalk (min)	10'
C Planting area (min)	6'
General	
Walkway type	Sidewalk
Planting type	Tree grate
Tree spacing	40' o.c. avg

Frontages	
Applicable frontages	-UG, -UL, -GR, -PL
Zoning Districts	
Applicable zoning districts	Mixed use districts
Width	
A Streetscape width (max)	35'
Streetscape	
B Sidewalk (min)	8'
C Planting area (min)	6'
General	
Walkway type	Sidewalk
Planting type	Tree grate / lawn
Tree spacing	40' o.c. avg

Frontages	
Applicable frontages	-GR, -PL
Zoning Districts	
Applicable zoning districts	Mixed use districts
Width	
A Streetscape width (max)	65'
Streetscape	
B Building setback (min/max)	20' / 50'
C Utility placement	5'
D Maintenance strip (min)	2'
E Sidewalk (min)	6'
F Planting area (min)	6'
General	
Walkway type	Sidewalk
Planting type	Tree lawn
Tree spacing	40' o.c. avg
No on-site parking permitted between the building and the street	

Sec. 8.5.3. Nonconforming Streetscapes

A. Where a streetscape along an existing street is constrained by an existing building, the Public Works Director may adjust the streetscape standards to the minimum extent necessary to accommodate the existing area between the face of the building and back of curb.

B. The standards shall be modified in the following order.

1. Reduce or eliminate the planting area.
2. If necessary, replace large canopy trees with small trees that are more appropriate for the reduced area. If the planting zone is eliminated, create a bumpout to provide for tree planting.
3. Reduce the sidewalk to the minimum width necessary to accommodate ADA accessibility.

Sec. 8.5.4. Existing Private Streets

A. General

1. No new private streets are allowed.
2. All existing private streets must remain under maintenance of the homeowners' association and must be maintained to equivalent public street standards.
3. Private alleys must be constructed to the standards in Sec. 8.4.7. and the construction standards specified in the Raleigh Street Design Manual.
4. Private alleys are not dedicated to the public and shall not be publicly maintained.

B. Homeowners' Association

1. In no case shall the City be responsible for failing to provide any emergency or regular fire, police or other public service when such failure is due to lack of access to such areas due to inadequate design or construction, blocking of access routes, inadequate maintenance or any other factor within the control of the developer, homeowners' association or occupants.
2. In no case shall any approval, permit or certificate granted be valid unless the homeowners' association documents clearly indicate the limitations of governmental responsibility and unless all conveyances indicate those limitations provided, however, the provisions of this section and all other

provisions of the homeowners' declaration are applicable to the portions of the development conveyed and the owners of the conveyed portion, whether or not any such provisions are incorporated into the conveying documents.

C. Locked Gate Access

1. Any private street in existence or approved prior to September 1, 2013 may be considered for gated access.
2. All private streets and drives with access limited by locked gates or similar devices must provide a pass-key and lock-box of a type, at a location and installed in a manner as may be required by the City fire department for the provision of emergency access.
3. The owner, including any homeowners' association, shall maintain the lock-box, gate and gate lock in a working order so as to ensure accessibility by emergency personnel and vehicles.
4. The City and other applicable governmental entities and their respective emergency personnel shall be granted in writing the right, without liability, to break the locked gate or such similar device when emergency personnel reasonably believe that doing so is necessary to save life, prevent serious bodily harm, put out a fire, to prevent a crime or to apprehend an apparent lawbreaker or to avert or control a public catastrophe.

D. Traffic Flow

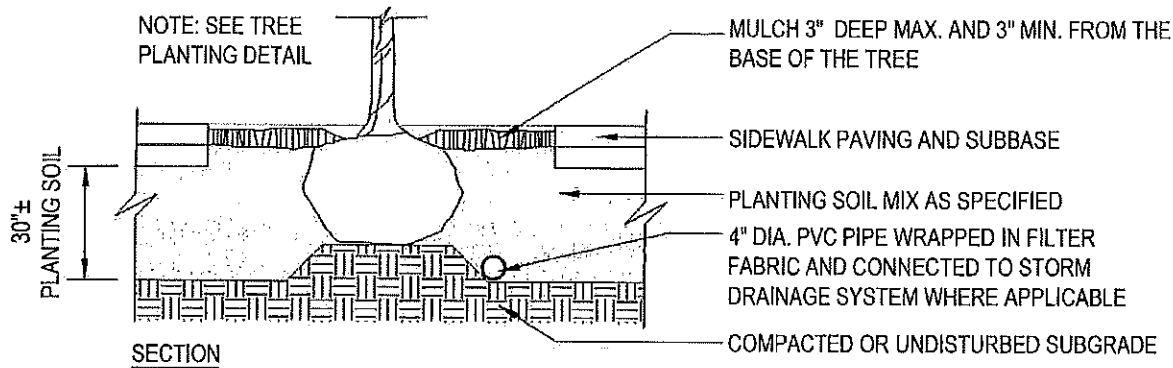
It shall be the responsibility of the homeowners' association to establish speed limits and to maintain uninterrupted traffic flow along all private streets. If it is necessary for "no parking" signs to be erected, for street lights to be installed, for repairs to be made or towing of vehicles to be undertaken, this is all to be done at the expense of the homeowners' association.

E. Street Signs

All streets must contain identification as required in Sec. 7.3.13.H.

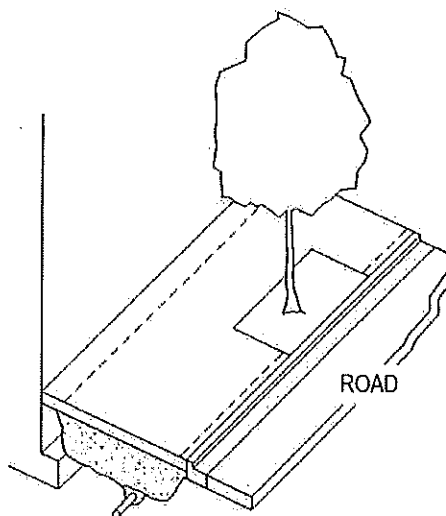
F. Setbacks and Lot Widths

All private streets shall be treated as public street rights-of-way for purposes of determining required setbacks and lot widths.

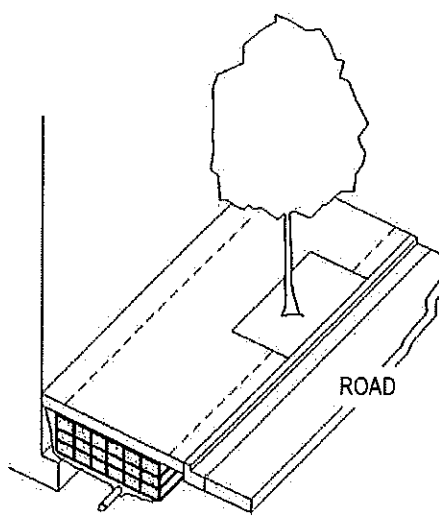


NOTES:

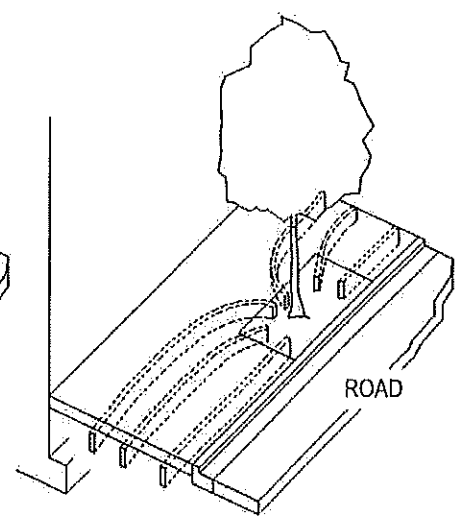
1. A SITE SPECIFIC PLAN MUST BE DEVELOPED TO ENSURE THAT:
 - 1.1. EACH TREE IS PROVIDED A MIN. ROOT-ACCESSIBLE SOIL VOLUME OF 600 CUBIC FEET.
 - 1.2. THE TREE ROOT AREA BENEATH THE SIDEWALK IS EXPANDED TO MAXIMIZE ROOT ACCESSIBLE SOIL SPACE UNDER THE PAVEMENT.
 - 1.3. CONNECT SOIL SPACE FOR ROOT EXPANSION WHERE POSSIBLE TO ALLOW ROOT SYSTEMS OF TREES TO OVERLAP AND COLONIZE A SHARED SOIL SPACE.
 - 1.4. ANY COMBINATION OF STRUCTURAL SOILS, SOIL CONTAINMENT SYSTEM (e.g., SILVA CELL), OR ROOT CHANNELING (e.g., SOIL STRIP DRAIN/AERATION SYSTEM) THAT PERFORMS AS SPECIFIED IS ACCEPTABLE.
3. 40' X 6' WIDTH MINIMUM APPLIES TO BOTH STRUCTURAL SOILS AND SUBSURFACE SOIL CONTAINMENT SYSTEMS.
4. SUBSURFACE APPLICATION SHALL BE REVIEWED AND APPROVED BY CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES URBAN FORESTRY DIVISION PRIOR TO INSTALLATION.



STRUCTURAL SOIL SYSTEM



SOIL CONTAINMENT SYSTEM



ROOT CHANNELING/PATHWAYS

CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT
URBAN FORESTER: TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE: 8/1/18	NOT TO SCALE
	TREE PLANTING IN SIDEWALK WITHIN ROW	
	TPP-07	

Design Adjustment Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Noir Bar & Lounge		
	Case Number SP-87-18		
	Transaction Number 568906		
	Name My Three B's LLC		
	Address 510 Glenwood Avenue		City Raleigh
	State NC	Zip Code 27603	Phone 919-345-8704
	Name Ron Price, ASLA		
	Firm Sears Design Group, P.A.		
	Address 625 W. Jones Street		City Raleigh
	State NC		Zip Code 27603
OWNER	Phone 919-832-7000		
	I am seeking a Design Adjustment from the requirements set forth in the following:		
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings	
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings	
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings	
	Provide details about the request; (please attach a memorandum if additional space is needed):		
	Street & Right-of-way: Applicant is requesting that the Glenwood Avenue right-of-way and street width to remain as currently dedicated and constructed. Submittal is being made per Transportation Staff Comment: "Glenwood is considered a Main Street Parallel Parking street type per Section 3.2.3 B of the RSDM. The required right-of-way width is 90 feet and street width is 62'. As this cannot be met, a design adjustment will be required." (Article 8.5)		
	CONTACT		
REQUEST			

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner's Representative Signature

Date

CHECKLIST

Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
Development Services, Development Engineering
One Exchange Plaza, Suite 500
Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA -
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Article 8.5 Existing Streets

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with Sec. 10.2.18, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;

Requests meets intent of article to allow adjustment related to existing construction and conditions. Currently Glenwood Avenue within this portion of Glenwood South is a 64 feet right-of-way and a 44' back-to-back street section. The Comprehensive plan and referenced UDO shows a Main Street, Parallel Parking diagram within Section 8.4.5.D with a right-of-way of 73 feet and street width of 41 feet. Variable widths continue within old and new development along the Glenwood Avenue corridor between Peace and Hillsborough Streets.

- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;

Variable right-of-way and street widths exist along this portion of the Glenwood corridor. In comparison to the UDO, the current street width is constructed 3 feet wider than standard; however, the right of way is 9 feet narrower than standard. Applicant requests that street and right-of-way widths be allowed to remain. The existing sidewalk (planned for upgrade to new standards) extends onto the subject private property and abuts an existing raised patio. A sidewalk easement was previously provided to accommodate this noted encroachment.

- C. The requested design adjustment does not increase congestion or compromise safety;

No, the conditions of the street width remains unchanged and will remain consistent with the remaining streetscape to the north and south. The sidewalk adjacent to the streetscape will be replaced with new pavement and tree grates to meet the Glenwood South Streetscape Plan using standard City details for construction. Bicycle racks will be relocated to maximize space for pedestrian movement.

- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and

No additional maintenance is required. The conditions of the street with remain unchanged and consistent with the remaining streetscape to the north and south. The sidewalk adjacent to the streetscape will be improved to new City details between the curb and existing raised patio on the subject property.

- E. The requested design adjustment has been designed and certified by a Professional Engineer.

Not required. Landscape Architect has noted proposed improvements to sidewalk and street tree planting/tree grate on Administrative Site Plan.

Individual Acknowledgement



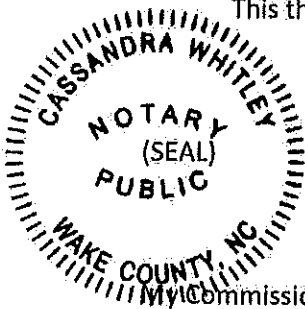
DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA
COUNTY OF Wake

INDIVIDUAL

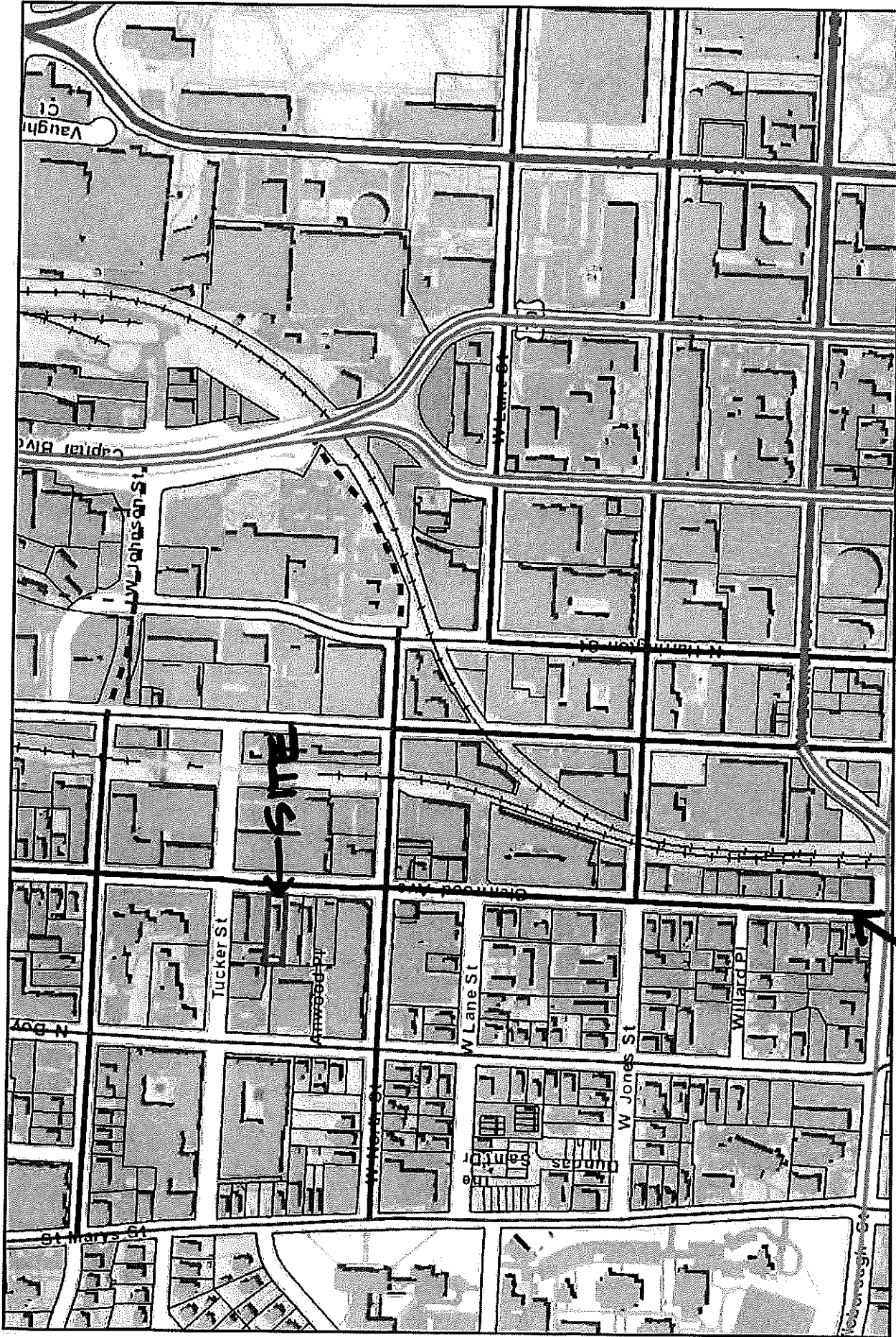
I, Cassandra Whitley, a Notary Public do hereby certify that
Richard Battaglia personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This the 5 day of December, 2018.

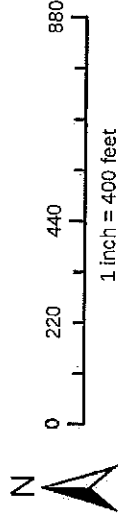


Notary Public Cassandra Whitley

My Commission Expires: 9/14/2022



Disclaimer
 Maps make every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use or its interpretation.



Glenwood Ave.
 Main Street,
 Parallel Parking

SITE DATA SUMMARY

1. **USE:**
EXISTING: BAR/NIGHTCLUB (NO FOOD SERVICE)
PROPOSED: BAR/NIGHTCLUB (NO FOOD SERVICE)
2. **ZONING:** DX-7-SH (DOWNTOWN MIXED USE - 7 STORY - SHOPFRONT)
3. **PROPERTY INFORMATION**
- | | REQUIRED | PROVIDED |
|---|----------|-----------|
| - LOT AREA: | N/A | 10,958 SF |
| - WIDTH: | N/A | 52.55 LF |
| - OUTDOOR AMENITY AREA (10%): | 1,096 SF | 1,123 SF |
| - OVERALL GROSS FLOOR AREA (EXISTING AND PROPOSED): | | |
| - NIGHTCLUB/BAR | | 3,040 SF |
| - ACCESSORY STRUCTURE #1 (STORAGE FOR BAR) | | 1,225 SF |
| - ACCESSORY STRUCTURE #2 (STORAGE AREA FOR BAR) | | 84 SF |
| - TOTAL SQUARE FOOTAGE | | 4,349 SF |

ARTICLE 3.2 BASE DIMENSIONAL STANDARDS

3.2.5 GENERAL BUILDING

4. **PRINCIPAL STRUCTURE INFO (EXISTING BUILDING - UNCHANGED)**
- 1 STORY FOOTPRINT
- | | | |
|--------------------------------------|-----------------------|---------------------|
| GROSS FLOOR AREA PER UDO SEC. 12.2 = | 7 STORY | 3,040 SF (existing) |
| - BUILDING HEIGHT | 1 STORY ** (existing) | |
| - FRONT SETBACK | 3 LF | 30.4 LF (existing) |
| - SIDE SETBACK (NORTH) | 0 or 6 LF | 0.3 LF (existing) |
| - SIDE SETBACK (SOUTH) | 0 or 6 LF | 13.7 LF (existing) |
| - REAR SETBACK | 0 or 6 LF | 99.75 LF (existing) |
- EX. TRANSPARENCY (GROUND STORY) 50%
Wall Area = 457.20 SF (38.1' x 12')
Glass Area = 140.55 SF (4)4' x 1.67', (4) 4' x 6.5", (1) 2.33' x 1.67, (1) 2.33' x 6')
BLANK WALL AREA (MAX) 21.1 LF * (existing...no changes proposed)

NOTE - NO CHANGES PROPOSED TO EXISTING BUILDINGS:

- * NO CHANGES ARE BEING MADE TO THE GROUND STORY TRANSPARENCY
* NO GRADING WILL TAKE PLACE, NEW PAVING FOLLOWS EXISTING SLOPES
** NO CHANGES TO BUILDING HEIGHTS PROPOSED

5. **BAR ACCESSORY STRUCTURE #1 (EXISTING BUILDING - UNCHANGED)**
- 1 STORY FOOTPRINT
- | | | |
|--------------------------------------|-----------|----------------------|
| GROSS FLOOR AREA PER UDO SEC. 12.2 = | 25 LF HT | 1,225 SF (existing) |
| - BUILDING HEIGHT | 3 LF | 18 LF HT |
| - FRONT SETBACK | 0 or 6 LF | 183.22 LF (existing) |
| - SIDE SETBACK (NORTH) | 0 or 6 LF | 0.8 LFLF (existing) |
| - SIDE SETBACK (SOUTH) | 0 or 6 LF | 0.6 LFLF (existing) |
| - REAR SETBACK | 0 or 6 LF | 2.6 LF (existing) |

6. **BAR ACCESSORY STRUCTURE #2 (EXISTING BUILDING - UNCHANGED)**
- 1 STORY FOOTPRINT
- | | | |
|--------------------------------------|-----------|---------------------|
| GROSS FLOOR AREA PER UDO SEC. 12.2 = | 25 LF HT | 84 SF (existing) |
| - BUILDING HEIGHT | 3 LF | 8 LF HT |
| - FRONT SETBACK | 0 or 6 LF | 168.9 LF (existing) |
| - SIDE SETBACK (NORTH) | 0 or 6 LF | 8.2 LF (existing) |
| - SIDE SETBACK (SOUTH) | 0 or 6 LF | 35.41 LF (existing) |
| - REAR SETBACK | 0 or 6 LF | 31.0 LF (existing) |

ARTICLE 3.4 FRONTAGE REQUIREMENTS

SECTION 3.4.9 SHOPFRONT (-SH) (BUILDINGS & STRUCTURES EXISTING - SEC. 1.1.11)

7. **E1 - PRIMARY STREET-FACING ENTRANCE REQ.**
- | | |
|-----|-----|
| YES | YES |
|-----|-----|
8. **E2 - STREET-FACING ENTRANCE SPACING (MAX)**
- | | |
|---------|-------|
| 50' MAX | 22.6' |
|---------|-------|

ARTICLE 7.1 PARKING REQUIREMENTS

9. **PARKING REQUIRED - SECTION 7.1.2.C - PARKING BY USE (BAR):**
VEHICLE PARKING: 1 SPACE PER 150 SF OF GROSS FLOOR AREA OR 5 SEATS, WHICHEVER IS GREATER
SHORT-TERM BICYCLE PARKING (MIN): 1 SPACE PER 50,000 SF GROSS FLOOR AREA, MINIMUM OF 4
LONG-TERM BICYCLE PARKING (MIN): 1 SPACE PER 50,000 SF GROSS FLOOR AREA, MINIMUM OF 4
- DX- DISTRICT REQUIREMENT - SECTION 7.1.3.A.d:
NO VEHICLE PARKING IS REQUIRED FOR THE FIRST 10,000 SQUARE FEET OF GROSS FLOOR AREA OF ANY NON-RESIDENTIAL USE.
10. **PARKING PROVIDED -**
VEHICULAR PARKING: DX- DISTRICT REQUIREMENT - SECTION 7.1.3.A.d:
NO VEHICLE PARKING IS REQUIRED FOR THE FIRST 10,000 SQUARE FEET OF GROSS FLOOR AREA OF ANY NON-RESIDENTIAL USE.
SHORT-TERM BICYCLE PARKING: (4) SPACES PROVIDED (LOCATED IN GLENWOOD RIGHT-OF-WAY - SEE GENERAL NOTE #8 THIS SHEET)
LONG-TERM BICYCLE PARKING: (4) SPACES PROVIDED WITHIN ACCESSORY BUILDING #1 FOR ACCESS BY BAR EMPLOYEES. ACCESS IS 185 LF FROM BUILDING REAR ENTRANCE, 220 LF FROM BUILDING FRONT ENTRANCE (MAX 300 FEET ALLOWED PER CODE)

PARKING SUMMARY FOR ADMINISTRATIVE SITE PLAN REVIEW REQUIREMENTS: NOTE: ADMINISTRATIVE SITE PLAN REVIEW IS REQUIRED IF THERE IS AN INCREASE OF 10 SPACES OR 10% OF TOTAL "REQUIRED SPACES": 10.2.7.a.2.f.

PARKING REQUIRED PER NUMBER OF SEATS (1 SPACE PER 5 SEATS)

- EXISTING SEATS
- | | |
|---------------------|-------------------|
| ... BUILDING | = 74 SEATS |
| ... FRONT PATIO | = 35 SEATS |
| ... TOTAL | = 109 SEATS |
| ... EX PARKING REQ. | = / 5 = 22 SPACES |

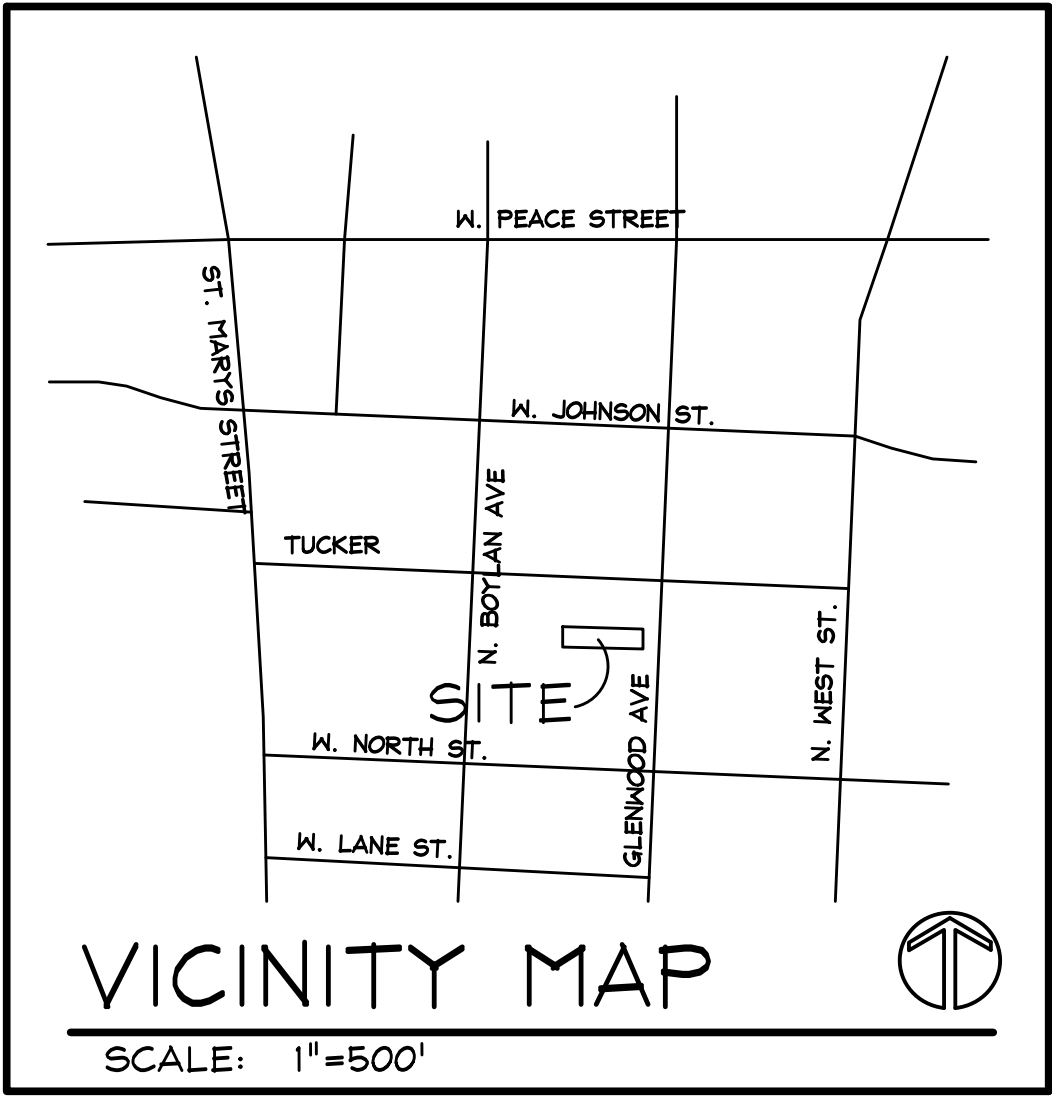
- PLUS NEW PROPOSED SEATS
- | | |
|------------------------|-------------------------|
| ... NEW PATIO ADDITION | = 64 SEATS |
| ... TOTAL | = 173 SEATS |
| ... NEW PARKING REQ. | = / 5 = 35 SPACES TOTAL |

PARKING/PERCENT INCREASE = 13 SPACES (59% INCREASE = ADMINISTRATIVE SITE PLAN REQUIRED)

BUILDING SQUARE FOOTAGE SUMMARY (1 SPACE PER 150 SF GROSS FLOOR AREA) - FLOOR PLAN SHT. L6

- EXISTING OVERALL GROSS FLOOR AREA (EXISTING AND PROPOSED):
- | | |
|---|----------|
| ... NIGHTCLUB/BAR | 3,040 SF |
| ... ACCESSORY STRUCTURE #1 (STORAGE FOR BAR) | 1,225 SF |
| ... ACCESSORY STRUCTURE #2 (STORAGE AREA FOR BAR) | 84 SF |
| ... TOTAL SQUARE FOOTAGE | 4,349 SF |
- EX PARKING REQ. = / 150 = 29 SPACES (CURRENT REQUIRED SPACES)

- PROPOSED OVERALL GROSS FLOOR AREA
- | | |
|--|--|
| ... (NO CHANGE IN BUILDING SQUARE FOOTAGE = 0% INCREASE OF PARKING REQUIRED FOR SQUARE FOOTAGE | |
|--|--|



Administrative Site Review Application
(for UDO Districts only)

Development Services
DEPARTMENT

Development Services Customer Service Center | 1 Exchange Place, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Transaction Number
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Assigned Project Coordinator
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot	Assigned Team Leader
<input type="checkbox"/> Townhouse		

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: **Noir Bar & Lounge**

Zoning District: **DX-7-SH** Overlay District (if applicable) Inside City Limits? ☒ Yes ☐ No

Proposed Use: **Nightclub (existing use)**

Property Address(es): **425 Glenwood Avenue** Major Street Locator:

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N.	P.I.N.	P.I.N.	P.I.N.
1704414142			

What is your project type? ☐ Apartment ☐ Elderly Facilities ☐ Hotels/Motels ☐ Office
☐ Mixed Residential ☐ Non-Residential Condo ☐ School ☐ Hospitals ☐ Banks ☐ Industrial Building
☐ Duplex ☐ Telecommunication Tower ☐ Religious Institutions ☐ Residential Condo ☐ Retail ☐ Cottage Court
☒ Other: If other, please describe: **Bar / Nightclub**

WORK SCOPE

Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.

New fence enclosed patio at rear of nightclub for increased occupancy; paving of existing gravel access drive (no impervious increase).

DESIGN ADJUSTMENT OR ADMIN ALTERNATE

Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

CLIENT/DEVELOPER/OWNER

Company	My Three B's LLC	Name (s)	Richard Battaglia, Manager
Address	510 Glenwood Avenue, Raleigh, NC 27603		
Phone	919-345-8704	Email	Bellinoman@yahoo.com
Fax			

CONSULTANT (Contact Person for Plans)

Company	Sears Design Group, PA	Name (s)	Ron Price, ASLA
Address	625 W. Jones Street, Raleigh, NC 27603		
Phone	919-832-7000	Email	Ron@SearsDesignGroup.com
Fax			

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

GENERAL NOTES

1. **ADMINISTRATIVE SITE REVIEW:** REVIEW IS REQUIRED PER 10.2.7.A.2.f, DUE TO AN INCREASE IN "REQUIRED PARKING" ABOVE 10%, OR 10 SPACES (SEE CHART TO LEFT). THERE ARE NO OTHER ISSUES PREVENTING DIRECT PERMIT SUBMITTAL.
2. **GRADING:** THERE IS NO GRADING PROPOSED. NEW PAVING SLOPES ALIGN WITH EXISTING GRADES. THERE ARE NO CHANGES TO BUILDING HEIGHTS PROPOSED. ALL DEVELOPMENT WILL TAKE PLACE AT EXISTING GRADE.
3. **WAKE COUNTY APPROVAL:** NOT REQUIRED - NIGHTCLUB CURRENTLY HAS A MIXED BEVERAGE PRIVATE CLUB LICENSE, AND IS THEREFORE EXEMPT FROM WAKE COUNTY REVIEWS. PERMIT #00238689MB
4. **TREE CONSERVATION PLAN (ARTICLE 9.1):** TCA PLAN IS NOT REQUIRED - SITE IS LESS THAN 2 ACRES AND DOES NOT CONTAIN TREES.
5. **STORMWATER MANAGEMENT (ARTICLE 9.2):** THERE IS NO INCREASE TO EXISTING IMPERVIOUS AREAS (SLIGHT DECREASE IS NOTED) - SEE SHEET L3
6. **LANDSCAPE PLAN:** TREE R/W PLANTING PROVIDED. ADDITIONAL PLANTING NOT REQUIRED, NO VEHICULAR PARKING PROVIDED, NO CHANGE TO GROSS FLOOR AREA
7. **BUILDING MECHANICAL EQUIPMENT:** EXISTING EQUIPMENT FOR PRIMARY STRUCTURE IS LOCATED ON ROOF OF BUILDING AND SCREENED BY EXISTING PARAPETS. THERE IS NO MECHANICAL EQUIPMENT FOR ACCESSORY BUILDINGS. NO ADDITIONAL MECHANICAL EQUIPMENT IS PROPOSED.
8. **BICYCLE RACKS:** IF APPLICANT INSTALLS REQUIRED SHORT-TERM BICYCLE RACKS IN RIGHT-OF-WAY AS NOTED ON SITE PLAN, AN ENCROACHMENT AGREEMENT IS NOT REQUIRED. IF THE CITY INSTALLS THE RACKS IN THE RIGHT--F-WAY, APPLICANT WILL BE REQUIRED TO PROVIDE ADDITIONAL SHORT-TERM BICYCLE RACKS ELSEWHERE ON THE PROPERTY. ENGINEERING HAS REVIEWED SITE PLAN PROPOSAL.

SR-87-18 (Transaction #568906)

NOIR BAR & LOUNGE

REAR FENCE ENCLOSED UNCOVERED OUTDOOR PATIO
AT EXISTING NIGHTCLUB

425 GLENWOOD AVENUE
RALEIGH, NORTH CAROLINA 27603

SCHEDULE OF DRAWINGS

- | | |
|----|--|
| L1 | COVERSHEET |
| L2 | EXISTING CONDITIONS |
| L3 | SITE PLAN / DEMOLITION PLAN |
| L4 | PAVING SLOPE PLAN |
| L5 | PLANTING PLAN |
| L6 | FLOOR PLAN |
| G1 | BUILDING CODE SUMMARY |
| A1 | BUILDING FLOOR PLAN (Ex- and proposed furniture layout, sink addition) |

CITY OF RALEIGH PUBLIC IMPROVEMENT QUANTITY TABLE	
PHASE NUMBER(S)	Phase 1
NUMBER OF LOTS (S)	1 (existing)
LOT NUMBERS (S) BY PHASE	
NUMBER OF UNITS	n/a
LIVABLE BUILDINGS	n/a
OPEN SPACE?	none
NUMBER OF OPEN SPACE LOTS	0
PUBLIC WATER (LF)	0
PUBLIC SEWER (LF)	0
PUBLIC STREET (LF)	0
PUBLIC SIDEWALK (LF)	52.55'
STREET SIGNS (LF)	0
WATER SERVICE STUBS	0
SEWER SERVICE STUBS	0

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information		Building Information	
Zoning District(s) DX-7-SH		Proposed building use(s) Nightclub (existing)	
If more than one district, provide the acreage of each:		Existing Building(s) sq. ft. gross 4,349	
Overlay District		Proposed Building(s) sq. ft. gross 0	
Total Site Acres	Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 4,349	
Off street parking: Required 35	Provided n/a for zoning	Proposed height of building(s)	
COA (Certificate of Appropriateness) case #		# of stories 1 (existing)	
BOA (Board of Adjustment) case # A-		Ceiling height of 1 st floor	
CUD (Conditional Use District) case # Z-			
Stormwater Information			
Existing Impervious Surface	9,609 s.f. acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Proposed Impervious Surface	9,404 s.f. acres/square feet	If Yes, please provide:	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils FEMA Map Panel #	Flood Study
FOR RESIDENTIAL DEVELOPMENTS			
1. Total # Of Apartment, Condominium or Residential Units n/a		5. Bedroom Units: 1br 2br 3br 4br or more	
2. Total # Of Congregate Care Or Life Care Dwelling Units n/a		6. Infill Development 2.2.7 n/a	
3. Total Number of Hotel Units n/a		7. Open Space (only) or Amenity n/a	
4. Overall Total # Of Dwelling Units (1-6 Above) n/a		8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
SIGNATURE BLOCK (Applicable to all developments)			
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.			
I hereby designate Ron Price, ASLA to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.			
I/we have read, acknowledged and affirm that this project is conforming to all application requirements applicable with the proposed development use.			
Signed		Date	12/5/18
Printed Name	Richard Battaglia, Manager		
Signed		Date	
Printed Name			

PAGE 2 OF 3

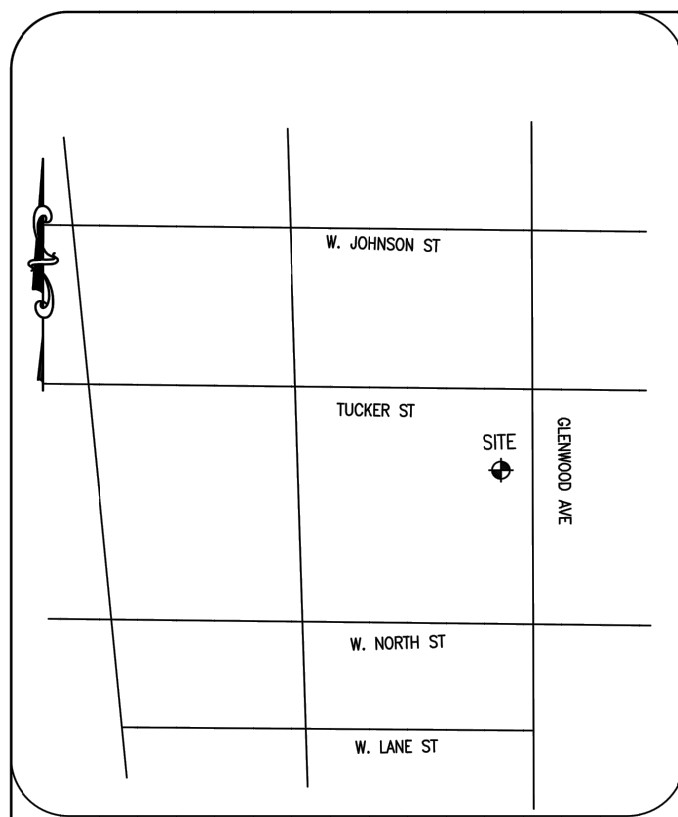
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REVISION 05.13.16

Proj. RLP
Coord.
Date: 09-05-2018
Revisions: 12-17-2018
04-09-2019
05-23-2019

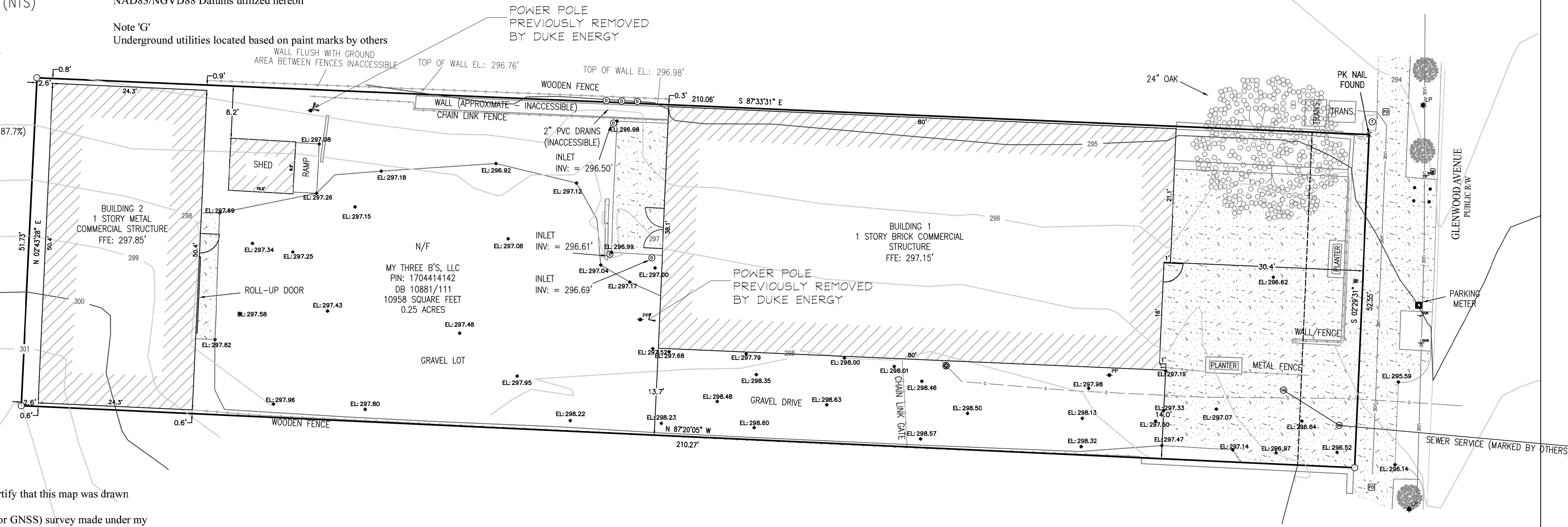
SEARS DESIGN GROUP, P.A.
625 W. Jones Street Raleigh, NC 27603
(919)832-7000 Fax (919)832-8140
E-mail: searsdesign@bellsouth.net
Sheet No. **L1**
Of 6

NOIR.01



VICINITY MAP (NTS)

EXISTING IMPERVIOUS SURFACE:
BUILDING 1: 3032 S.F.
BUILDING 2: 1225 S.F.
SHED: 84 S.F.
SHED RAMP: 29 S.F.
CONCRETE: 1609 S.F.
GRAVEL: 3540 S.F.
WALLS: 90 S.F.
TOTAL: 9609 S.F. (87.7%)



I, Michael Stokes, certify that this map was drawn under my supervision from an actual GPS (or GNSS) survey made under my supervision and the following information was used to perform the survey:

Class of Survey: A
Positional Accuracy: 1: 10000 or greater
Type of GPS (or GNSS) field procedure: RTN (360 epoch observations)
Date(s) of Survey: 06/26/2018
Datum/Epoch: NAD83/NSRS2011
Published/fixed Control: RTN Base
Geoid Model: GEOID12B
Units: US Survey Feet
Horizontal positions are referenced to NAD83/NSRS(2011)
Vertical positions are referenced to NAVD88 using (GEOID12B)

REVISED ON 07-10-2018 TO SHOW ADDITIONAL FINISHED FLOOR ELEVATIONS AND DOORWAY LOCATIONS

I, Michael S. Stokes, Professional Land Surveyor certify that this survey complies with the North Carolina Standards of Practice for Surveying Section 1600; that this is a class A survey, meeting the criteria of precision greater than 1:10,000; that conventional and RTN field procedure with GNSS receiver utilizing correction factors broadcast by NCGS from base station was utilized; that all units are U.S. Survey Feet unless otherwise stated; that all distances are ground distances unless otherwise stated. Any Easements, gaps, lappages, or encroachments are shown on this survey; that all areas were computed by coordinate method. This survey is not to be recorded without written permission from the surveyor. This map remains the property of the surveyor and is to be used only for conveyance of this lot by the person(s) shown on this map.

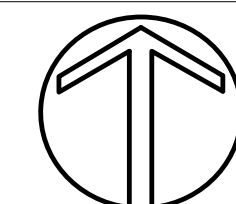
Witness my original signature, registration number and seal this 3rd day of July, A.D. 2018.
Surveyor: Michael S Stokes
License # L-4996



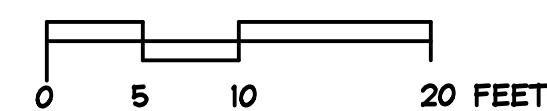
Survey for:
Noir Raleigh
of:
The Property Described in Deed Book 10881
Page 111, Wake County Registry
Raleigh TWSP., Wake County, North Carolina
Being the Property Located at:
425 Glenwood Avenue, Raleigh

STOKES
SURVEYING & MAPPING, PLLC

Firm License # P-1139
1425-105 B Rock Quarry Rd.
Raleigh, NC 27610
(919)-971-7897
www.stokes-surveying.com



L2-1 EXISTING CONDITIONS
SCALE: 1"=10'=0"



REAR PATIO AND SCREEN FENCE
NOIR BAR & LOUNGE
425 GLENWOOD AVENUE
RALEIGH, NORTH CAROLINA 27603

Proj. RLP
Coord.
Date: 09-05-2018
Revisions: 12-17-2018

SEARS DESIGN GROUP, P.A.
LANDSCAPE ARCHITECTS, P.A.
625 W. Jones Street Raleigh, NC 27603
(919) 832-7000 Fax (919) 832-8140
Email: searsdesign@searsdesigngroup.com
Sheet No. **L2**
Of 6

L3-3 IMPERVIOUS CHANGES SUMMARY

EXISTING IMPERVIOUS SURFACE:

BUILDING 1:	3032 S.F.
BUILDING 2:	1225 S.F.
SHED:	84 S.F.
SHED RAMP:	29 S.F.
CONCRETE:	1609 S.F.
GRAVEL:	3540 S.F.
WALLS:	90 S.F.
TOTAL:	9609 S.F. (87.7%)

REMOVALS - FRONT

509 S.F. FRONT CONCRETE TO R/W

REMOVALS - SITE AND REAR

179 S.F. REAR CONCRETE PATIO;
754 S.F. GRAVEL VEHICULAR PERMANENT REMOVAL
2,785 S.F. GRAVEL FOR CONCRETE WALK REPLACEMENT

4,227 S.F. REMOVALS TOTAL

NEW ADDITIONS - FRONT

442 S.F. FRONT CONCRETE TO R/W

NEW ADDITIONS - SIDE AND REAR

1,444 S.F. NEW REAR PATIO
2,136 S.F. NEW CONCRETE WALKS

4,022 S.F. ADDITIONS TOTAL

205 S.F. IMPERVIOUS REDUCTION

Right-of-Way Obstruction Notes:

- Street, Lane, and Sidewalk closures or detours: Prior to any work that impacts the right-of-way or closing of any street, lane, or sidewalk, the contractor must apply for a permit with Right-of-Way Services.
- A permit request with a traffic control and/or pedestrian plan shall be submitted to rightofwayservices@raleighnc.gov at www.raleighnc.gov Keyword: Right-of-Way Services.
- Prior to the start of work, the Client shall schedule a Pre-Construction meeting with the Engineering Inspections Coordinator to review the specific components of the approved plan, and ensure all permits are issued.
- The City of Raleigh requires an approved Right-of-Way Obstruction Permit for work on any public street or sidewalk and NCDOT road within Raleigh's Jurisdiction.
- All Traffic Control Signage and practices shall adhere to the Manual on Uniform Traffic Control, and the latest edition of the NCDOT @Standard Specification for Roadway Structures, NCDOT @Roadway Standard Drawing Manual, and the NCDOT supplement to the MUTCD.
- All public sidewalks must be accessible to pedestrians who are visually impaired and/or people with mobility concerns. Existing and alternative pedestrian routes during construction shall be required to be compliant with the Public Rights of Way Accessibility Guidelines (PROWAG), the ADA Standards for Accessible Design and the Manual on Uniform Traffic Control Devices (MUTCD). All permits must be available and visible on site during the operation.

L3-4 LEGEND

EXISTING CONDITIONS

- PROPERTY LINE
- ROW/ADJACENT PROPERTY LINE
- UNDERGROUND ELECTRIC LINE
- GAS LINE
- TREE TO REMAIN
- EXISTING IRON PIPE
- EXISTING IRON ROD
- CALCULATED/SET POINT
- TELEPHONE PEDESTAL
- WATER METER
- GAS METER
- LIGHT POLE
- POWER POLE
- CLEANOUT
- SEWER MANHOLE
- FIBER OPTIC HANDHOLE
- DOWNSPOUT

PROPOSED CONDITIONS

- + 396.3 SPOT ELEVATION
- + HP DIRECTION OF DRAINAGE
- + HP HIGH POINT
- NEW CONCRETE LIMITS
- SCORE JOINT PATTERN

SHORT-TERM BICYCLE PARKING (2) SPACES AT EACH SYMBOL

LONG-TERM BICYCLE PARKING (2) SPACES AT EACH SYMBOL

OUTDOOR AMENITY AREA

SURVEY INFORMATION

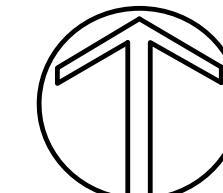
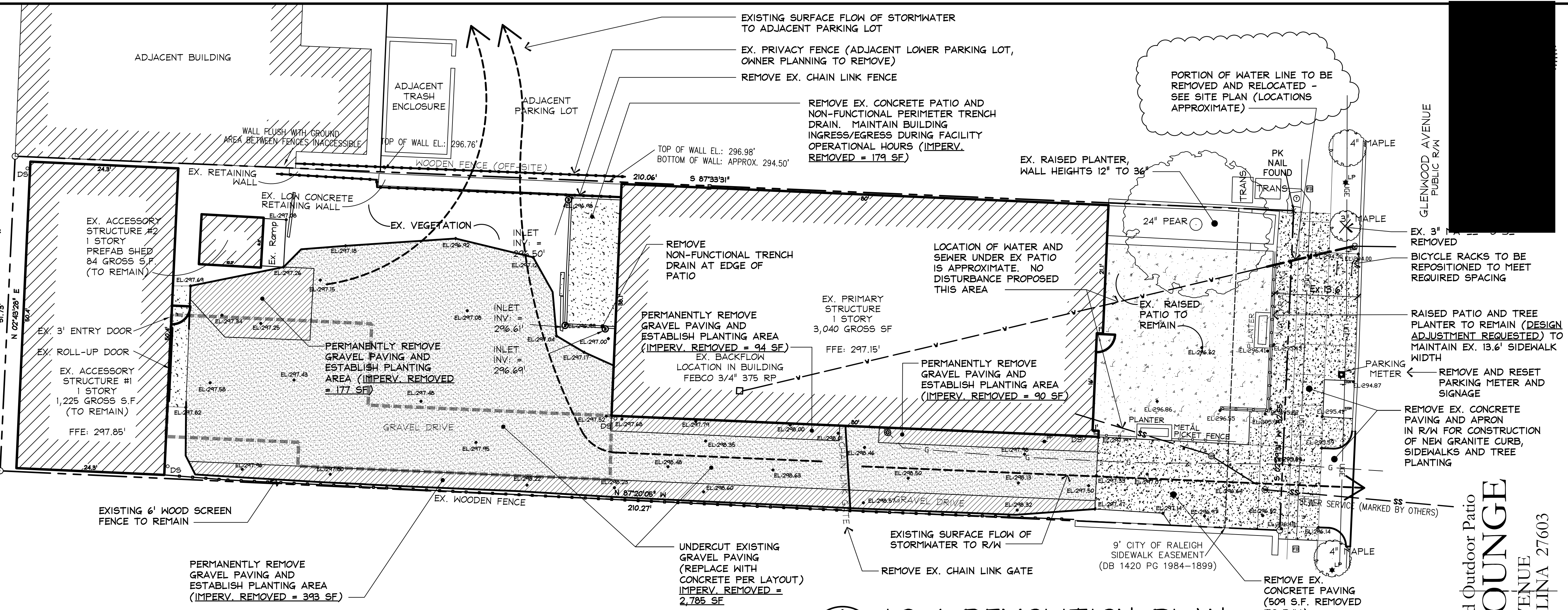
BOUNDARY AND TOPOGRAPHIC INFORMATION, VEGETATION LINES, EXISTING STRUCTURES, AND IMPERVIOUS INFORMATION WERE TAKEN FROM A SURVEY PROVIDED BY STOKES SURVEYING & MAPPING, PLLC, DATED 7/10/2018.

ALL CONTRACTORS SHALL EXAMINE AND REFERENCE ALL THE DRAWINGS AND SPECIFICATIONS WHICH ARE A PART OF THIS CONTRACT, NOT JUST THOSE DRAWINGS AND SPECIFICATIONS FOR A PARTICULAR SUB-CONTRACT.

KNOW WHAT'S BELOW. CALL BEFORE YOU DIG. UNDERGROUND UTILITIES: Prior to beginning layout and prior to beginning construction, all contractors and subcontractors who are moving earth or digging in the ground SHALL CONTACT NORTH CAROLINA ONE-CALL (811 OR 1-800-632-4949) to have them field mark all underground utility services.

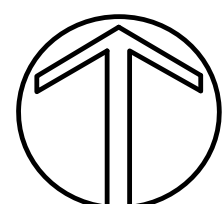
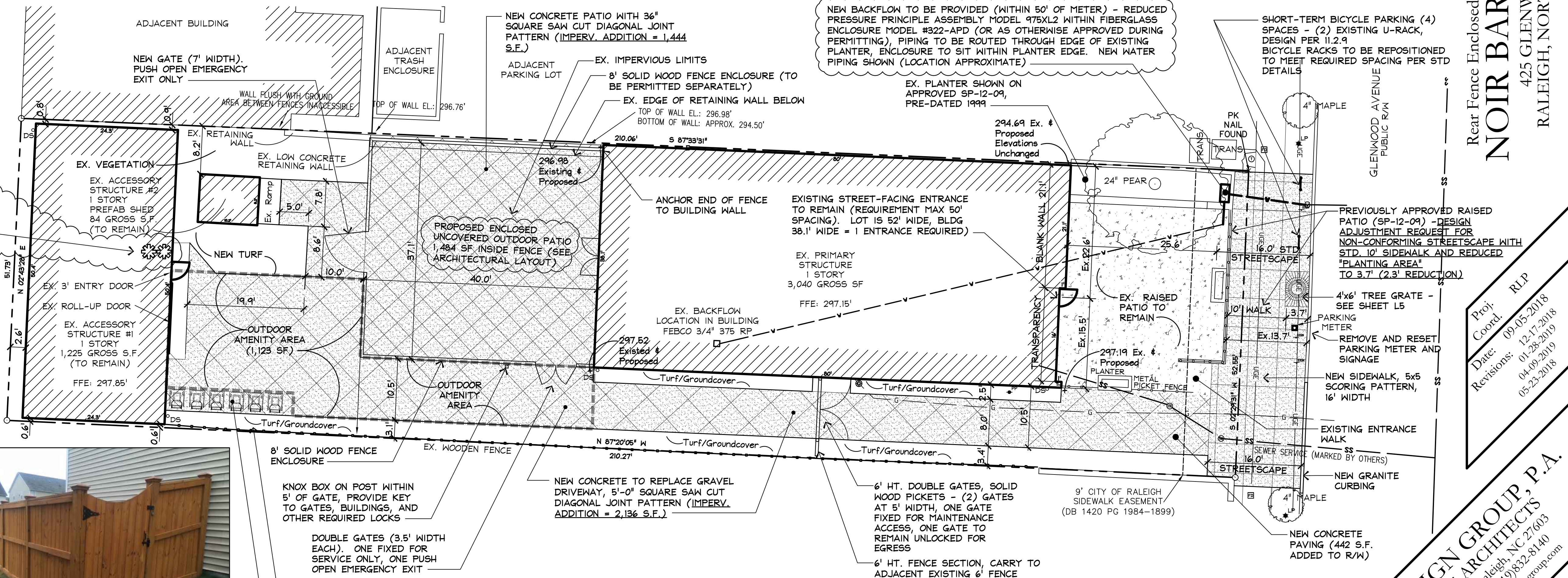
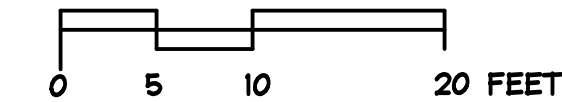


PROPOSED FENCE APPEARANCE



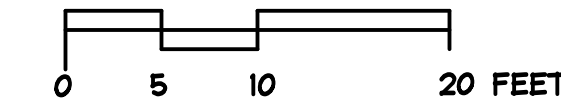
L3-1 DEMOLITION PLAN

SCALE: 1"=10'-0"



L3-2 PROPOSED SITE PLAN

SCALE: 1"=10'-0"



Rear Fence Enclosed Uncovered Outdoor Patio
NOIR BAR & LOUNGE
425 GLENWOOD AVENUE
RALEIGH, NORTH CAROLINA 27603

Proj. RLP
Coord. 09-05-2018
Date: 12-17-2018
Revisions: 01-28-2019
04-09-2019
05-23-2018

SEARS DESIGN GROUP, P.A.
625 W. Jones Street Raleigh, NC 27603
(919) 832-7000 Fax (919) 832-8140
Email: searsdesign@searsdesigngroup.com

Sheet No. **L3**
Of 6

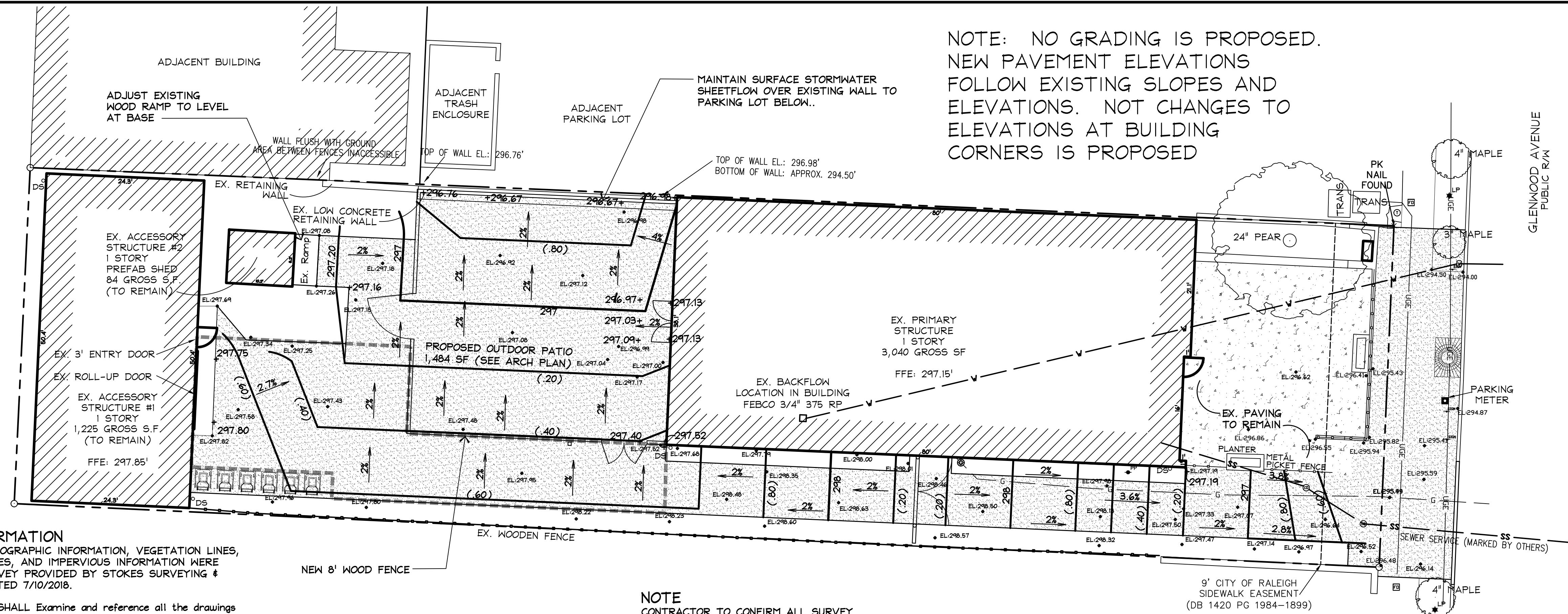
L4-5 LEGEND

EXISTING CONDITIONS

	PROPERTY LINE
	ROW/ADJACENT PROPERTY LINE
	UNDERGROUND ELECTRIC LINE
	GAS LINE
	TREE TO REMAIN
	EXISTING IRON PIPE
	EXISTING IRON ROD
	CALCULATED/SET POINT
	TELEPHONE PEDESTAL
	WATER METER
	GAS METER
	LIGHT POLE
	POWER POLE
	CLEANOUT
	SEWER MANHOLE
	FIBER OPTIC HANDHOLE
	DOWNSPOUT
	EX. SPOT

PROPOSED CONDITIONS

	SPOT ELEVATION
	DIRECTION OF DRAINAGE
	HIGH POINT
	NEW CONCRETE LIMITS
	SCORE JOINT PATTERN



SURVEY INFORMATION

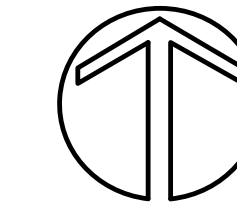
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ALL CONTRACTORS SHALL Examine and reference all the drawings and specifications which are a part of this contract, not just those drawings and specifications for a particular sub-contract.

KNOW WHAT'S BELOW. CALL BEFORE YOU DIG. UNDERGROUND UTILITIES: Prior to beginning layout and prior to beginning construction, all contractors and subcontractors who are moving earth or digging in the ground SHALL CONTACT NORTH CAROLINA ONE-CALL (811 OR 1-800-632-4949) to have them field mark all underground utility services.

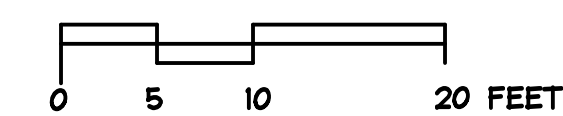


Know what's below.
Call before you dig.



L4-1 PAVING SLOPE PLAN

SCALE: 1"=10'=0"



KNOX BOX 3200 SERIES (MIN SIZE.) - 4" H x 5" W - ANCHORED WITH FASTENERS PER MANUFACTURER MOUNTING DIAGRAM (ALTERNATE: ATTACHED TO EXISTING EXTERIOR BUILDING FACADE IN LOCATION TO BE IDENTIFIED BY OWNER)

HIGH SECURITY KEY & DOCUMENT STORAGE CABINET Unit to be provided by contractor.
Finish: Light gray weather resistant TGIC polyester powder coat with zinc phosphate undercoat.
Installation: Contractor to anchor through column as indicated and per Manufacturer's Specifications using eight (4) Grade 5 or 8 or other approved high-tensile strength fasteners.
Manufacturers: Knox Company or equal meeting requirements of City of Raleigh (1601 W. Deer Valley Road, Phoenix, AZ 85027, 800-522-5669) Product Number: 3200 Series Knox Cabinet

POST 5" x 2" x 7' L. 0.1875 THK. GALVANIZED STEEL POSTS, 2x5 STEEL CAP PLATE WELDED TO TOP

CARRY STEEL POST INTO GRADE TO DEPTH OF 2' MIN. SET POST WITHIN 12" DIA. CONCRETE FOOTING FOR FULL DEPTH. CENTER BETWEEN FENCE POSTS. FACE OF KNOX BOX SHALL ALIGN WITH FACE OF FENCE. HEIGHT TO CENTER OF BOX IS FIVE (5) FEET

CITY OF RALEIGH KNOX BOX REQUIREMENTS

- Only approved boxes shall be used. Order from www.knoxbox.com
- Minimum size allowed shall be the 3200 series with a hinged lid.
- Lock boxes shall be mounted to the wall within 5 feet of the door adjacent to the FACP or remote annunciator, five (5) feet above finished floor (aff) measured to the centerline.
- The red knox box sticker shall be placed in the top left corner of the door that keys are provided to open.
- Size of the lock box shall be the minimum size necessary to secure all the keys for the building.

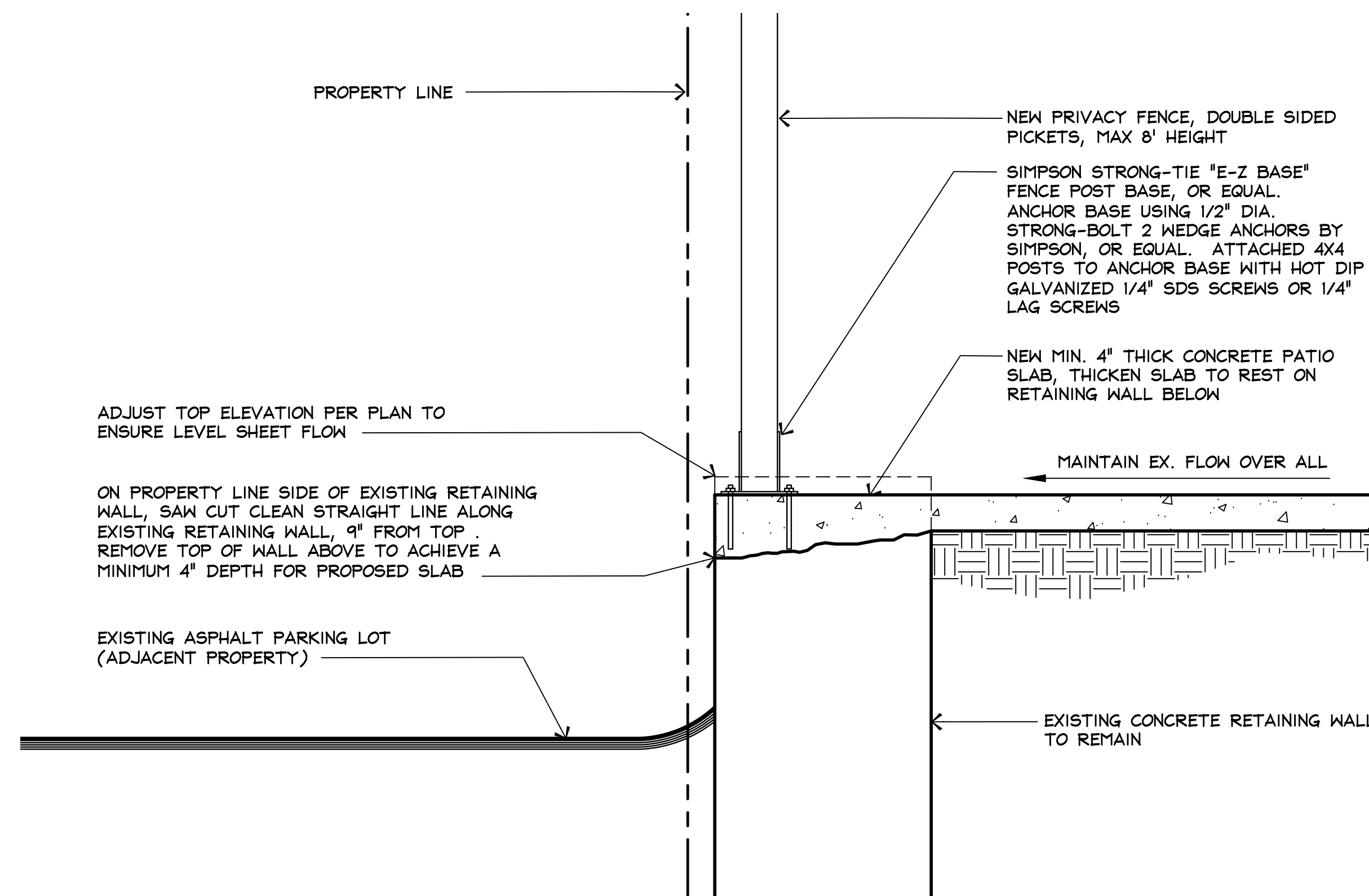
Items that shall be included in the Lock box, if applicable to building:

- Master entry key for building or business
- Fire alarm control panel key
- Manual pull station key or allen wrench
- Electrical Room key
- Elevator Room key
- Elevator Phase II in-car operation key
- Mechanical Room key
- Roof access hatch key
- Gate key
- Any other key(s) that may be helpful in fire department operations

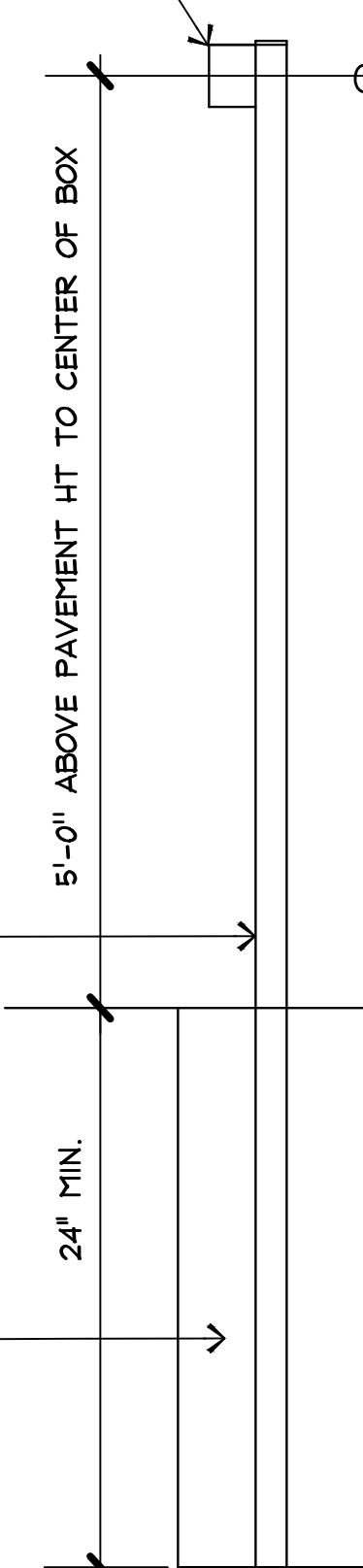
DETAIL L4-3

WALL AND FENCE AT PROPERTY LINE

SCALE: 1"=1'=0"



DETAIL L4-4 KNOX BOX (SECTION)



REAR PATIO AND SCREEN FENCE
NOIR BAR & LOUNGE
425 GLENWOOD AVENUE
RALEIGH, NORTH CAROLINA 27603

Proj: RLP
Coord: 09-05-2018
Date: 12-17-2018
Revisions: 04/09/2019

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