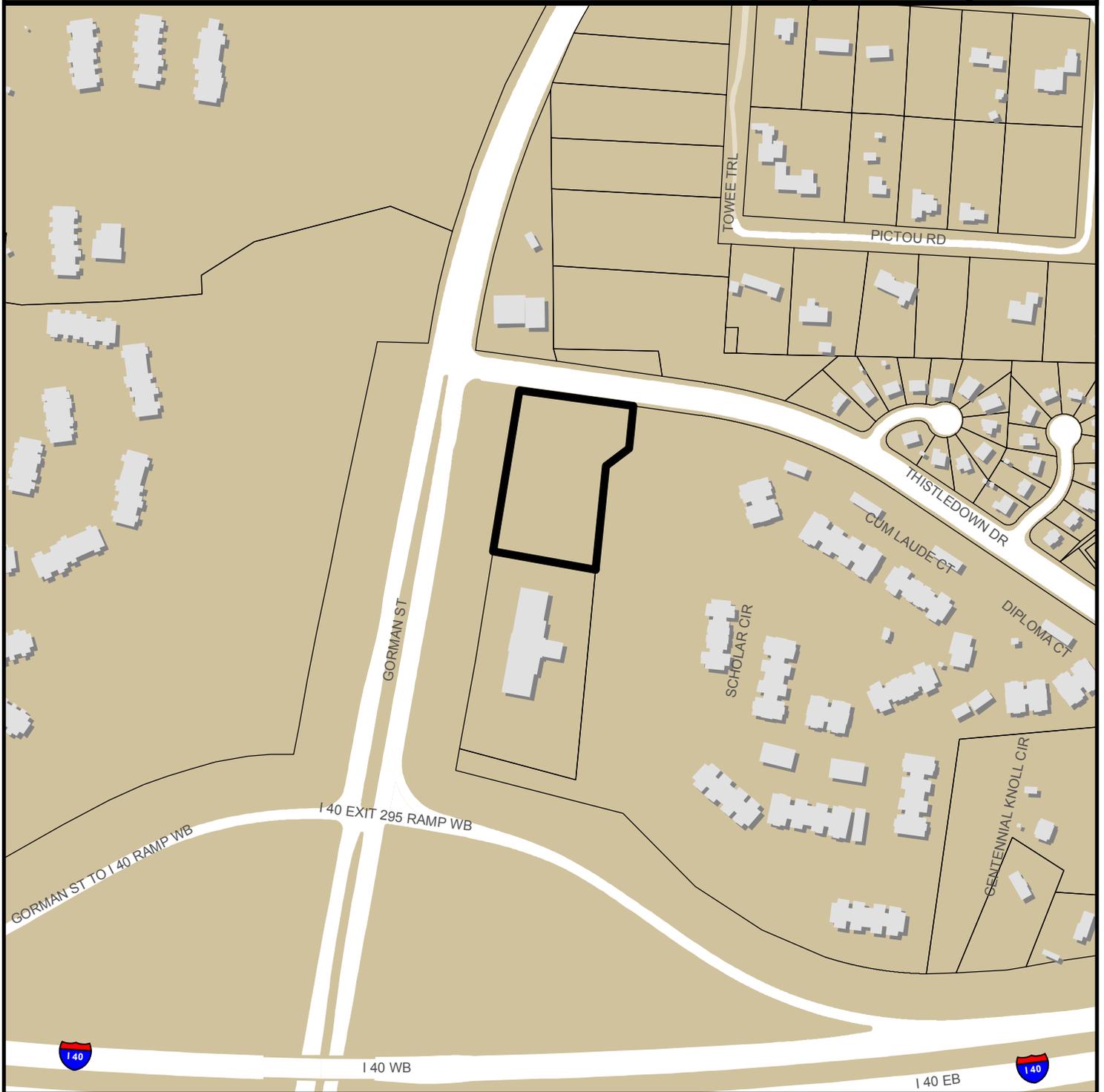


# MARRIOTT TOWNEPLACE SUITES SR-88-2017



Zoning: **R-10-CU & CX-4-CU**  
w/**SHOD-1**  
CAC: **West**  
Drainage Basin: **Walnut Creek**  
Acreage: **2.17**  
Sq. Ft.: **51,335**

Planner: **Michael Walters**  
Phone: **(919) 996-2636**  
Applicant: **Tony Tate**  
**Landscape**  
**Architecture**  
Phone: **(919) 484-8880**





# Administrative Approval Action

AA #3731 / SR-88-17, Marriott TownePlace Suites  
Transaction# 533412

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the southeast corner of the intersection of Gorman Street and Thistledown Drive, north of the intersection of Gorman Street and Interstate 40. The site's address is 3771 Thistledown Drive.

**REQUEST:** Development of a 2.17 acre tract, zoned CX-4-CU (Z-30-97), and within both a SHOD-1, and an SRPOD overlay, into a 51,335 gross square foot, 91 unit hotel with onsite parking.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:**

One Design Adjustment has been approved by the Public Works Director for this project, noted below.

1. As the frontage is a controlled access street (NCDOT) and a blueline stream exists to the east the block perimeter requirement has been waived. (8.3, 8.5)

One Administrative Alternate (AAD 13-17) has been approved by the Planning Director for this project, noted below.

1. An alternative design for the transparency standards of the façade facing streets. (1.5.9)

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Tony M. Tate Landscape Architecture, P.A.

## CONDITIONS OF APPROVAL and NEXT STEPS:

**Note:** *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

### **PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:**

#### **ENGINEERING**

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

#### **STORMWATER**

2. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.



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3. In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.
4. That a nitrogen offset payment must be made to a qualifying mitigation bank;

## PRIOR TO ISSUANCE OF BUILDING PERMITS:

### GENERAL

5. Comply with all conditions of Z-30-97.
6. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Subdivisions, Recombinations, Right of Way, Easement Dedications, and/or Tree Save Areas.
7. Provide fire flow analysis.

### TRANSPORTATION

8. A 15' x 20' transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within 14 days from authorization of lot recording. If a recorded copy of the documents is not provided within this 14 day period, further recordings and building permit issuance may be withheld.

### ENGINEERING

9. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within 14 days from authorization of lot recording. If a recorded copy of the documents are not provided within this 14 day period, further recordings and building permit issuance may be withheld.
10. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' of sidewalk for 271' is paid to the City of Raleigh.
11. A cross access agreement among the proposed lot owned by pin 0783902027 and pin 0782991653 lot shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within 1 day of lot recording. A recorded copy of these documents shall be provided to the Development Services Department within 14 days from authorization of lot recording. If a recorded copy of the documents are not provided within this 14 day period, further recordings and building permit issuance may be withheld.



# Administrative Approval Action

AA #3731 / SR-88-17, Marriott TownePlace Suites  
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12. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents shall be provided to the Development Services Department within 14 days from authorization of lot recordation. If a recorded copy of the documents are not provided within this 14 day period, further recordings and building permit issuance may be withheld
13. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program.

## PUBLIC UTILITIES

14. A Final Plat must be recorded at the Wake County Register of Deeds office for all necessary Subdivisions / Recombinations, Right-of-Way, Utility / Stormwater Easement Dedications and/or Tree Save Areas

## STORMWATER

15. The recorded plat must be updated to record new Private Drainage Easement.
16. A payment equal to twenty-four percent (24%) of the estimated cost of constructing any new stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund.
17. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office. Existing documents for shared stormwater control measures must be updated to incorporate any new additional stormwater control measure on the site.
18. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements. Additional Private Drainage Easement for new stormwater control measure(s) must be recorded.
19. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with a note stating: "The areas shown on the recorded plat identified as Neuse River Riparian Buffer shall be maintained in their natural or mitigated condition, No person or entity shall fill, grade, excavate, or perform any other land-disturbing activities; nor cut, remove, or harm any vegetation; nor construct any structures nor add any additional impervious surface, nor allow animal grazing or water or any other agricultural use on such protected areas without written authorization from the state of North Carolina in accordance with the Riparian Buffer Protection Rules (15A NCAC 2B.0233 or .0259)."
20. In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of any new stormwater device shall be paid to the Engineering Services Department.



# Administrative Approval Action

AA #3731 / SR-88-17, Marriott TownePlace Suites  
Transaction# 533412

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
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## PRIOR TO ISSUANCE OF BUILDING OCCUPANCY PERMIT:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Next Step: All street lights and street signs required as part of the development approval are installed.
4. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
5. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
6. Next Step: Final inspection of all required Tree Conservation and right of way tree protection areas by Urban Forestry Staff.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 2-28-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) Angie B. Taylor Date: 2/28/2018

Staff Coordinator: Michael Walters

# Design Adjustment Staff Response



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

<b>PROJECT</b>	Project Name	Marriott TownePlace Suites	Date completed Application received	11/29/2017
	Case Number	SR-88-2017	Transaction Number	533412

<b>DEPARTMENT RESPONSE/RECOMMENDATION</b>	Staff <u>SUPPORTS</u> the Design Adjustment based upon the findings in these applicable code:			
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input type="checkbox"/> UDO Art. 8.4 New Streets		
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	<input type="checkbox"/> Raleigh Street Design Manual	<input type="checkbox"/> Other	
	<b>DEPARTMENT</b>	<b>REPRESENTATIVE SIGNATURE</b>	<b>DEPARTMENT</b>	<b>REPRESENTATIVE SIGNATURE</b>
	<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning	
<input checked="" type="checkbox"/> Development Engineering	<i>Will S</i>	<input type="checkbox"/> Transportation		
<input type="checkbox"/> Engineering Services		<input type="checkbox"/> PRCR		
<input type="checkbox"/> Public Utilities				
<b>Findings:</b> Staff supports the Design Adjustment related to Block Perimeter associated with the project at 3771 Thistledown Dr. The property's frontage along Gorman St has been declared controlled access by NCDOT and will not allow an additional connection at that point. There is also a blue line stream and existing development located to the east restricting a future connection.				

**Development Services Director or Designee Action:** Approve  Approval with Conditions  Deny

  
 Authorized Signature KENNETH W. RITCHIE, PE, MPA Date 2/28/2018  
DEVELOPMENT ENGINEERING MANAGER

\*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.

<b>CONDITIONS</b>	
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Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

# Design Adjustment Application



**DEVELOPMENT SERVICES DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495  
 Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

<b>PROJECT</b>	<b>Project Name</b> Marriott TownePlace Suites	
	<b>Case Number</b>	<b>Transaction Number</b> 533412

<b>OWNER</b>	<b>Name</b> Gorman Hotels, Inc	
	<b>Address</b> 11400 Common Oaks Drive	<b>City</b> Raleigh
	<b>State</b> NC	<b>Zip Code</b> 27614
		<b>Phone</b>

<b>APPLICANT</b>	<b>Name</b>	<b>Firm</b>
	Chris Rurkowski	Tony M. Tate Landscape Architecture, PA
	<b>Address</b> 5011 Southpark Drive, Suite 200	<b>City</b> Durham
	<b>State</b> NC	<b>Zip Code</b> 27713
		<b>Phone</b> 919-484-8880

Applicant must be a Licensed Professional (Engineer, Architect, Surveyor, and/or Contractor)

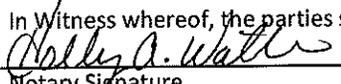
<b>DESIGN ADJUSTMENT REQUEST</b>	<b>Code Section Referenced:</b> 8.3.2 Blocks
	<b>Justification:</b> The subject site at 3771 Thistledown Drive cannot meet the block perimeter requirement for the the existing CX-4-CU zoning due to the site being directly adjacent to I-40 and Gorman Street (controlled access adjacent to property) and a flood storage easement and stream buffer to the east with a large topographical difference. The single access point on Thistledown Drive is the only option for access points to the site. Please refer to attached scaled map that illustrates the surrounding context of the site.

\*Please include any additional support (Plan sheets, aerials, etc.) along with this application. It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request.

By signing this document I hereby acknowledge the information on this application is, to my knowledge, accurate.

  
 Owner/Owner's Representative Signature 11-16-17  
Date

In Witness whereof, the parties signed have executed this document on this date.

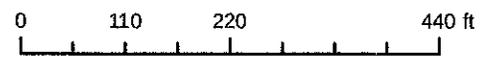
  
 Notary Signature 11/16/17  
Date

HOLLY A. WALTER NOTARY PUBLIC WAKE COUNTY, N.C. My Commission Expires 11-22-2021.
--





**3771 Thistledown Drive**



1 inch = 200 feet

**Disclaimer**

*iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.*

# Marriott TownePlace Suites

## SUBMITTALS

FIRST SUBMITTAL \_\_\_\_\_ 10/19/2017  
 SECOND SUBMITTAL \_\_\_\_\_ 12/4/2017  
 THIRD SUBMITTAL \_\_\_\_\_ 1/10/2018  
 FOURTH SUBMITTAL \_\_\_\_\_ 1/31/2018

## INDEX

COVER SHEET  
 EXISTING CONDITIONS \_\_\_\_\_ L-1  
 DEMO PLAN \_\_\_\_\_ L-2  
 SITE PLAN \_\_\_\_\_ L-3  
 LANDSCAPE PLAN \_\_\_\_\_ L-4  
 ROOF PLAN \_\_\_\_\_ A150  
 BUILDING ELEVATION \_\_\_\_\_ A300  
 BUILDING PERSPECTIVES \_\_\_\_\_ A320  
 GRADING AND DRAINAGE PLANS \_\_\_\_\_ C-1  
 UTILITY PLAN \_\_\_\_\_ C-2  
 SITE AND STORM DETAILS \_\_\_\_\_ D-1  
 SITE AND STORM DETAILS \_\_\_\_\_ D-2  
 SITE AND LANDSCAPE DETAILS \_\_\_\_\_ D-3  
 LIGHTING PLAN \_\_\_\_\_ 1 of 1

## ADMINISTRATIVE SITE PLAN

3771 THISTLEDOWN DRIVE  
 RALEIGH, NORTH CAROLINA  
 TRANSACTION #533412  
 SR-88-17



### VICINITY MAP

SCALE: 1" = 400'

owner:  
 Nine Points  
 11400 Common Oaks Drive  
 Raleigh, NC 27614  
 (919) 570-5757

architect:  
 Mcmillan, Pazdan, Smith  
 1307 W. Morehead Street, Ste 102  
 Charlotte, NC 28208  
 (980) 201-3435

developer:  
 Centerpointe Construction  
 120 Aversboro Rd, Suite E  
 Garner, NC 27529  
 (919) 773-7717

landscape architect:  
 Tony M. Tate Landscape Architecture P.A.  
 5011 Southpark Drive, Suite 200  
 Durham, North Carolina 27713  
 (919) 484-8880

consulting engineers:  
 Summit Engineering  
 3333 Durham-Chapel Hill Blvd., Ste A200  
 Durham, NC 27707  
 (919) 544-6436

### Z-30-97 ZONING CONDITIONS

Conditions: 1/17/97

1. All exterior lighting and exterior light standards located upon the proposed R-10 CUD property and the proposed O&I-2 CUD property shall be designed, aimed and/or shielded so that light is not projected directly into adjacent residentially zoned properties, in accordance with the provisions of Code Section 10-2098.

2. Concurrently with filing a site plan, subdivision or special use permit application with the City of Raleigh or City of Raleigh Board of Adjustment, a copy of said application shall be delivered to Mr. and Mrs. Robert Lamar Raibb or his successor in interest as the owner of the residence located at 1621 Pictou Street, Raleigh, NC, 27606. Wake County Tax Parcel 0792.05 09 3361 (formerly tax parcel 576-36). An additional copy of said application shall be sent concurrently to Thistledown Homeowners Association, Inc., c/o Pindell Wilson Property Management Co., 264 Millbrook Road, Raleigh, NC 27609, or its successor.

3. Residential-10 Conditional Use District (R-10 CUD)  
 a. No building shall exceed forty (40) feet in height measured as provided in the Code of the City of Raleigh, provided however, that for the area of the R-10 CUD property adjacent to the south right-of-way line of Thistledown Drive measured eighty (80) feet from said south right-of-way line of Thistledown Drive, commencing at a point two hundred (200) feet west of the intersection of said south right-of-way line of Thistledown Drive and the west right-of-way line of Trailwood Drive and running along the said right-of-way line of Thistledown Drive in a westerly direction to the northeast corner of that certain food storage easement dedicated to the City of Raleigh as shown on those maps recorded in Books of Maps 1996, Pages 599 and 600, Wake County Registry, no buildings or portions thereof located within said eighty (80) foot width area shall exceed thirty (30) feet in height measured as provided in the City Code. The peak of the roof line of any building, connections thereto or portions thereof located within one hundred (100) feet of the above-described segment of the south right-of-way line of Thistledown Drive shall be no higher than the highest roof line peak located within the eighty (80) foot width area.  
 b. No building or vehicular storage area (parking lot) shall be constructed or allowed to remain within fifty (50) feet of Thistledown Drive or Trailwood Drive. This area may be used for one or more access drives, necessary public utility installations and signage.  
 c. A fifty (50) foot transitional protective yard shall be maintained immediately adjacent to the property described as Tax Parcel 0792.05 09 3361 (formerly Tax Parcel 603-197) along the southeastern border of the subject property. In the event a building or vehicular storage area (parking lot) is located within one hundred (100) feet of the west property line of Tax Parcel 0792.05 09 3361 (formerly Tax Parcel 603-197), an evergreen plant screen shall be installed and maintained within the fifty (50) foot transitional yard paralleling said western property line. At least 70 Leland Cypress or similar shrubs of size, and species capable of achieving six (6) feet in height within three growing seasons shall be utilized. In the event a building or vehicular storage area is located within one hundred (100) feet of the Northern property line of Tax Parcel 0792.05 09 3361 (formerly Tax Parcel 603-197) a similar landscape screen shall be maintained in the transitional yard space there, except that a minimum of 75 plants shall be installed.  
 d. All Residential-10 (R-10) uses shall be permitted in the proposed R-10 CUD District.  
 e. The primary entrance to the R-10 CUD property will be located within the portion of the south right-of-way line of Thistledown Drive commencing at the northeast corner of the food storage easement dedicated to the City of Raleigh by those certain maps recorded in Book of Maps 1996, Pages 599 and 600, Wake County Registry running in an easterly direction along and with the south right-of-way line of Thistledown Drive a distance of two hundred twenty five (225) feet. This primary entrance will be designated by appropriate signage in accordance with the Code of the City of Raleigh. The secondary entrance to the R-10 CUD property will be located no closer than four hundred (400) feet to the intersection of the south right-of-way line of Thistledown Drive and the west right-of-way line of Trailwood Drive, and secondary entrance to be designated by signage only to the extent required by the Code of the City of Raleigh.

f. A street protective yard fifty (50) feet in width commencing at the northeast corner of that food storage easement dedicated to the City of Raleigh by those certain maps recorded in Book of Maps 1996, Pages 599 and 600, Wake County Registry and running in an easterly direction along and with the south right-of-way line of Thistledown Drive to the point where it intersects with the west right-of-way line of Trailwood Drive and continuing with the west right-of-way line of Trailwood Drive in a southerly direction a distance of approximately one hundred (100) feet to the northeast corner of the property owned now or formerly by the Alexander Heirs (Tax Parcel 0792.05 09 3361) is hereby established. This street protective yard may be crossed and/or reduced for driveway entrances (with permitted signage), utility installation, utility installation, street widening and such other purposes as permitted by the City of Raleigh. Trees existing within this street protective yard as of the date of the approval of this rezoning by the Raleigh City Council shall be retained other than those removed as a result of the construction of entrances (with permitted signage), utility installation, street widening and such other purposes permitted by the City of Raleigh; provided, however, that damaged, diseased, or dead trees and vegetation may be removed from the protective yard as needed and further provided that trees and vegetation may be removed and/or pruned in this area in accordance with the recommendations of the Arborist of the City of Raleigh or his designee as necessary to promote the growth, health and the vitality of these trees and vegetation in the street protective yard. The street protective yard shall be supplemented with not less than one hundred ten (110) wax myrtles or equivalent evergreen shrubs which shrubs shall be a minimum of one and one-half (1 1/2) feet in height when planted, capable of achieving six (6) feet within three growing seasons and spaced in a continuous row with no shrub being located greater than ten (10) feet from another when planted. (For the purpose of this condition three growing seasons is defined as three annual growing seasons.)

4. Office & Institutional Conditional Use District (O&I-11 CUD)  
 a. No building shall exceed fifty-five (55) feet in height measured as provided in the Code of the City of Raleigh.  
 b. No building or vehicular storage area (parking lot) shall be constructed or allowed to remain within fifty (50) feet of Thistledown Drive. This area may be used for one or more access drives, necessary public utility installations and signage.  
 c. All O&I-11 District uses shall be permitted in the proposed O&I-11 District, except for the following, which shall be prohibited: Commercial parking lot, parking deck, parking garage, funeral home and radio and television studio.

5. Flood Storage Easement Area  
 The portion of property which has been dedicated to the City of Raleigh as a food storage easement by that certain Deed of Easement recorded in Book 7020, page 228, Wake County Registry, as shown on those maps recorded in Book of Maps 1996, pages 599-600, Wake County Registry, shall remain in its natural state subject, however, to exceptions as follows:  
 a. All rights of the City in accordance with that certain Deed of Easement recorded in Book 7020, page 228, Wake County Registry, and all rights of the City therein as provided by the Raleigh City Code now or hereafter adopted.  
 b. There may be established within the flood storage easement area fitness courses/walking trails, benches and picnic tables to the extent permissible under the Deed of Easement to the City and applicable City policies and provisions of the City Code.  
 c. Utilities, including without limitation storm water lines and appurtenances, may be installed within the flood storage easement area in accordance with site plans and/or subdivisions approved by the City of Raleigh.  
 d. Damaged, diseased or dead trees and vegetation may be removed from the flood storage easement area as needed and trees and vegetation therein may be removed and/or pruned in this area in accordance with the recommendations of the Arborist of the City of Raleigh or his designee as necessary to promote the growth, healthy and vitality of the trees and vegetation in the flood storage easement area.

**Administrative Site Review Application**  
 (for UDO Districts only)

DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1513  
 Litchford Satellite Office | 1520 - 150 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

<b>BUILDING TYPE</b>	<b>FOR OFFICE USE ONLY</b>
<input type="checkbox"/> Detached	<input type="checkbox"/> Transaction Number
<input type="checkbox"/> Attached	<input type="checkbox"/> Assigned Project Coordinator
<input type="checkbox"/> Apartment	<input type="checkbox"/> Assigned Team Leader
<input type="checkbox"/> Townhouse	
<input checked="" type="checkbox"/> General	
<input type="checkbox"/> Mixed Use	
<input type="checkbox"/> Open Lot	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # 514360

**GENERAL INFORMATION**

Development Name: **Marriott TownePlace Suites**  
 Zoning District: **CX-4-CU** Overlay District (if applicable): **SHOD-1, SRPOD** Inside City Limits?  Yes  No  
 Proposed Use: **Overnight Lodging**  
 Property Address: **3771 Thistledown Drive** Major Street Location: **Gorman Street**  
 Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:  
 P.I.N. **0783-90-2027** P.I.N. P.I.N. P.I.N.

What is your project type?  Apartment  Day Facilities  Hospital  Health/Model  Office  
 Mixed Residential  Non-Residential Condo  School  Shopping Center  Banks  Industrial Building  
 Duplex  Telecommunication Tower  Religious Institutions  Residential Condo  Retail  Cottage Court  
 Other: if other, please describe.

**WORK SCOPE** Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 4 of the UDO) indicate requests on zoning requirements.  
**Construct 4 Story, 91 Room hotel, with required parking, and appropriate utilities, regrading**

**DESIGN ADJUSTMENT OR ADMIN ALTERNATE** Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative Act.

**CLIENT/DEVELOPER/OWNER** Company: **Centerpointe Construction** Name (s): **Charles Mayo**  
 Address: **120 Aversboro Rd, Suite E, Garner, NC 27529**  
 Phone: **919-773-7717** Email: Fax:

**CONSULTANT (Contact Person for Plans)** Company: **Tony Tate Landscape Architecture** Name (s): **Chris Rurkowski**  
 Address: **5011 Southpark Drive, Ste 200, Durham, NC 27703**  
 Phone: **919-484-8880** Email: **chris@tmtla.com** Fax:

PAGE 1 OF 3 [WWW.RALEIGHNC.GOV](http://WWW.RALEIGHNC.GOV) REVISION 05.13.16

**DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)**

Zoning Information	Building Information
Zoning District(s): <b>CX-4-CU</b>	Proposed building use(s): <b>Overnight Lodging (Hotel)</b>
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross <b>0 SF</b>
Overlay District: <b>SHOD-1, SRPOD</b>	Proposed Building(s) sq. ft. gross <b>51,335 SF</b>
Total Site Acres: <b>Inside City Limits: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></b>	Total sq. ft. gross (existing & proposed) <b>51,335 SF</b>
Off street parking: Required <b>91</b> Provided <b>93</b>	Proposed height of building(s) <b>95'</b>
COA (Certificate of Appropriateness) case #	# of stories <b>4 Story</b>
BOA (Board of Adjustment) case # <b>A-</b>	Ceiling height of 1 <sup>st</sup> floor <b>12'-2.625"</b>
CUD (Conditional Use District) case # <b>2-30-97</b>	
<b>Stormwater Information</b>	
Existing Impervious Surface: <b>15,766 SF</b> acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface: <b>55,930 SF</b> acres/square feet	If Yes, please provide: Alluvial Soils ES&M Map Panel #
Noise River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<b>FOR RESIDENTIAL DEVELOPMENTS</b>	
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units: <b>91</b>	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<b>SIGNATURE BLOCK (Applicable to all developments)</b>	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate <b>Tony M. Tate Landscape Architecture, PA- Tony Tate</b> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed: <i>[Signature]</i> Date: <b>10-15-17</b>	
Printed Name: <b>Mark S. Raibb</b>	PRESIDENT OF GORMAN HOTELS INC.
Signed: _____ Date: _____	
Printed Name: _____	

PAGE 2 OF 3 [WWW.RALEIGHNC.GOV](http://WWW.RALEIGHNC.GOV) REVISION 05.13.16

**REFERENCES**

TREE CONSERVATION HAS BEEN MET DURING SUBDIVISION PLAN. NO TCA REQUIRED FOR THIS LOT  
 ZONING: **Z-30-04**  
 SUBDIVISION: **S-89-04**  
 BOM: **BM2008, PG1764 LOT 2**  
 SKETCHPLAN REVIEW T#514360  
 WASTE REQUIREMENTS MET BY 3X WEEKLY PICKUP

ADMINISTRATIVE ALTERNATE- AAD-13-17  
 BUILDING ELEVATIONS HAVE BEEN IMPROVED IN LIEU OF MEETING BUILDING TRANSPIRENCY REQUIREMENTS



TONY M. TATE LANDSCAPE ARCHITECTURE, PA  
 5011 SOUTHPARK DRIVE, STE. 200 - DURHAM, NC 27713  
 p: (919) 484-8880 f: (919) 484-8881 e: tony@tmtla.com



NOT RELEASED FOR CONSTRUCTION

REVISIONS:  
 12/4/17- Per City of Raleigh Comments  
 1/10/18- Per City of Raleigh Comments  
 1/31/18- Per City of Raleigh Comments

Cover  
 Marriott TownePlace Suites  
 3771 Thistledown Drive, Raleigh, NC

SCALE:  
 As Noted  
 DRAWN BY:  
 CDR  
 PROJECT #  
 16118  
 DATE:  
 10/19/17  
 SHEET  
 COVER  
 OF

TRANSACTION #533412



GORMAN STREET ROW

Gorman Street ROW  
VARIABLE PUBLIC R/W (CONTROLLED ACCESS)  
DIVIDED 4-LANE AVENUE

SITE DATA	
TOTAL AREA	2.17 ACRES
EXISTING ZONING	CX-4-CU
EXISTING USE	VACANT COMMERCIAL
PROPOSED USE	OVERNIGHT LODGING
PROPOSED BUILDING SIZE	55,344 S.F.
MINIMUM PARKING REQUIRED 1 SPACE PER ROOM (91 ROOMS)	91 SPACES REQUIRED
	4 SPACES REQUIRED (1 VAN ACCESSIBLE)
PARKING PROVIDED 1/25 HANDICAP SPACES	91 SPACES PROVIDED 4 H/C SPACES PROVIDED (1 VAN ACCESSIBLE)
MINIMUM BICYCLE PARKING REQUIRED SHORT-TERM: NONE REQUIRED LONG-TERM: 1/20 ROOMS, 4 MIN. 91 UNITS/20 = 4.55 SPACES (4 SPACES MIN.)	5 SPACES
LONG-TERM BICYCLE PARKING PROVIDED (PROVIDED INSIDE BUILDING)	
EXISTING IMPERVIOUS PARKING & S/W - 44,029 S.F. BUILDING - 13,835 S.F.	15,766 SF 57,864 SF (61.2%)
WATERSHED	NEUSE
INSIDE CITY LIMITS	YES
PINS	0783-90-2027
REQUIRED OUTDOOR AMENITY AREA (10%)	6,301 SF
PROPOSED OUTDOOR AMENITY AREA	7,939 SF

- NOTES
- Boundary and field topographic information taken from file by Summit Engineering
  - The site is located within zone X FEMA Flood Mapping 3720078200J & 3720078300J dated 05/02/06.
  - Contractor shall verify the location of all existing utilities and shall be responsible for any damage resulting from his activities.
  - Call Utility locator service at least 48 hours prior to digging.
  - All construction shall be in accordance with all City of Raleigh standards and specifications.
  - All construction shall conform to all state and local standards and specifications and code requirements. Notify designer of any discrepancies. If discrepancies are found the more stringent requirements will prevail.
  - All utilities shall be located underground.
  - No changes may be made to the approved drawings without written permission from the issuing authority.
  - DO NOT SCALE THE DRAWINGS. Digital information is provided for construction drawings.
  - Contractor shall coordinate all work with all construction trades prior to start of construction.
  - All dimensions are references from back-of-curb to back-of-curb.
  - Erosion control plans shall be approved prior to any grading on this site.
  - Boundary information shall be field verified by Professional Surveyor before construction staking begins.
  - All parking spaces shall be surfaced with 6" cbc and 2" of 1-2 asphalt. Drive aisles shall be surfaced with 8" cbc and 2" of 1-2 asphalt.
  - Sidewalk connection shall be provided from site to sidewalk along Thisteddown Drive.
  - Note that within landscaped areas surrounding building, the grades shown on the grading sheet are "Top of Mulch" or "Top of Topsoil." Contractor shall ensure positive finished drainage (min. 2%) from all building areas and coordinate with the landscape plan to leave subgrade low enough to maintain the spots as finished grade.
  - Retaining walls to be designed by others.
  - Prior to the issuance of the Certificate of Occupancy the Owner shall record the site easement as shown. There shall be no site obstructing or partly obstructing wall, fence, sign, foliage, berming, or parked vehicles between the heights of twenty four (24) inches and eight (8) feet above the curb line elevation or the nearest traveled way if no curbing exists.
  - Within the sight triangles shown on this plan, no obstruction between two (2) feet and eight (8) feet in height above the curb line elevation or the nearest traveled way, if no curbing exists.
  - All necessary HVAC units will be located at locations indicated.
  - Minimum corner clearance from curb line of intersection streets shall be at least twenty (20) feet from the point of tangency.
  - All plans will be submitted to NCDOT for approval in regards to the Controlled Access along Gorman Street.

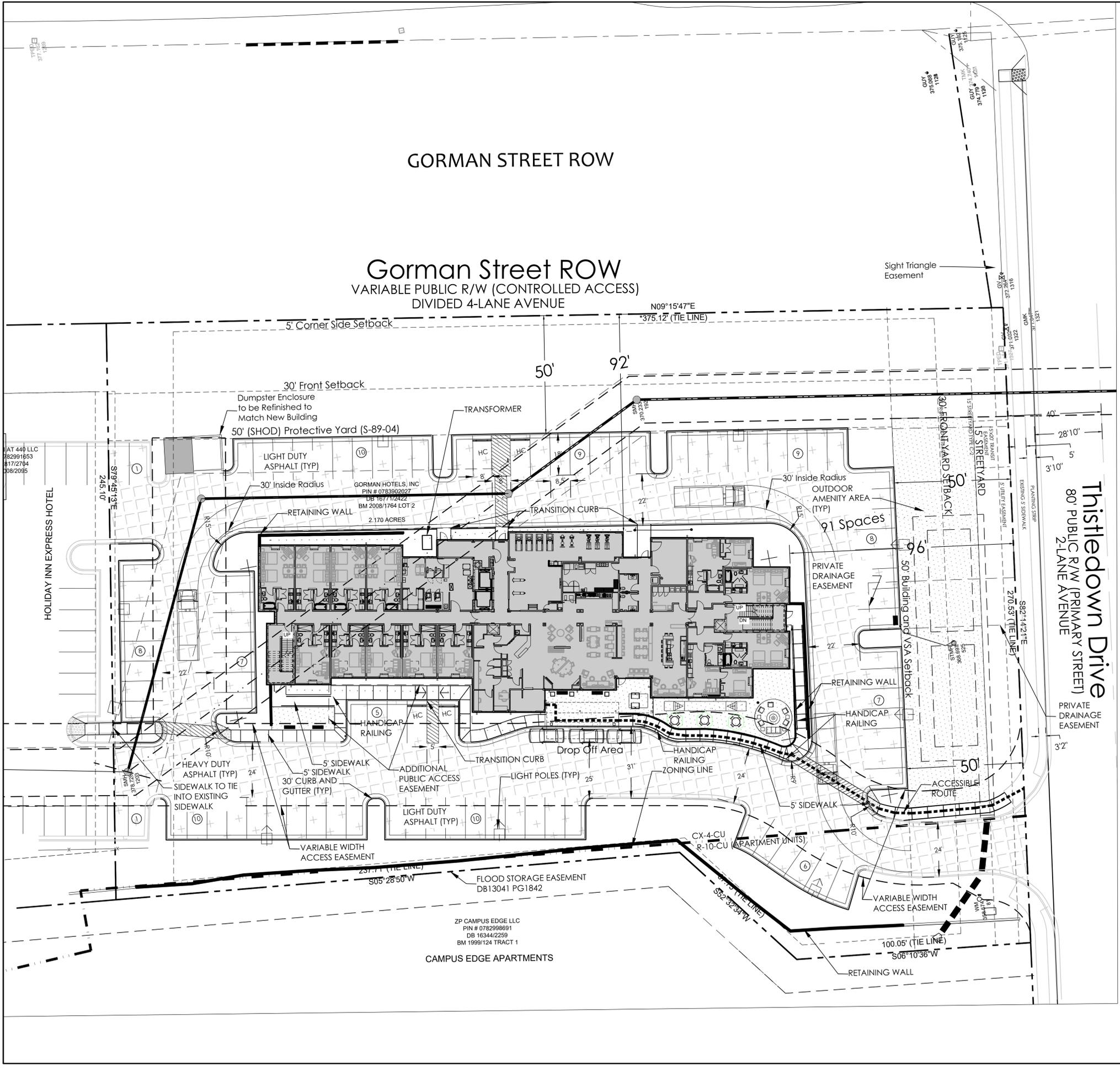
	HEAVY DUTY ASPHALT
	LIGHT DUTY ASPHALT
	OUTDOOR AMENITY
SEE DETAILS ON D-1	

**ATTENTION CONTRACTORS**

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF THE WATER AND SEWER, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT 516-2-159, AND THE PUBLIC UTILITIES DEPARTMENT AT 996-4540, AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON JOB SITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.



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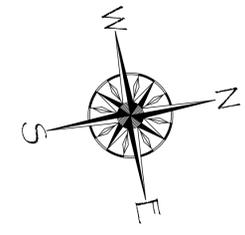
NOT RELEASED FOR CONSTRUCTION

REVISIONS:  
12/4/17- Per City of Raleigh Comments  
1/10/18- Per City of Raleigh Comments  
1/31/18- Per City of Raleigh Comments

Site Plan  
**Marriott TownePlace Suites**  
3771 Thisteddown Drive, Raleigh, NC

SCALE:  
1"=20'  
DRAWN BY:  
CDR  
PROJECT #  
16118  
DATE:  
10/19/17  
SHEET  
**L-3**  
OF

**TRANSACTION #533412**

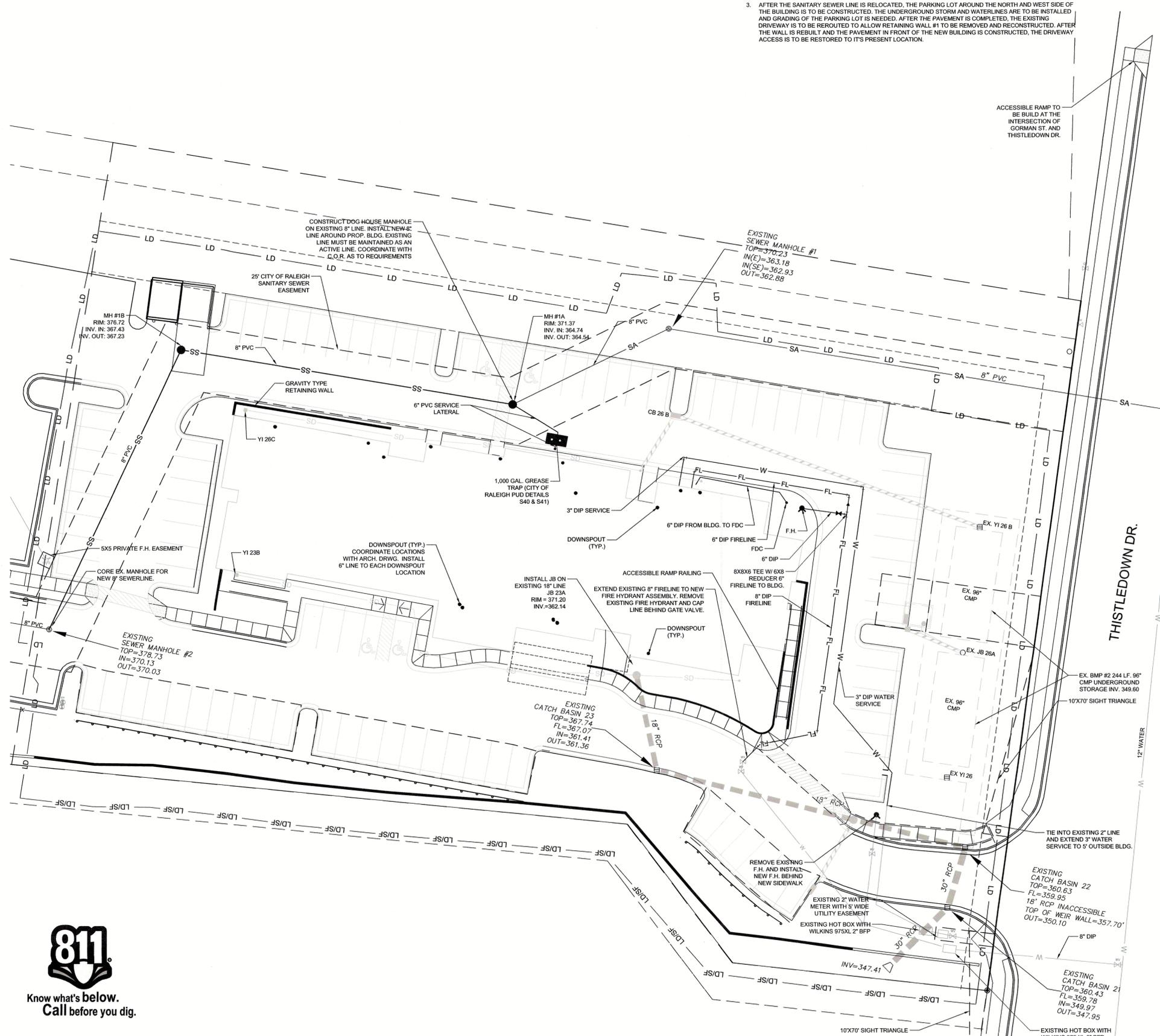


**SPECIAL SEQUENCE OF CONSTRUCTION:**

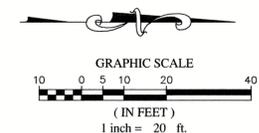
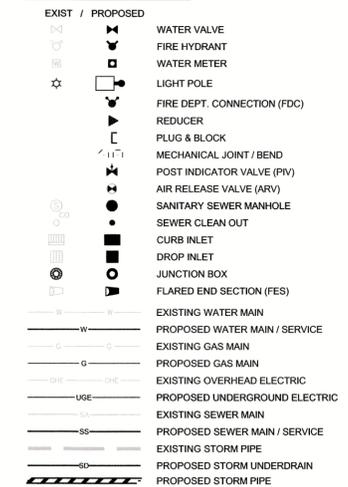
1. THE EXISTING DRIVEWAY IS SERVING AN ACTIVE BUSINESS AND ACCESS TO THE PARCEL HAS TO BE MAINTAINED AT ALL TIMES. THE RELOCATION OF THE SANITARY SEWER LINE AND THE RECONSTRUCTION OF RETAINING WALL #1 WILL REQUIRE SPECIAL SEQUENCING FOR CONSTRUCTION.
2. THE SANITARY SEWER LINE MUST BE RELOCATED FIRST. WITH THE CONSTRUCTION OF THE RELOCATED LINE, THE DUMPSTER MUST BE TEMPORARILY RELOCATED TO THE PAVEMENT AREA NEXT TO EXISTING SANITARY SEWER MANHOLE #2. THE EXISTING CONCRETE PAD AT THE DUMPSTER PAD AND THE ASPHALT UP TO THE DUMPSTER PAD MUST BE RESTORED AS QUICKLY AS POSSIBLE PRIOR TO THE DUMPSTER BEING RETURNED TO ITS PRESENT LOCATION.
3. AFTER THE SANITARY SEWER LINE IS RELOCATED, THE PARKING LOT AROUND THE NORTH AND WEST SIDE OF THE BUILDING IS TO BE CONSTRUCTED. THE UNDERGROUND STORM AND WATERLINES ARE TO BE INSTALLED AND GRADING OF THE PARKING LOT IS NEEDED. AFTER THE PAVEMENT IS COMPLETED, THE EXISTING DRIVEWAY IS TO BE REROUTED TO ALLOW RETAINING WALL #1 TO BE REMOVED AND RECONSTRUCTED. AFTER THE WALL IS REBUILT AND THE PAVEMENT IN FRONT OF THE NEW BUILDING IS CONSTRUCTED, THE DRIVEWAY ACCESS IS TO BE RESTORED TO ITS PRESENT LOCATION.

**UTILITIES NOTES:**

1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
2. Utility separation requirements:
  - a) A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
  - b) When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
  - c) Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications.
  - d) 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
  - e) Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)
  - f) All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
3. Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction
4. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
5. 3.0' minimum cover is required on all water mains & sewer forcemains. 4.0' minimum cover is required on all reuse mains
6. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure
7. Install 1/2" copper" water services with meters located at ROW or within a 2x2' Waterline Easement immediately adjacent. NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure
8. Install 4" PVC" sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum
9. Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
10. All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
11. NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction
12. Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact: Tim Beasley at (919) 996-2334 or timothy.beasley@raleighnc.gov for more information
13. Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact: Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information



**UTILITIES LEGEND:**



NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3	CITY OF RALEIGH COMMENTS 1/29/18	1/29/18	WW/DS
2	CITY OF RALEIGH COMMENTS 12/20/17	1/10/18	WW/DS
1	CITY OF RALEIGH COMMENTS 11/16/17	12/4/17	WW/DS

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**PROJECT MANAGER**  
 DS (DON SEEVERS@SUMMITDE.NET)  
**DRAWN BY**  
 FEW FRANKIE (WNN@SUMMITDE.NET)  
**FIRST ISSUE DATE**  
 10-19-2017

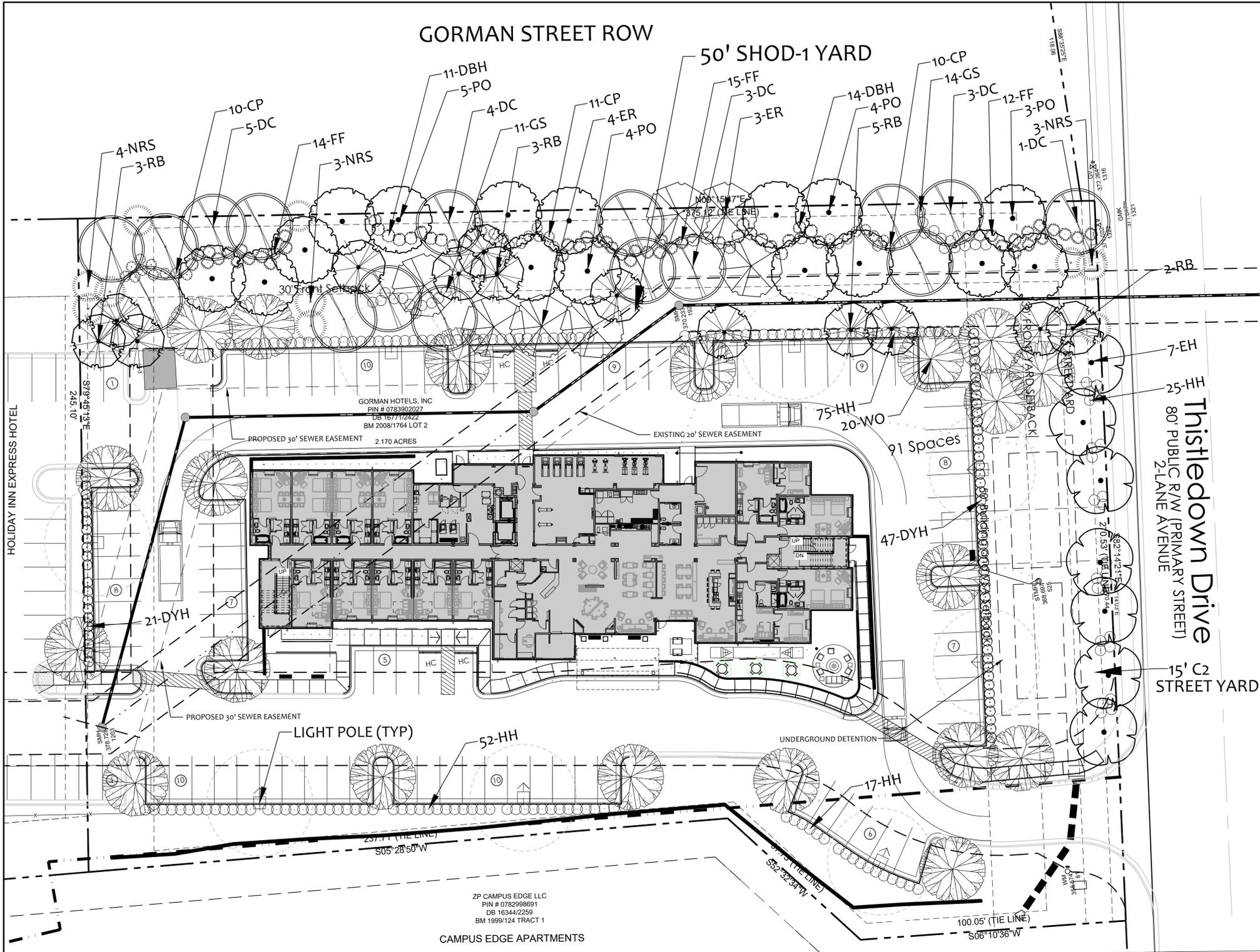
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 www.summitde.net

**SITE PLAN**  
**MARRIOTT TOWNE PLACE SUITES**  
 3771 THISTLEDOWN DR  
 RALEIGH, NC  
**UTILITY PLAN**

PROJECT NO.  
**17-0390**  
 DRAWING NAME:  
 17-0390\_U  
 SHEET NO.  
**C-2**

GORMAN STREET ROW

50' SHOD-1 YARD



LANDSCAPE DATA	
VEHICULAR SURFACE AREA #1	2,000
19 TREES REQUIRED	
30 SHRUBS PER 100 LF.	20 TREES PROVIDED
VSA PERIMETER ISLANDS	
TOTAL LENGTH OF YARD =	384 L.F.
WEST STREET PROTECTIVE YARD (REPLANTED SHOD-1)	ZONING DISTRICT: CX-4-CU
384 L.F. x 10/100LF	39 3.5" CAL. SHADE TREES REQUIRED
384 L.F. x 6/100LF	39 3.5" CAL. SHADE TREES PROVIDED
384 L.F. x 32/100LF	23 6" TALL UNDERSTORY TREES REQUIRED
	23 6" TALL UNDERSTORY TREES PROVIDED
NORTH 15' STREET YARD - TYPE C2	
TOTAL LENGTH OF YARD =	162 L.F.
162 L.F. x 4/100LF	7 3" CAL. SHADE TREES REQUIRED
162 L.F. x 15/100LF	7 3" CAL. SHADE TREES PROVIDED
162 L.F. x 4/100LF	25 18" TALL SHRUBS REQUIRED
162 L.F. x 15/100LF	25 18" TALL SHRUBS PROVIDED
NORTH 15' STREET YARD - TYPE C2	
TOTAL LENGTH OF YARD =	162 L.F.
162 L.F. x 4/100LF	7 3" CAL. SHADE TREES REQUIRED
162 L.F. x 15/100LF	7 3" CAL. SHADE TREES PROVIDED
162 L.F. x 4/100LF	25 18" TALL SHRUBS REQUIRED
162 L.F. x 15/100LF	25 18" TALL SHRUBS PROVIDED

- Plant material on this site must be installed in conformance with the City of Raleigh Code.
- Please refer to planting detail on sheet L-4.
- Landscape Contractor shall notify owner and L.A. no later than one week prior to all required visits here in.
- Crope Myrtles: min. 3 stems max. 4 stems, min. 1" cal. per stem.
- All areas shall be seeded, sodded or mulch to the limits of construction based on actual field conditions beyond the approved plans. Field verify existing conditions.
- Steep slopes greater than 3:1 shall require hydro-seeding or other measures for stabilization unless otherwise approved by Owner.
- All mulch shall be double ground pine bark mulch to a depth of 4".
- All plants shall be in accordance with the latest edition of the American Association of Nurserymen.
- All landscape beds shall have positive drainage away from all structures.
- All Plants shall be vigorous, healthy material free from pests and disease.
- Per the City of Raleigh Code of Ordinances, all shrubs shall be installed at 18" and must reach a height and spread of 30" within 3 years.
- All 2:1 slopes shall be seeded with a centipede grass for slope stabilization.
- Contractor shall contact utility locator service to verify all subsurface utilities prior to and digging or construction on the site. Contractor shall be responsible for any damage resulting from his activities.
- Plant material on this site must be installed in conformance with the general planting notes and details on this plan.
- All sod to be Rebel Fescue IV, Turf Gem, Lesco or equal. All seed to be Rebel Fescue IV, Turf Gem, Lesco or equal @ 6 lbs. per 1000 s.f.
- All above ground electrical transformers, dumpsters, and backflow prevention valve/hot boxes shall be screened from view while maintaining required access to local code standards and requirements.

SCOPE OF WORK:  
Furnish all labor, materials, and equipment required or indicated by the drawings and specifications to complete the work including installation of all trees, shrubs, groundcover, annuals, seed, sod and mulch.

MATERIALS AND WORK:  
The selection of all materials and the execution of all work required under the contract shall be subject to approval by the owner. The owner shall have the right to reject and all materials and any and all work, which in his opinion, does not meet the requirements of the contract.

PLANT MATERIALS:  
All plant materials shall be nursery grown, freshly dug in the field, naturally shaped, well branched, fully foliated when in leaf with fully developed root systems. Trees must be self supporting, with straight trunks and leaders in tact. All plants must be free of disease, insect infestation or their eggs and shall have been grown in climatic conditions similar to those of the project site.

PLANT SIZE:  
Specified sizes indicates the minimum allowable size at planting. Where container and height/spreads are indicated for a single species, both size requirements shall be met. When only plant height or spread are indicated, container size shall be based on AAN standards.

ORGANIC MATTER:  
Aged manure, compost or pine bark fines, at the option of the contractor, material shall be air dried, finely shredded and suitable for horticultural purposes and shall contain no more than 35% moisture content by weight.

PINE BARK MULCH:  
All pine bark mulch shall be clean, double ground, fine textured nugget mulch with minimal amounts of sapwood content.

TURF AREAS:  
Prior to any seeding or sod application, verify that all trenching and land disturbing activities have been completed. Ensure all areas are free of stones, large soil clods and any other construction debris.

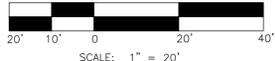
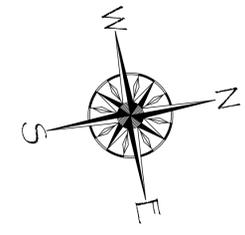
**ATTENTION CONTRACTORS**

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF THE WATER AND SEWER, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT 516-2159, AND THE PUBLIC UTILITIES DEPARTMENT AT 996-4540, AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

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FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON JOB SITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY.	LOCATION	COMMENTS
DC	Cedrus deodara	Deodar Cedar	3.5" cal	B&B	16	SHOD-1 Yard	14' Min Height at Planting
DBH	Ilex comuta 'Burfordii Nana'	Dwarf Burford Holly	30" HT	Cont	26	SHOD-1 Yard	30" Min Height at Planting
NRS	Ilex x 'Nellie R. Stevens'	Nellie R Stevens Holly	6' HT	B&B	10	SHOD-1 Yard	6' Min Height at Planting
EH	Carpinus betulus	European Hornbeam	3" cal.	B&B	7	Streetyard	10' Min Height at Planting
ER	Juniperus virginiana	Eastern Red Cedar	3.5" cal.	B&B	7	SHOD-1 Yard	14' Min Height at Planting
PO	Quercus palustris	Pin Oak	3.5" cal	B&B	16	SHOD-1 Yard	14' Min Height at Planting
WO	Quercus phellos	Willow Oak	3.5" cal	B&B	20	VUA	14' Min Height at Planting
DYH	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	18" HT	Cont	68	VUA	18" Min Height at Planting
HH	Ilex crenata 'Helleri'	Helleri Holly	18" HT	Cont	169	VUA/Streetyard	18" Min Height at Planting
GS	Euonymus japonica 'Green Spire'	Green Spire Euonymus	30" HT	Cont	25	SHOD-1 Yard	30" Min Height at Planting
CP	Ligustrum vulgare	Common Privet	30" HT	Cont	31	SHOD-1 Yard	30" Min Height at Planting
RB	Cercis canadensis	Forest Pansy Redbud	6' HT	B&B	13	SHOD-1 Yard	6' Min Height at Planting
FF	Lorapetalum chinense 'Chang Nian Hong'	Ever Red Fringe Flower	30" HT	Cont	41	SHOD-1 Yard	30" Min Height at Planting



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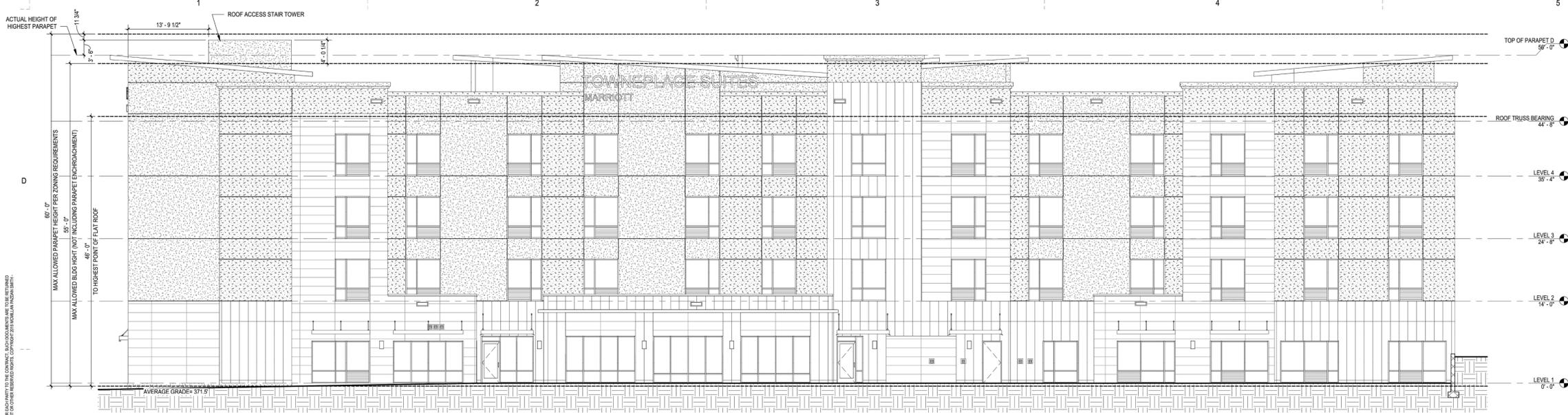
NOT RELEASED FOR CONSTRUCTION

REVISIONS:  
12/4/17- Per City of Raleigh Comments  
1/10/18- Per City of Raleigh Comments  
1/31/18- Per City of Raleigh Comments

Landscape Plan  
**Marriott TownePlace Suites**  
3771 Thisledown Drive, Raleigh, NC

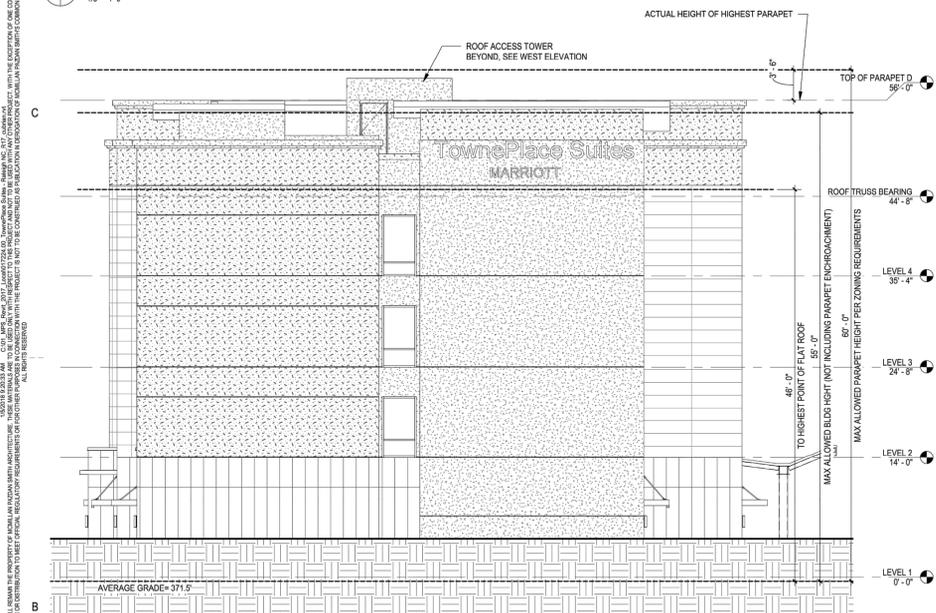
SCALE:  
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SHEET  
**L-4**  
OF

**TRANSACTION #533412**



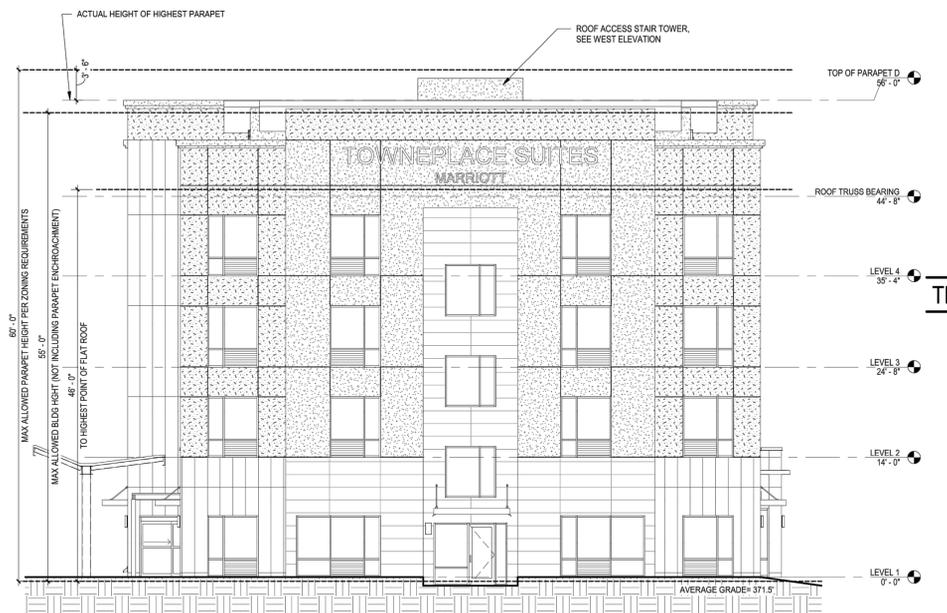
**WEST ELEVATION (FACING GORMAN ST)**

1/8" = 1'-0"



**SOUTH ELEVATION**

1/8" = 1'-0"



**NORTH ELEVATION (FACING THISTLEDOWN-PRIMARY STREET)**

1/8" = 1'-0"

**BUILDING MATERIALS LEGEND**

- \*GC TO USE PROTOTYPE "GREY SCHEME". SEE PROTOTYPE EXTERIOR FINISH INDEX FOR FURTHER INFORMATION
- EFS COLOR E-1 (BENJAMIN MOORE "MANOR BLUE" NO 1627)
- EFS COLOR E-2 (BENJAMIN MOORE "NOVEMBER RAIN" NO 2142-60)
- FIBER CEMENT PANEL P-1 - NICHHA ILLUMINATION SERIES HORIZONTAL INSTALLATION - 18" X 60" W PREFINISHED NIGHT SHADE ED680-CUS
- FIBER CEMENT PANEL P-2 - NICHHA ROUGH SAWS SERIES VERTICAL INSTALLATION - 120" X 18" W PREFINISHED SMOKE ED247N

**TRANSPARENCY CALCS**

- A. WEST ELEVATION FACING GORMAN STREET
  - a. GROUND LEVEL
    - 1. WALL AREA= 2,730 SF
    - 2. GLAZING AREA= 172 SF
    - 3. GLAZING PERCENTAGE= 28%
    - 4. REQ'D PERCENTAGE= 33%
  - b. TYPICAL UPPER LEVEL (BASED ON LEVEL 2)
    - 1. WALL AREA= 2,428 SF
    - 2. GLAZING AREA= 415 SF
    - 3. GLAZING PERCENTAGE= 17%
    - 4. REQ'D PERCENTAGE= 20%
- B. NORTH ELEVATION FACING THISTLEDOWN
  - a. GROUND LEVEL
    - 1. WALL AREA= 821 SF
    - 2. GLAZING AREA= 343 SF
    - 3. GLAZING PERCENTAGE= 30%
    - 4. REQ'D PERCENTAGE= 33%
  - b. TYPICAL UPPER LEVEL (BASED ON LEVEL 2)
    - 1. WALL AREA= 730 SF
    - 2. GLAZING AREA= 160 SF
    - 3. GLAZING PERCENTAGE= 22%
    - 4. REQ'D PERCENTAGE= 20%

**BUILDING ELEVATION NOTES**

- PROVIDE 3/4" EFS EXPANSION JOINT WITH BACKERROD AND SEALANT AT ALL FLOOR LINES AND CONNECTIONS BETWEEN DISSIMILAR SUBSTRATES PER EFS MANUFACTURER REQUIREMENTS. REFER TO EFS MANUFACTURER FOR REQUIRED DETAILS
- SIGNAGE IS TO BE PERMITTED SEPARATELY

**AVERAGE GRADE NOTES**

- BUILDING HEIGHT COMPLIANCE WITH ZONING REGULATIONS IS SHOWN ON EACH BUILDING ELEVATION. THISTLEDOWN DRIVE HAS BEEN DEEMED THE PRIMARY STREET PER ZONING DEPARTMENT. THIS FACADE FACING THISTLEDOWN IS REFERRED TO AS THE "FRONT" FACADE. THE NORTH BUILDING ELEVATION FACES THISTLEDOWN DRIVE.
- THE SITE SLOPES UP AWAY FROM THISTLEDOWN TOWARDS THE SOUTHWEST CORNER OF THE BUILDING (DIAGONAL SLOPE ACROSS BUILDING FROM NORTHEAST CORNER TO SOUTHWEST CORNER). THIS, PER UDO 1.5.7.A (4), "BUILDING HEIGHT IS MEASURED FROM THE AVERAGE POINT AT GRADE OF THE FRONT AND REAR WALL PLANE." THE FRONT WALL PLANE IS THE FACADE FACING THISTLEDOWN DRIVE.
  - A. AVG GRADE CALCS
    - a. LOWEST POST DEVELOPMENT GRADE ALONG THISTLEDOWN FACADE= 367'
    - b. HIGHEST POST DEVELOPMENT GRADE ALONG OPPOSITE END OF BUILDING= 378'
    - c. AVG= 371.5' (NOTED ON BUILDING ELEVATIONS)
  - 1. PER SITE ORDINANCE 2.30.87 AND CURRENT RALEIGH UDO: BUILDING HEIGHT IS LIMITED TO 55' ABOVE AVG GRADE PLUS 4' PARAPET ENCROACHMENT PLUS 1' ADDITIONAL FOOT FOR EACH STORY OVER 3 STORIES. THE BUILDING IS 4 STORIES. THUS THE TOTAL ALLOWABLE HEIGHT ABOVE AVG GRADE= 67'-0"
  - 2. MAX PARAPET HEIGHT SHOWN ABOVE AVG GRADE= 56'-6"



**EAST ELEVATION**

1/8" = 1'-0"

SHEET ISSUE: 01/05/18

Revisions		
Number	Description	Date

PRINCIPAL IN CHARGE: BZ  
PROJECT ARCHITECT: BT  
DRAWN BY: BT

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

SHEET NO. PROJ. NO. 01724.00

**A300**

