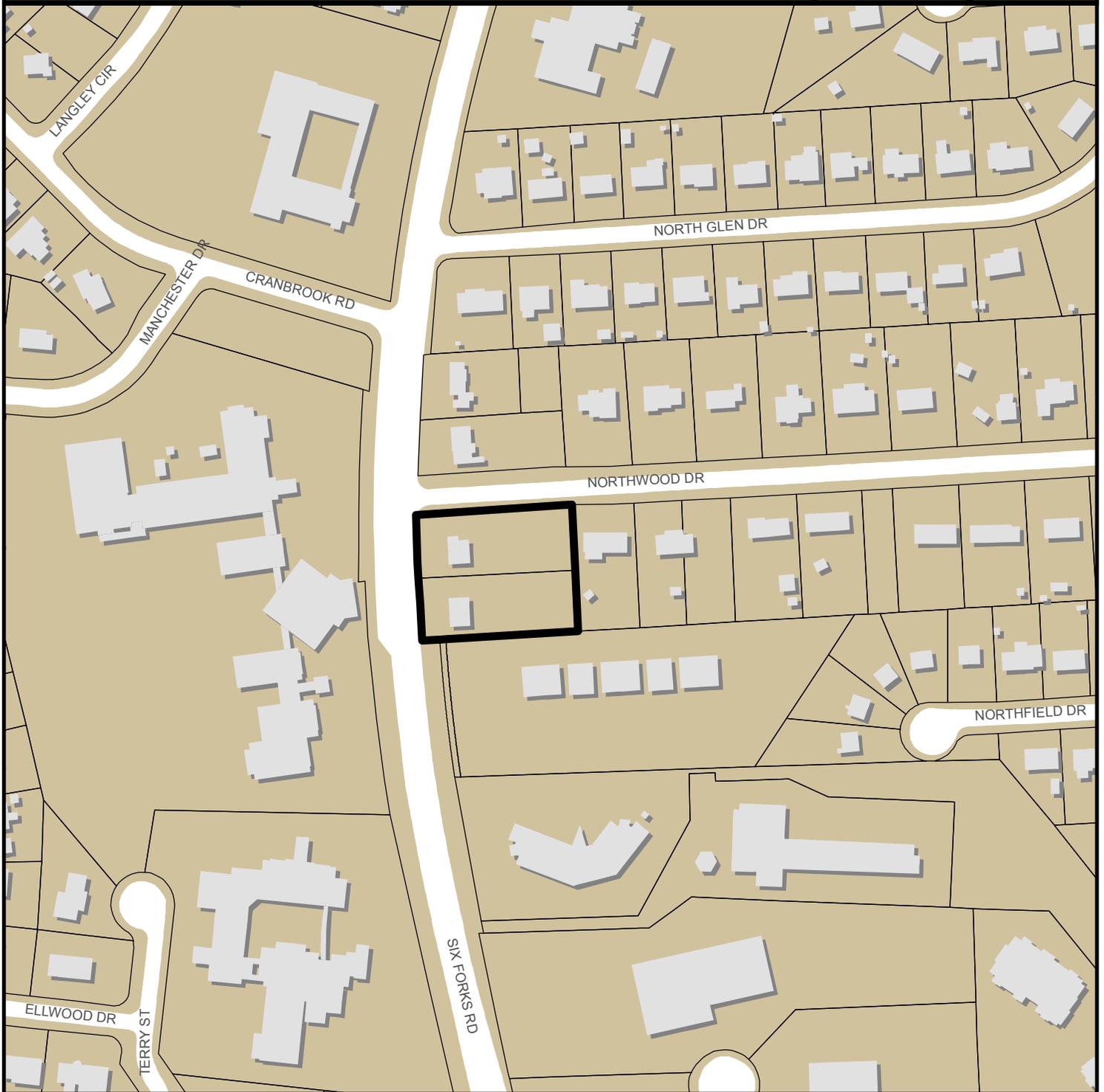


SIX FORKS OFFICE 1 SR-92-2017



0 300 600 Feet

Zoning: **OX-3-PL-CU**
CAC: **Midtown**
Drainage Basin: **Big Branch**
Acreage: **1.14**
Sq. Ft.: **30,000**

Planner: **Daniel Stegall**
Phone: **(919) 996-2712**

Applicant: **Tropical Building Supply**





Administrative Approval Action

Six Forks Office 1 / SR-92-17
Transaction# 535299, AA#3765

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located at the southeast corner of the intersection of Northwood Drive and Six Forks Road. The two parcels are identified as 4830 Six Forks Road/1706.15-53-5466 and 4824 Six Forks Road/1706.15-53-5376.

REQUEST: Development of a 1.14 acre tract currently comprised of two parcels to be recombined. This site is zoned Office Mixed Use-3 with a Parking Limited Frontage (OX-3-PL-CU) with zoning conditions under case Z-20-14. The applicant is requesting to develop the property for 30,000 square feet of office space in a general building with associated amenity area and parking.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:

One Design Adjustment has been approved by the Development Services Designee for this project, noted below.

1. A Design Adjustment waiving the block perimeter requirement (UDO Section 8.3) has been approved by the Public Works Director Designee due to an established intersection where street additions would be out of compliance with City of Raleigh and NCDOT spacing requirements.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Janet Mountcastle of Cline Design Associates.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

Stormwater quality and quantity will be met by utilizing an underground detention device and a sand filter in addition to a payment to a mitigation bank.

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

GENERAL

1. A surety shall be paid to the City of Raleigh in the amount of \$20,000 for the construction of traffic calming devices in accordance with zoning condition number 5 of Z-20-14.

ENGINEERING

2. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.



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STORMWATER

3. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.

Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

URBAN FORESTRY

4. Obtain required stub and tree impact permits from the City of Raleigh.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

5. Comply with all conditions of Z-20-14.
6. A Final Plat shall be recorded with the Wake County Register of Deeds office for all recombinations, right-of-way and/or easement dedications.
7. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing lots into a single tract.
8. A demolition permit shall be obtained for the existing structures on site.
9. Provide fire flow analysis.

ENGINEERING

10. The required right-of-way for proposed and/or existing streets shall be dedicated to the City of Raleigh and be shown on a plat approved for recordation.
11. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department.
12. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' of sidewalk for 210' and 25' of pavement for 210' along Six Forks Rd shall be paid to the City of Raleigh.
13. A 10'x20' transit easement as shown on the preliminary plan shall be approved by the Transit Planner in the Transportation Department, and shall be shown on all maps for recording, and a transit easement deed approved by the City of Raleigh shall be recorded with the local County Register of Deeds. The recorded copy of this transit easement shall be provided to the Development Services Department prior to building permit approval.



Administrative Approval Action

Six Forks Office 1 / SR-92-17
Transaction# 535299, AA#3765

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14. In accordance with zoning condition number 15 of Z-20-14 an offer of cross access agreement and slope easement between the subject recombined property and the adjacent lot to the south identified by PIN 1706537252 shall be approved by the Development Services Department for recording with the Wake County Register of Deeds, and a copy of the recorded offer of cross access easement and slope easement shall be returned to the Development Services Department within one (1) day of recordation. A recorded copy of these documents must be provided to the Development Services Department.
15. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

PUBLIC UTILITIES

16. A final plat must be recorded with the Wake County Register of Deeds office for the recombination and the CORWLE for the water meter.

URBAN FORESTRY

17. A fee-in-lieu shall be provided for the street trees otherwise required along Six Forks Rd.
18. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way of Northwood Dr.

PRIOR TO ISSUANCE OF BUILDING OCCUPANCY PERMIT:

19. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
20. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
21. Next Step: All street lights and street signs required as part of the development approval are installed.
22. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
23. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
24. Next Step: Final inspection of all required right of way trees by Urban Forestry Staff.



**Administrative
Approval Action**
Six Forks Office 1 / SR-92-17
Transaction# 535299, AA#3765

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EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 3-7-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) _____

Date: 3/7/18

Staff Coordinator: Daniel L. Stegall

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name Six Forks Office Building	Date completed Application received 1/9/2018
	Case Number SR-92-17	Transaction Number 535299

DEPARTMENT RESPONSE/RECOMMENDATION	Staff SUPPORTS the Design Adjustment based upon the findings in these applicable code:			
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access		<input type="checkbox"/> UDO Art. 8.4 New Streets	
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets		<input type="checkbox"/> Raleigh Street Design Manual <input type="checkbox"/> Other	
	DEPARTMENT	REPRESENTATIVE SIGNATURE	DEPARTMENT	REPRESENTATIVE SIGNATURE
	<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering	<i>Will S...</i>	<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services		<input type="checkbox"/> PRCR	
	<input type="checkbox"/> Public Utilities			
	Findings: Staff supports the request for a Design Adjustment in regards to Block Perimeter. The proposed site is on an established intersection where additional street additions would be out of compliance with City of Raleigh and NCDOT spacing requirements. Per the RSDM 4.4.2, spacing for an Avenue 6-Lane, Divided requires a minimum spacing of greater than 200'. Max spacing for this site for a proposed street is approx 190'. Offer of cross access has been given to adjacent parcels to ensure connectivity.			

Development Services Director or Designee Action: Approve Approval with Conditions Deny

Authorized Signature

MICHAEL W. RITCHIE, PE, MPA
DEVELOPMENT ENGINEERING MANAGER

3/17/2018
Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.

CONDITIONS	
-------------------	--

Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Six Forks Office Building	
	Case Number S-92-17	Transaction Number 535299

OWNER	Name Tropical Building Supplies	
	Address 4030 Wake Forest Road Suite 349	City Raleigh
	State NC	Zip Code 27609 Phone 919-833-6413

APPLICANT	Name Jason G. Meadows P.E.	Firm John A. Edwards & Company
	Address 333 Wade Ave	City Raleigh
	State NC	Zip Code 27605 Phone 919-828-4428

Applicant must be a Licensed Professional (Engineer, Architect, Surveyor, and/or Contractor)

DESIGN ADJUSTMENT REQUEST	Code Section Referenced: UDO Article 8.3 Blocks, Lots, Access
	Justification: The applicant is requesting a design adjustment from the required block perimeter as established under UDO Article 8.3. Due to the size of the subject parcel and the location at the corner of Northwood Dr. and Six Forks an additional public street connection would be in conflict with separation requirements established by the City of Raleigh Street Design Manual. Existing developed parcels adjacent to the subject project would also limit the ability for a complete block to be established. See attached aerial exhibit and proposed plan.

*Please include any additional support (Plan sheets, aerials, etc.) along with this application. It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

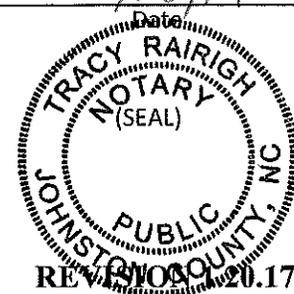
Owner/Owner's Representative Signature

12/20/17

In Witness whereof, the parties signed have executed this document on this date.

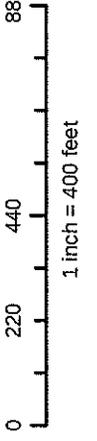
Notary Signature

Date





Six Forks Office Block Perimeter Exhibit



Disclaimer
 iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.

SR-92-17 Administrative Site Review Six Forks Office 1

4830 Six Forks Road
Raleigh, North Carolina
Trans. # 535299

DESIGN TEAM

OWNER/DEVELOPER

Tropical Building Supply
4030 Wake Forest Road
Suite: 349
Raleigh, NC 27609



ARCHITECT/ LANDSCAPE ARCHITECT

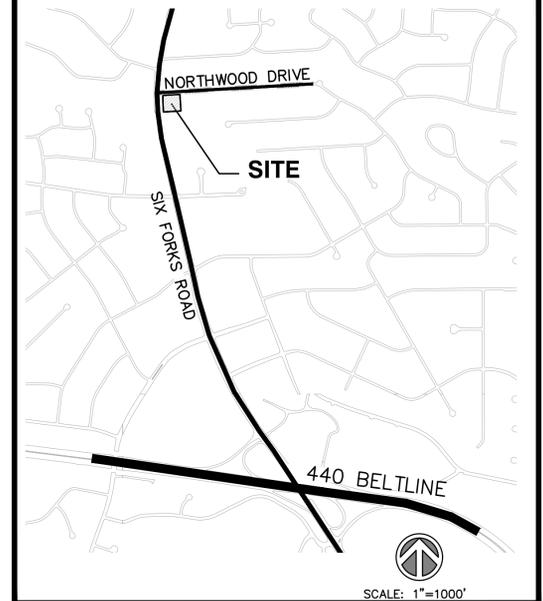
Cline Design Associates, PA
125 N. Harrington Street
Raleigh, NC 27603
(919) 833-6413
(919) 836-1280 fx.
JanetM@ClineDesignAssoc.com

CIVIL ENGINEER

John A. Edwards and Company
333 Wade Avenue
Raleigh, North Carolina 27605
(919) 828-4428



VICINITY MAP



ADMINISTRATIVE SITE REVIEW APPLICATION

Administrative Site Review Application (for UDO Districts only)



Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2489 | fax 919-996-1931
Litchford Satellite Office | 1020 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE <input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse <input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot		FOR OFFICE USE ONLY Transaction Number Assigned Project Coordinator Assigned Floor Leader
---	--	---

Has your project previously been through the *Deed Ordinance* or *Sketch Plan Review* process? If yes, provide the transaction #: **516636**

GENERAL INFORMATION

Development Name: **Six Forks Office**
 Zoning District: **OX-3-PL-CU** Overlay District (if applicable): _____ Inside City Limits? Yes No
 Proposed Use: **Office**

Property Address(es): **4830 Six Forks Road and 4824 Six Forks Road** Major Street Location: **Six Forks Road**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.L.N. **1706.15-53-5466** P.L.N. **1706.15-53-5376** P.L.N. _____ P.L.N. _____

What is your project type?
 Mixed Residential Multi-Residential Condo School Hospital Hotel/Hostel Office
 Chapel Telecommunication Tower Religious Institution Shopping Center Banks Industrial Building
 Other: if other, please describe: _____ Residential Condo Retail Cottage Court

WORK SCOPE
 Per City Code Section 10.2.B.0.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. **The project proposes to demolish existing single family residential buildings and construct a new office building and surface parking lot. The development proposes a 2-story building with 30,000 sf office space and basement level parking.**

DESIGN ADJUSTMENT OR ADMIN ALTERNATE
 Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative Act.

CLIENT/DEVELOPER/OWNER
 Company: **Tropical Building Supply** Name (s): **Doug Crowley**
 Address: **4030 Wake Forest Road, Raleigh, NC, 27609**
 Phone: _____ Email: **dougcrowley@yahoo.com** Fax: _____

CONSULTANT (Contract Person for Plans)
 Company: **Cline Design Associates, Pa** Name (s): **Janet Mouncastle**
 Address: **125 N. Harrington Street, Raleigh, NC 27603**
 Phone: **919-833-6413** Email: **janetm@clinedesignassoc.com** Fax: _____

FA0613 035 WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District: OX-3-PL-CU	Proposed building use(s): Office
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross: NA
Overlay District: _____	Proposed Building(s) sq. ft. gross: 30,000 sf
Total Site Acres: 1.0 Inside City Limits? <input type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed): 30,000 sf
Off street parking: Required 75 spaces Provided 75 spaces	Proposed height of building(s): 60'
COA (Certificate of Appropriateness) case #: _____	# of stories: 2 (Six Forks)
BOA (Board of Adjustment) case #: A- _____	Ceiling height of 1 st floor: 14'
CUD (Conditional Use District) case #: Z- _____	

Stormwater Information

Existing Impervious Surface: **0.14 / 6,100** acres/square feet Flood Hazard Area Yes No

Proposed Impervious Surface: **0.80 / 34,850** acres/square feet If Yes, please provide: _____

Neuse River Buffer Yes No Wetlands Yes No Alluvial Soils _____ Flood Study _____ FEMA Map Panel # _____

FOR RESIDENTIAL DEVELOPMENTS

1. Total # of Apartment, Condominium or Residential Units: **NA** 5. Bedroom Units: 1br _____ 2br _____ 3br _____ 4br or more: **NA**

2. Total # of Congregate Care Or Life Care Dwelling Units: **NA** 6. Infill Development 2.2.7: **NA**

3. Total Number of Hotel Units: **NA** 7. Open Space (only) or Amenity: **NA**

4. Overall Total # of Dwelling Units (1-6 Above): **NA** 8. Is your project a cottage court? Yes No **NA**

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **Janet Mouncastle** _____ to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: _____ Date: _____

Printed Name: _____

Signed: _____ Date: _____

Printed Name: _____

WWW.RALEIGHNC.GOV REVISION 05.13.16

SWS NOTES

1. THE SOLID WASTE DESIGN MANUAL HAS BEEN REVIEWED AND THE PROJECT IS IN COMPLIANCE WITH THE REQUIREMENTS AS SET FORTH IN THE MANUAL
2. THE PROJECT PLANS TO USE PRIVATE SOLID WASTE SERVICES TO HANDLE TRASH NEEDS.

VERTICAL/HORIZONTAL DATUM

N.C. GRID
NAD 83(2011)

SHEET INDEX

EXISTING CONDITIONS PLAN	EC1.00
PRELIMINARY SITE LAYOUT PLAN	SD1.00
SITE DETAILS	SD2.00
SITE DETAILS	SD2.10
EXHIBITS	SD2.20
UTILITY PLAN	SD3.10
GRADING AND STORMWATER	SD3.20
STORMWATER DETAILS	SD3.21
FUTURE ROAD WIDENING EXHIBIT	SD3.22
PRELIMINARY LANDSCAPE PLAN	LP1.00
LANDSCAPE DETAILS	LP2.00
PRELIMINARY SITE LIGHTING	LT1.00
BUILDING FLOOR PLANS	A3
BUILDING ELEVATIONS	A4
UDO & ZONING CALCULATIONS	A5

DATE SUBMITTED: 11.07.2017

REVISIONS:

Resp. 1st Rev. Cmnts.	12.20.2017
Resp. 2nd Rev. Cmnts.	01.25.2018
Resp. 3rd Rev. Cmnts	02.13.2018



JOHN A. EDWARDS & COMPANY
Consulting Engineers
and Land Surveyors

NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

www.jaeco.com

Seals

PROJECT
CR 1005 R/O REPORT
SIX FORKS OFFICE BUILDING
4824 & 4830 SIX FORKS ROAD,
RALEIGH, NC
SR 1921
TRANS# 535299

CLIENT
CLIN DESIGN ASSOCIATES
125 N. HARRINGTON ST
RALEIGH, NC 27603

LEGEND

BM	BOOK OF MAPS
DB	DEED BOOK
PG	PAGE
N/F	NOW OR FORMERLY
R/W	RIGHT OF WAY
EIP	EXISTING IRON PIPE
EMAG	EXISTING MAG NAIL
ECM	EXISTING CONCRETE MONUMENT
IPS	IRON PIPE SET
MAGS	MAG NAIL SET
CP	COMPUTED POINT
SS	SANITARY SEWER
CO	SANITARY SEWER CLEAN OUT
MH	MANHOLE
ST	STORM
GW	GUY ANCHOR
CB	STORM CATCH BASIN
WV	WATER VALVE
RCP	REINFORCED CONCRETE STORM PIPE
CONC	CONCRETE
SSMH	SANITARY SEWER
WM	WATER METER
LP	LIGHT POLE
GV	GAS VALVE
TP	TELEPHONE PEDESTAL
FH	FIRE HYDRANT
HB	HOT BOX
PP	POWER POLE
MW	MONITORING WELL
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[Symbol]	DENOTES ADDRESS

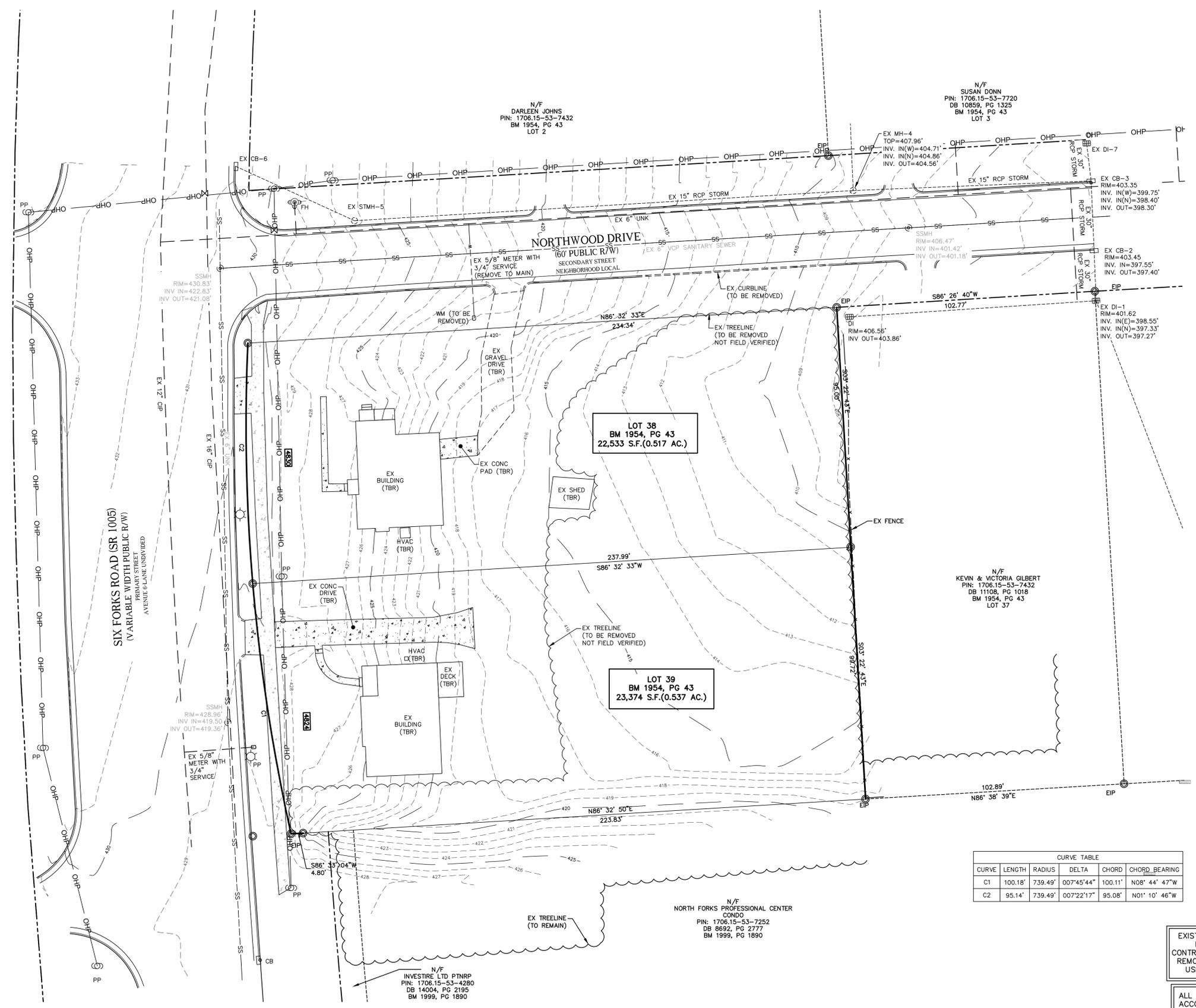
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[Symbol]	SEWER LINE
[Symbol]	OVERHEAD POWER
[Symbol]	GAS
[Symbol]	GAS LINE
[Symbol]	EASEMENT LINE
[Symbol]	LP
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[Symbol]	GW
[Symbol]	MW
[Symbol]	PP
[Symbol]	TP
[Symbol]	GV

EXISTING CONDITIONS

Revisions

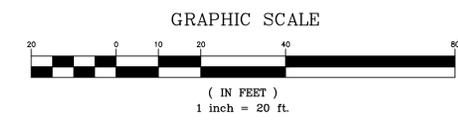
N	Desc	Date
1	CR COR COMMENTS	12/19/17
2	CR COR COMMENTS	01/25/18

Drawing Scale 1" = 20'
Drawing CS
Checked JGM
Date Issued 10/25/17 of



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	100.18'	739.49'	007°45'44"	100.11'	N08° 44' 47"W
C2	95.14'	739.49'	007°22'17"	95.08'	N01° 10' 46"W



NC GRID NAD 83 (2011)

- ALL CONSTRUCTION TO BE PERFORMED IN ACCORDANCE WITH NCDOT AND/OR THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. ALL NCDOT DRIVEWAY AND/OR ENCROACHMENT PERMITS MUST BE OBTAINED PRIOR TO BUILDING PERMIT ISSUANCE.
- BASE INFORMATION WAS OBTAINED ELECTRONICALLY FROM JOHN A EDWARDS AND COMPANY, RALEIGH, NORTH CAROLINA.
- ALL DIMENSIONS ARE FROM BACK OF CURB, UNLESS OTHERWISE INDICATED ON THE PLANS.
- SIDEWALKS WILL BE PROVIDED FROM THE MAIN ENTRANCES OF BUILDINGS TO THE PUBLIC SIDEWALK SYSTEM VIA A HANDICAP ACCESSIBLE SIDEWALK, WHICH MEETS ADA REQUIREMENTS.
- ALL LIGHTING AT BUILDINGS ADJACENT TO RESIDENTIAL LOTS AND ALONG PUBLIC RIGHTS-OF-WAY WILL BE SHIELDED.
- SIGHT DISTANCE TRIANGLE CALCULATIONS PER CITY OF RALEIGH STREET DESIGN MANUAL.
- WITHIN THE SIGHT TRIANGLES AND SIGHT EASEMENTS SHOWN ON THIS PLAN, NO OBSTRUCTION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, PARKED VEHICLE OR OTHER OBJECT. ALL STREET TREES FALLING WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN SHALL BE LIMBED-UP BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION. REFER TO SECTION 10-2086 (A) OF THE RALEIGH CITY CODE FOR ADDITIONAL DETAILS.
- PAVEMENT AND SUB-BASE DESIGN FOR SOLID WASTE CIRCULATION ROUTE SHALL BE CONSISTENT WITH THE RALEIGH SOLID WASTE DESIGN MANUAL (VERSION 2.1, JAN. 14, 2005; 2" OF 1-2 OVER 8" ABC).
- THIS PROJECT IS OFFERING CROSS ACCESS AND SLOPE EASEMENTS FOR CONNECTION BY THE ADJACENT PARCELS TO THE EAST AND WEST. THE RECORDED OFFER OF CROSS ACCESS EASEMENT WILL BE RECORDED PRIOR TO BUILDING PERMIT ISSUANCE.

General Notes 02

SITE DATA

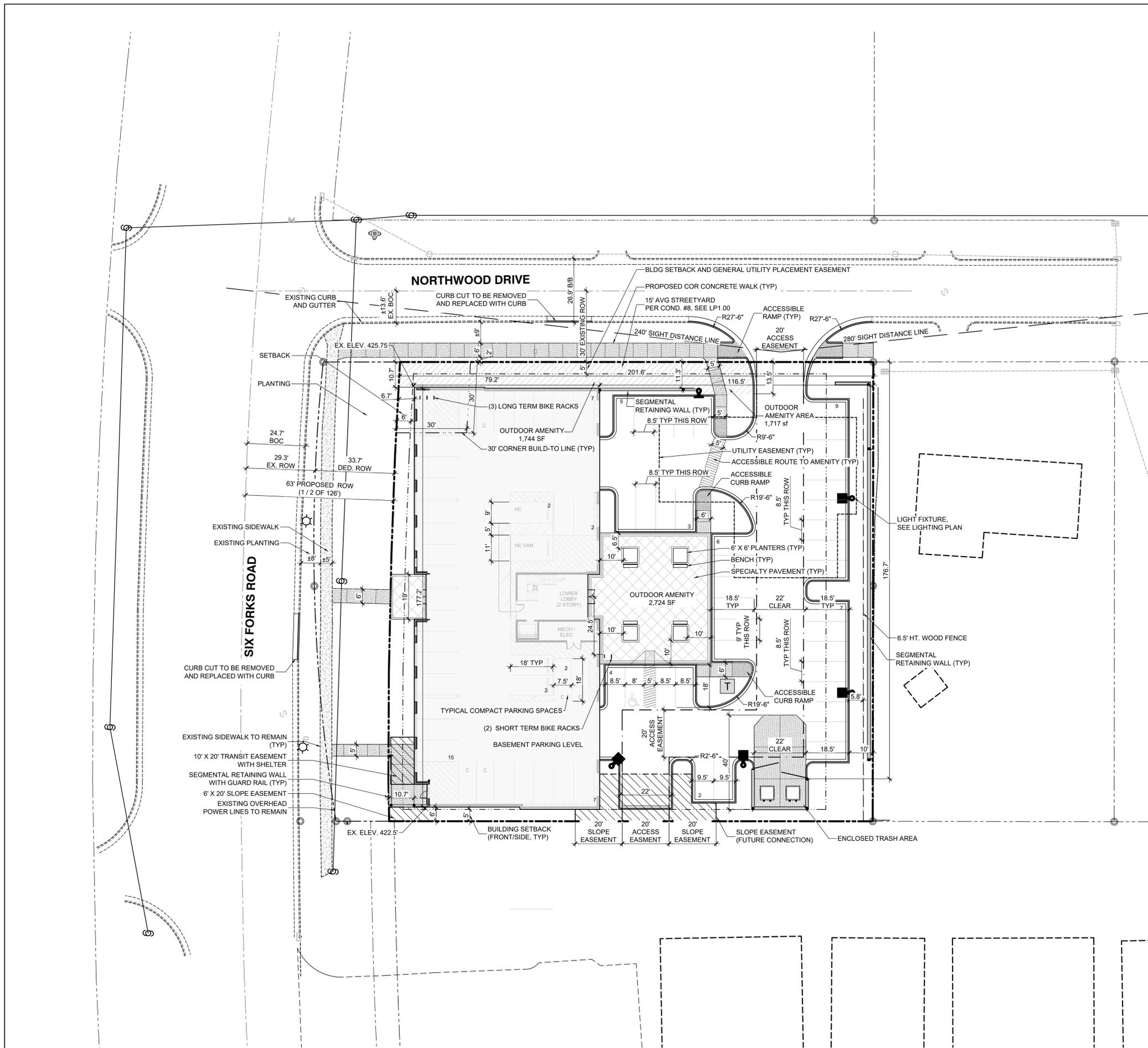
LOT 38:	
PIN	1706.15-53-5466
EXIST. AREA	0.517 AC (22,533 SF)
PROPOSED AREA	0.44 AC (19,358 SF)
SIX FORKS ROAD DEDICATED ROW	±.07' (3,174 SF)
LOT 39:	
PIN	1706.15-53-5376
EXIST. AREA	0.537 AC (23,374 SF)
PROPOSED AREA	0.47 AC (20,548 SF)
SIX FORKS ROAD DEDICATED ROW	±.06' (2,864 SF)
TOTAL SITE:	
PROPOSED AREA	0.92 AC (39,906 SF)
ZONING	OX-3-PL-CU
PROPOSED USE	OFFICE
GROSS BUILDING AREA	30,000 SF
PARKING REQUIRED	
(1 SPACE/400 SF) X 30,000 SF = 75 SPACES	75 SPACES
PARKING PROPOSED	
SURFACE PARKING = 38 SPACES	38 SPACES
GARAGE PARKING = 37 SPACES (INCLUDES 4 COMPACT SPACES)	37 SPACES
BIKE PARKING REQUIRED	
SHORT TERM (1/10,000 SF X 30,000) = 3 (4 MIN.)	3 BIKE SPACES
LONG TERM (1/5,000 SF X 30,000) = 6 (4 MIN.)	6 BIKE SPACES
BIKE PARKING PROPOSED	
OUTDOOR AMENITY AREA REQUIRED	3,990 SF (10%)
39,906 SF X 10%	
OUTDOOR AMENITY AREA PROVIDED	4,441 SF (11.1%)
GROUND LEVEL: 4.441	

BUILD-TO REQUIRED (PL)	
PRIMARY (SIX FORKS) 50%	97.4 LF
194.79 LF X .5 = 97.395	
SIDE STREET (NORTHWOOD) 25%	50.4 LF
201.6 LF X .25 = 50.4	

BUILD-TO PROVIDED (PL)	
PRIMARY (SIX FORKS)	177.2 LF (91%)
177.2 BLDG LF / 194.79 ROW LF = 91%	
SIDE (NORTHWOODS)	79.2 LF (39%)
79.2 BLDG LF / 201.6 ROW LF = 39%	

STREETSCAPE REQUIRED (PL)
MAIN STREET, MIXED USE, COMMERCIAL, MULTIWAY OR PARKING

STREETSCAPE PROPOSED (PL)
MIXED USE

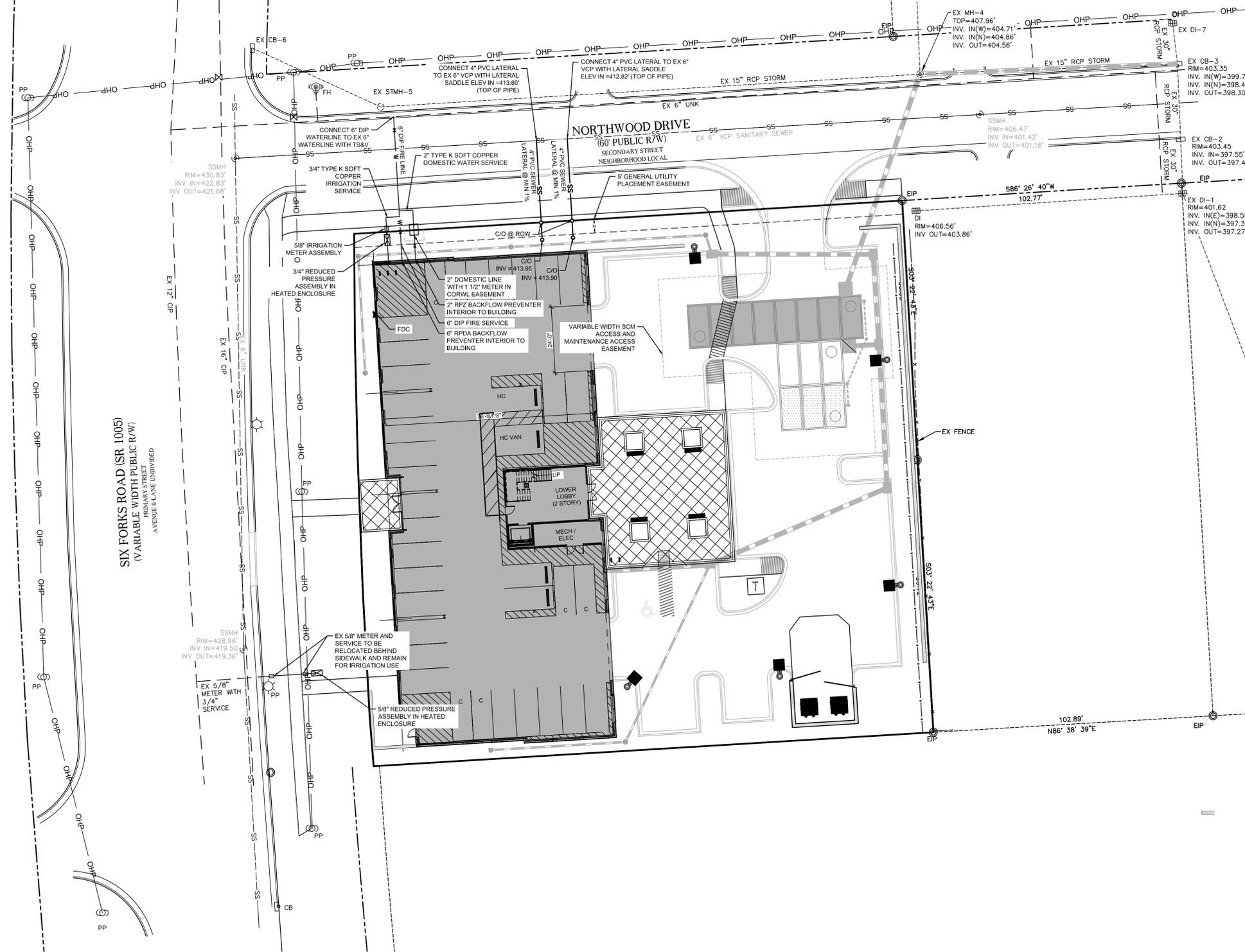




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STANDARD UTILITIES

BOOK OF MAPS
DEED BOOK
PAGE
NOW OR FORMERLY
RIGHT OF WAY
EXISTING IRON PIPE
EXISTING MAG NAIL
EXISTING CONCRETE MONUMENT
IRON PIPE SET
MAG NAIL SET
COMPUTED POINT
SANITARY SEWER
SANITARY SEWER CLEAN OUT
MANHOLE
STORM
GUY ANCHOR
STORM CATCH BASIN
WATER VALVE
REINFORCED CONCRETE STORM PIPE
CONCRETE
SANITARY SEWER
WATER METER
LIGHT POLE
GAS VALVE
TELEPHONE PEDESTAL
FIRE HYDRANT
HOT BOX
POWER POLE
MONITORING WELL

Denotes Concrete
Denotes Address

PROPERTY LINE
RIGHT OF WAY LINE
PROP. LINE NOT SURVEYED
STORM PIPE
SEWER PIPE
OVERHEAD POWER
GAS LINE
EASEMENT LINE
SSMH

GW MW PP TP GV

SIX FORKS ROAD
BUILDING
UTILITIES

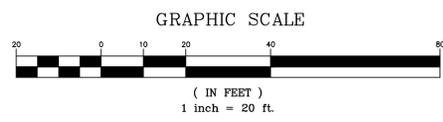
DESIGN NOTES
HARRINGTON STREET

LEGEND

BM BOOK OF MAPS
DB DEED BOOK
PG PAGE
N/F NOW OR FORMERLY
R/W RIGHT OF WAY
EIP EXISTING IRON PIPE
EMAG EXISTING MAG NAIL
ECM EXISTING CONCRETE MONUMENT
IPS IRON PIPE SET
MAGS MAG NAIL SET
CP COMPUTED POINT
SS SANITARY SEWER
CO SANITARY SEWER CLEAN OUT
MH MANHOLE
ST STORM
GW GUY ANCHOR
CB STORM CATCH BASIN
WB WATER VALVE
RCP REINFORCED CONCRETE STORM PIPE
CONC CONCRETE
SSMH SANITARY SEWER
WM WATER METER
LP LIGHT POLE
GV GAS VALVE
TP TELEPHONE PEDESTAL
FH FIRE HYDRANT
HB HOT BOX
PP POWER POLE
MW MONITORING WELL

Denotes Concrete
Denotes Address

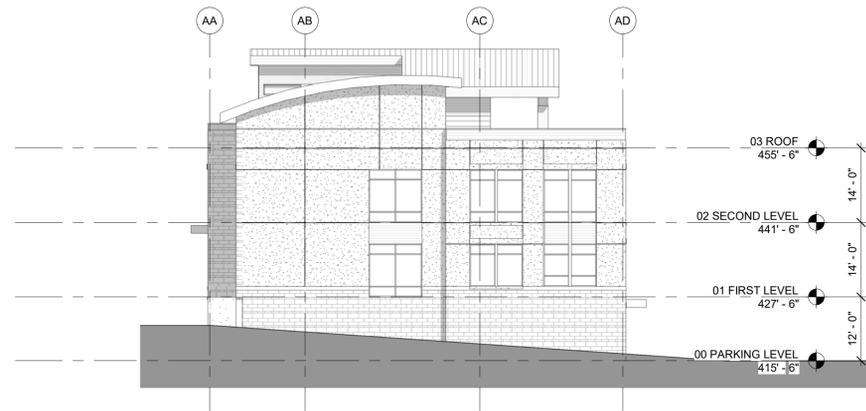
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.



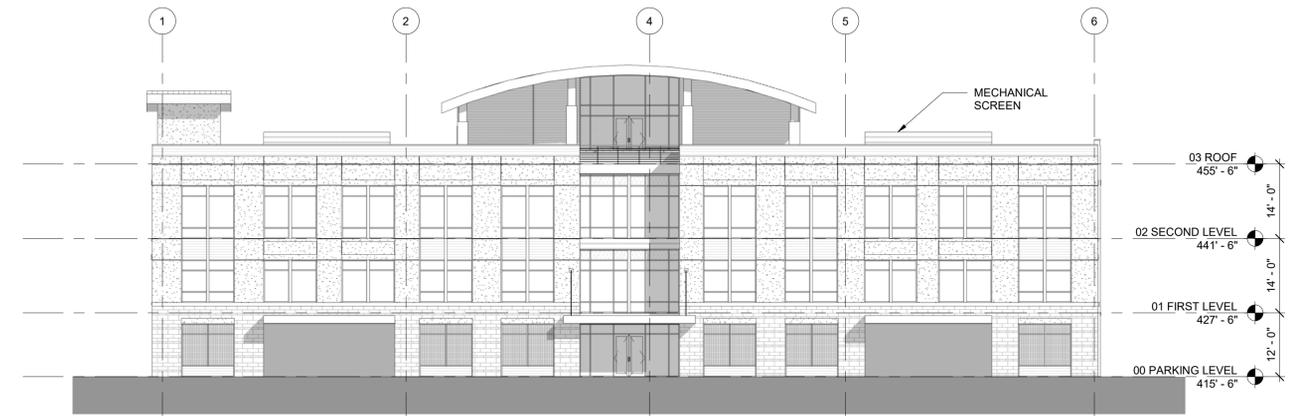
UTILITIES

REVISIONS	DATE	DESCRIPTION

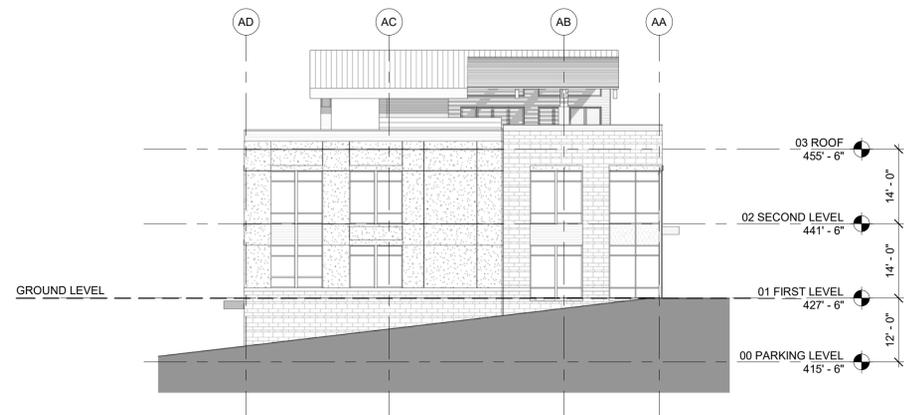
Drawn: JGM
Checked: CS
Date: 10/25/17



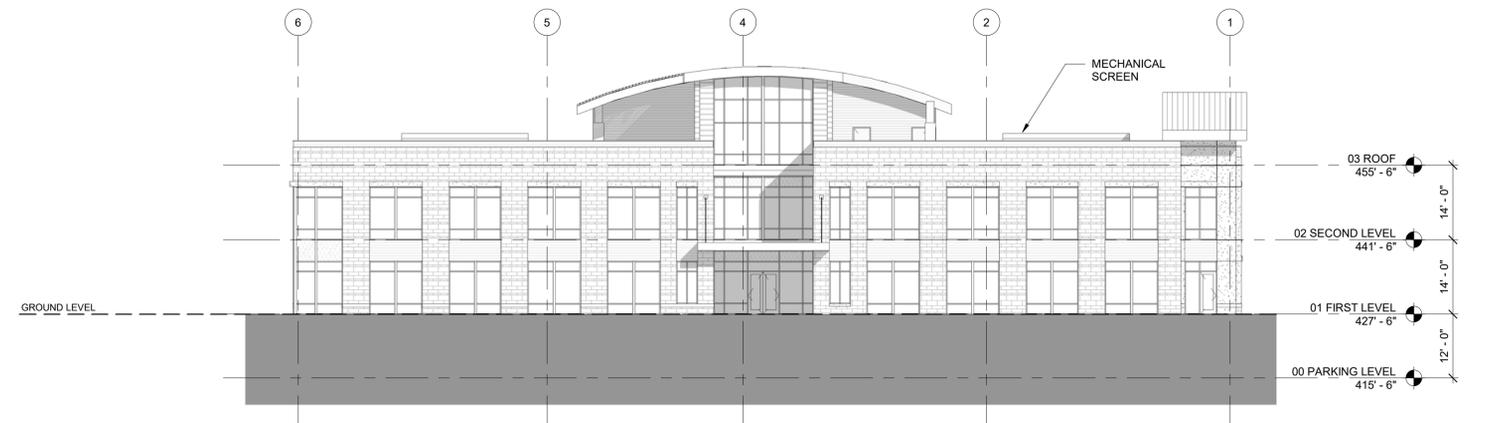
SOUTH ELEVATION 4
1/16" = 1'-0"



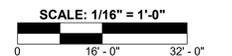
EAST ELEVATION 2
1/16" = 1'-0"

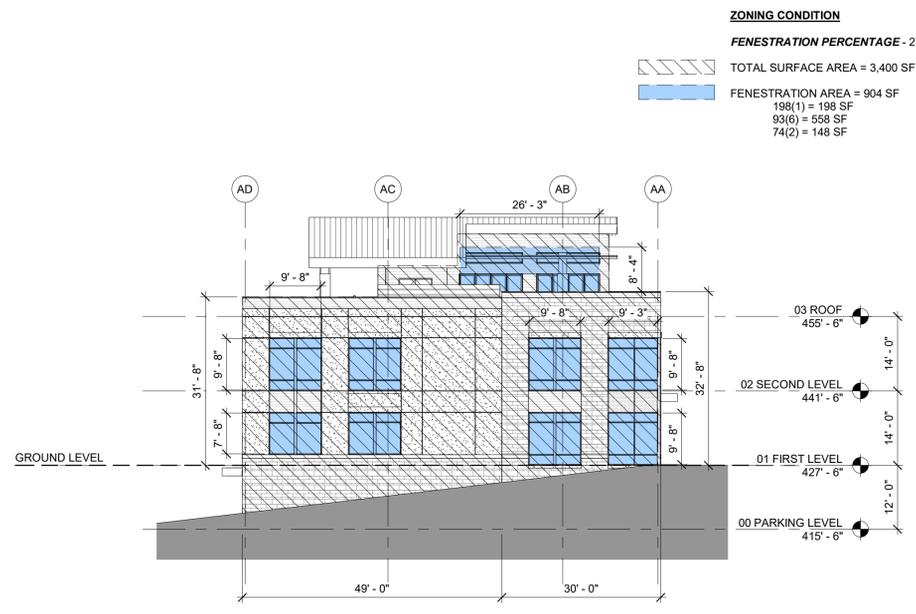


NORTH ELEVATION (NORTHWOODS DR.) 3
1/16" = 1'-0"



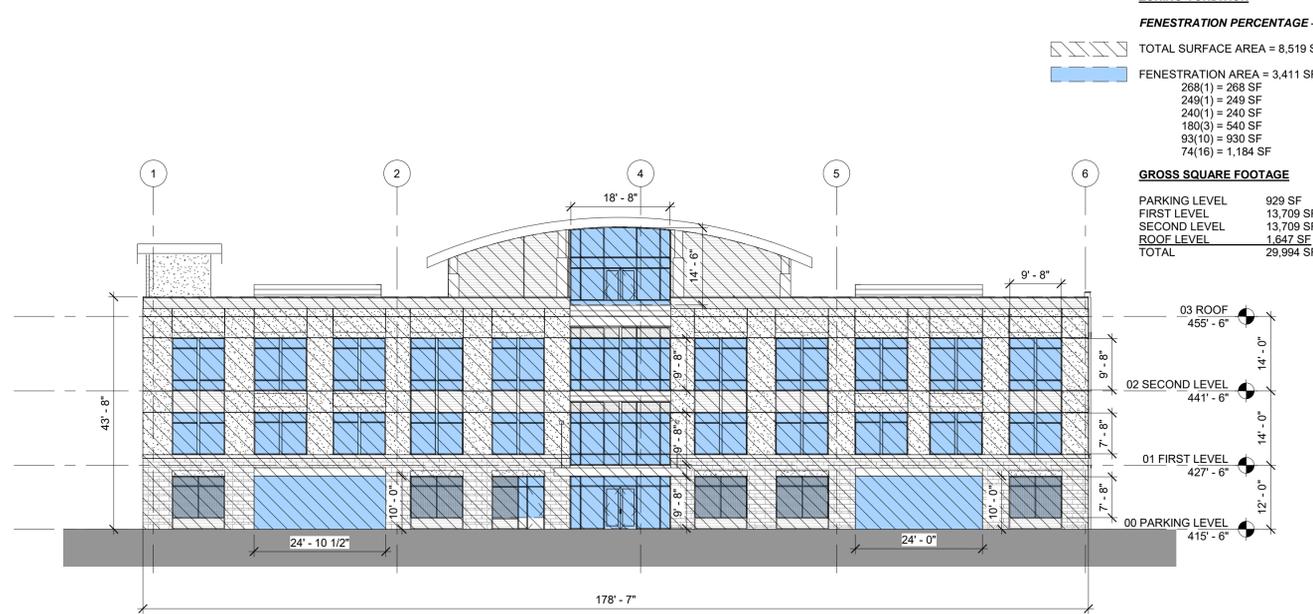
WEST ELEVATION (SIX FORKS RD.) 1
1/16" = 1'-0"





ZONING CONDITION
FENESTRATION PERCENTAGE - 27%
 TOTAL SURFACE AREA = 3,400 SF
 FENESTRATION AREA = 904 SF
 198(1) = 198 SF
 93(6) = 558 SF
 74(2) = 148 SF

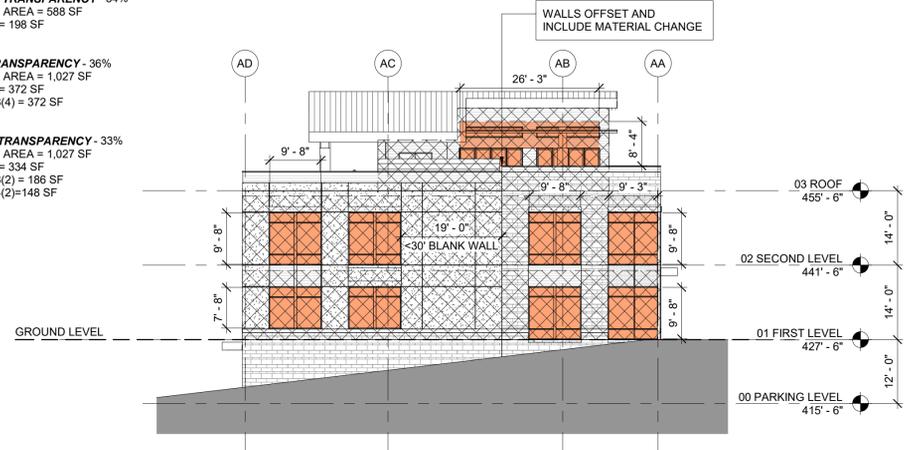
NORTH ELEVATION (NORTHWOODS DR.) - ZONING CONDITION 4
 1/16" = 1'-0"



ZONING CONDITION
FENESTRATION PERCENTAGE - 40%
 TOTAL SURFACE AREA = 8,519 SF
 FENESTRATION AREA = 3,411 SF
 268(1) = 268 SF
 249(1) = 249 SF
 240(1) = 240 SF
 180(3) = 540 SF
 93(10) = 930 SF
 74(16) = 1,184 SF
GROSS SQUARE FOOTAGE
 PARKING LEVEL 929 SF
 FIRST LEVEL 13,709 SF
 SECOND LEVEL 13,709 SF
 ROOF LEVEL 1,647 SF
 TOTAL 29,994 SF

EAST ELEVATION - ZONING CONDITION 2
 1/16" = 1'-0"

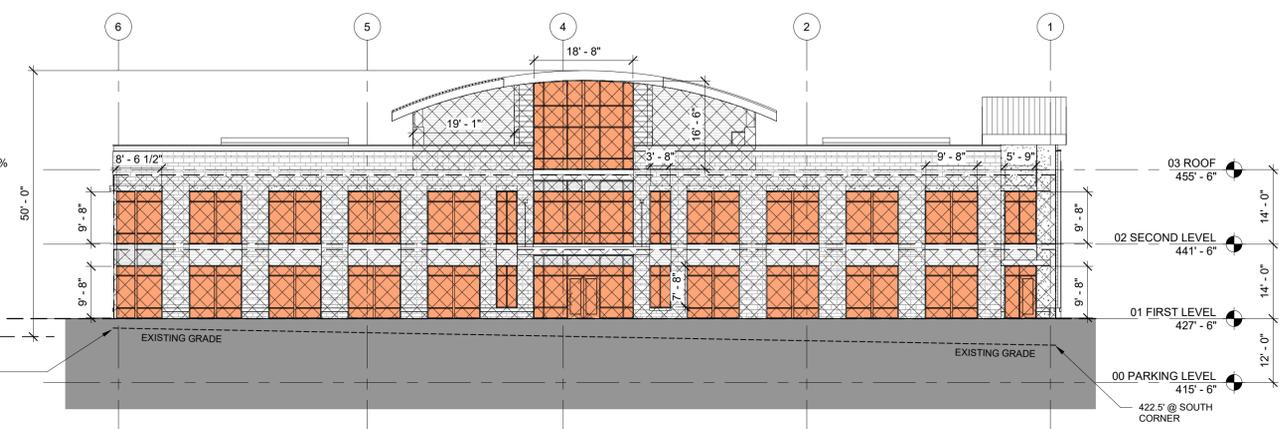
UDO REQUIREMENTS
UPPER LEVEL (2) TRANSPARENCY - 34%
 SURFACE AREA = 588 SF
 GLAZING = 198 SF
UPPER LEVEL TRANSPARENCY - 36%
 SURFACE AREA = 1,027 SF
 GLAZING = 372 SF
 93(4) = 372 SF
GROUND LEVEL TRANSPARENCY - 33%
 SURFACE AREA = 1,027 SF
 GLAZING = 334 SF
 93(2) = 186 SF
 74(2) = 148 SF



NORTH ELEVATION (NORTHWOODS DR.) - UDO REQ. 3
 1/16" = 1'-0"

UDO REQUIREMENTS
UPPER LEVEL (2) TRANSPARENCY - 32%
 SURFACE AREA = 980 SF
 GLAZING = 305 SF
UPPER LEVEL TRANSPARENCY - 49%
 SURFACE AREA = 2,313 SF
 GLAZING = 1,132 SF
 93(8) = 744 SF
 35(2) = 70 SF
 180(1) = 180 SF
 56(1) = 56 SF
 82(1) = 82 SF
GROUND LEVEL TRANSPARENCY - 48%
 SURFACE AREA = 2,313 SF
 GLAZING = 1,118 SF
 93(8) = 744 SF
 28(2) = 56 SF
 180(1) = 180 SF
 56(1) = 56 SF
 82(1) = 82 SF

GROUND LEVEL
 AVG. GRADE
 424.125'
 425.75' @ NORTH CORNER



WEST ELEVATION (SIX FORKS RD.) UDO REQ. 1
 1/16" = 1'-0"

