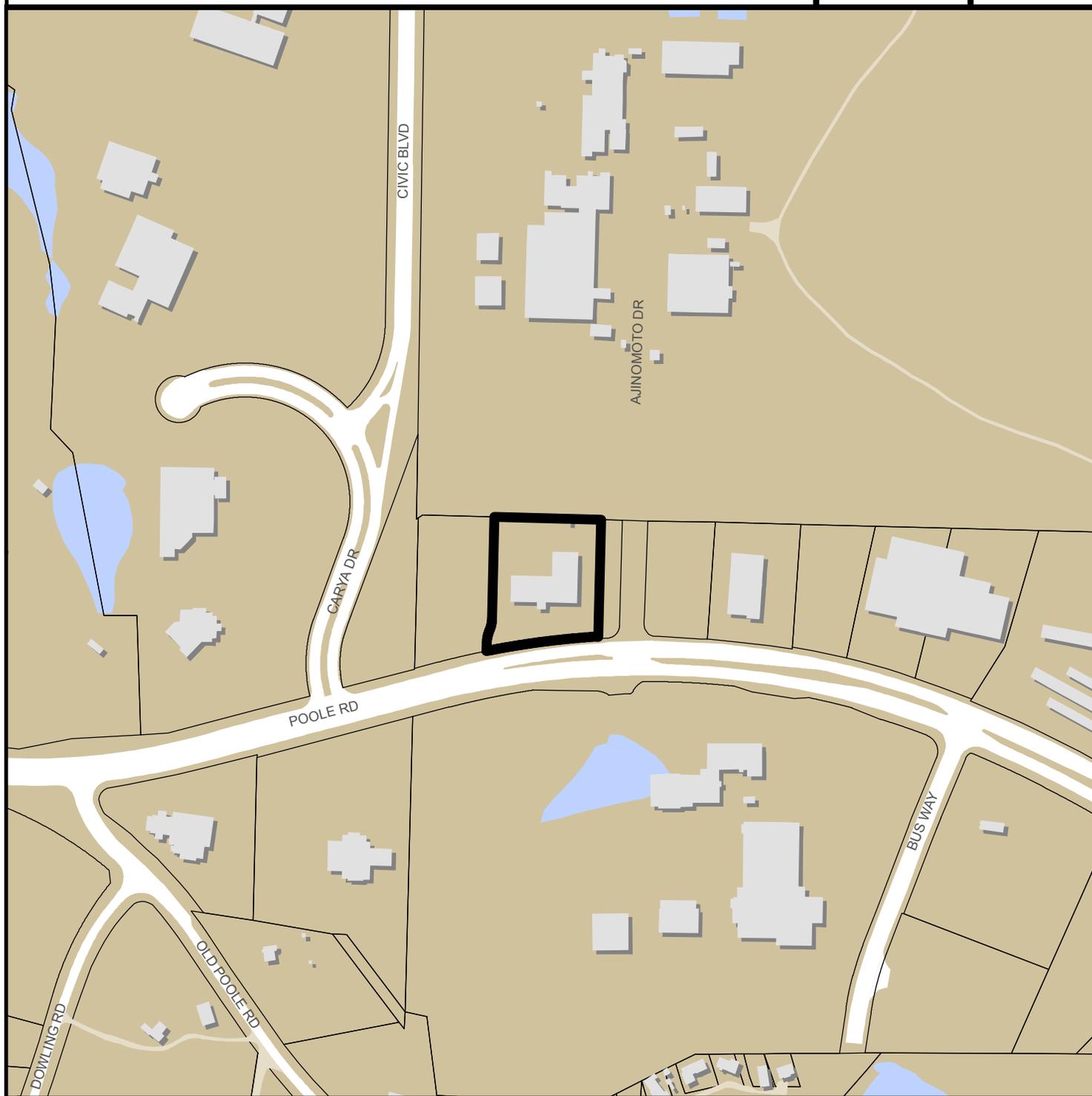


AJINOMOTO OFFICE BUILDING ADDITION SR-96-2016



0 300 600 Feet

Zoning: **IX-3**
CAC: **Southeast**
Drainage Basin: **Crabtree Basin**
Acreage: **1.69**
Sq. Ft. : **3,123**

Planner: **Justin Rametta**
Phone: **(919) 996-2665**

Applicant: **Bern Development**
Phone: **(919) 815-0067**





Administrative Approval Action

Case File / Name: SR-96-16 / Ajinimoto Office Expansion / Transaction # 532291 / AA#3754

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located at 4105 Poole Road, on the north side of Poole Road, between Carya Drive and Ajinimoto Drive.

REQUEST: Development on a 1.69-acre tract zoned IX-3 with an existing 11,338 square foot office building to add a 3,223 square foot expansion.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC:

The lot for this office site acquires sole access from Poole Road, a State-maintained facility and must request relief from the block perimeter maximum length due to the adjacent developed properties and topographic constraints.

A design adjustment has been approved for the elimination of the 5' utility placement easement outside the right-of-way along Poole Road, an NCDOT maintained facility. The C-2 street yard will be damaged by utility companies if allowed to install the utilities adjacent to the street yard.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by McKim and Creed.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note:

This document must be applied to the second sheet of all future submittals with the exception of final plats.

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent/final site review approval.
2. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

3. Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

GENERAL

4. Next Step: Concurrent Review Plans for public infrastructure and site grading shall be approved by the City of Raleigh, including obtaining stub permits, tree impact permit and a street lighting plan, if applicable.



Administrative Approval Action

Case File / Name: SR-96-16 / Ajinimoto Office
Expansion / Transaction # 532291 / AA#3724

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

1. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Right of Way and/or Easement Dedications, and Tree Save Areas.

ENGINEERING

2. The required ½-126' right-of-way along Poole Road shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
3. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' sidewalk along Poole Road is paid to the City of Raleigh.
4. A surety for incomplete public improvements is required to be paid and agreement approved at 100% of construction costs due to Poole Road being NCDOT-maintained.

PUBLIC UTILITIES

5. A Final Plat must be recorded at the Wake County Register of Deeds office for all necessary Subdivisions / Recombinations, Right-of-Way, Utility / Stormwater Easement Dedications and/or Tree Save Areas

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 2/12/2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 2/12/18

Staff Coordinator: Justin Rametta

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

| | | |
|----------------|---|---|
| PROJECT | Project Name Ajinomoto Office Addition | Date completed Application received 2/2/2018 |
| | Case Number SR-96-2016 | Transaction Number 532291 |

| | | | | |
|--|---|---|--|---------------------------------|
| DEPARTMENT RESPONSE/RECOMMENDATION | Staff SUPPORTS the Design Adjustment based upon the findings in these applicable code: | | | |
| | <input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access | | <input type="checkbox"/> UDO Art. 8.4 New Streets | |
| | <input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets | | <input type="checkbox"/> Raleigh Street Design Manual <input type="checkbox"/> Other | |
| | DEPARTMENT | REPRESENTATIVE SIGNATURE | DEPARTMENT | REPRESENTATIVE SIGNATURE |
| | <input type="checkbox"/> Dev. Services Planner | | <input type="checkbox"/> City Planning | |
| <input checked="" type="checkbox"/> Development Engineering | Kathryn Beard <i>KC Beard</i> | <input type="checkbox"/> Transportation | | |
| <input type="checkbox"/> Engineering Services | | <input type="checkbox"/> PRCR | | |
| <input type="checkbox"/> Public Utilities | | | | |
| Findings: These design adjustment requests have the support of staff for the following: 1) The block perimeter of this lot zoned IX-3 exceeds the allowable maximum length of 4,000 linear feet. The attached block adjustment application provides a map that does show the block perimeter and the site location which would not provide a public street connection that would benefit the traveling public. The larger Ajinomoto property is bounded on the west property line with a public street and to the south by Poole Road which is a State-maintained public street. This smaller lot is also topographically constrained along the north and east property frontages. 2) This design adjustment requests a waiver from providing a 5' general utility placement easement along Poole Road outside the right-of-way to allow the streetyard to be planted without utilities being installed which would compromise the plants / tree roots. There is a grass strip between the back of the curb and the sidewalk which will provide the area for the utilities to be installed. | | | | |

Development Services Director or Designee Action: Approve Approval with Conditions Deny


 Authorized Signature KENNETH W. RITCHIE, PE, MPP 2/12/2018
 DEVELOPMENT ENGINEERING MANAGER Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.

| | |
|-------------------|--|
| CONDITIONS | |
|-------------------|--|

Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

| | | |
|----------------|---|----------------------------------|
| PROJECT | Project Name Ajinomoto Office Addition | |
| | Case Number SR-96-2016 | Transaction Number 532291 |

| | | | |
|--------------|---|-----------------------|-----------------------------|
| OWNER | Name Ajinomoto North America, Inc. | | |
| | Address 4020 Ajinomoto Drive | | City Raleigh |
| | State NC | Zip Code 27610 | Phone (919) 723-2152 |

| | | | | |
|------------------|--|-----------------------|--------------------------------|--|
| APPLICANT | Name | | Firm | |
| | Jeremy Keeny, PE, PLS | | McKim & Creed, Inc. | |
| | Address 1730 Varsity Drive, Suite 500 | | City Raleigh | |
| | State NC | Zip Code 27605 | Phone (919) 233-8091 | |

Applicant must be a Licensed Professional (Engineer, Architect, Surveyor, and/or Contractor)

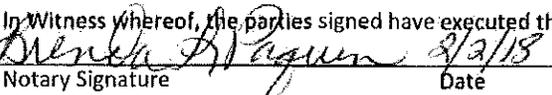
| | |
|----------------------------------|--|
| DESIGN ADJUSTMENT REQUEST | Code Section Referenced: UDO Article 8.3.2 Blocks |
| | <p>Justification: The subject property is zoned IX which requires a max. block perimeter of 4000 feet. The location of the property is in an established industrial/commercial area. The additional properties owned by Ajinomoto North America, Inc. are not included in this site plan. Ajinomoto Drive is an existing right-of-way and is separated by a 50' lot from the subject property. Based on the layout of developed properties, and proximity to Civic Boulevard to the west, a public street would not meet the spacing requirements per the Raleigh Street Design Manual, Table 6.8A, nor would provide a benefit to the adjacent industrial sites. The total block distance is approximately 12,500 feet. A design adjustment is requested based on the following (but not limited to the following) justifications for the City to consider: the existing block meets the intent of this Article; the design adjustment does not contradict the intent and applicability of City plans; the design adjustment does not increase congestion or compromise safety (only proposing a 3100 sf addition to existing building and no significant increase in trips generated); the design adjustment does not create lots without direct street frontage. Additionally, the design adjustment request is reasonable due to the following (but not limited to): existing buildings and operation of the adjacent parcels; site layout of developed parcels; and a design adjustment does not conflict with approved or built roadway construction projects adjacent to or in the vicinity of the site.</p> |

*Please include any additional support (Plan sheets, aerials, etc.) along with this application. It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request.

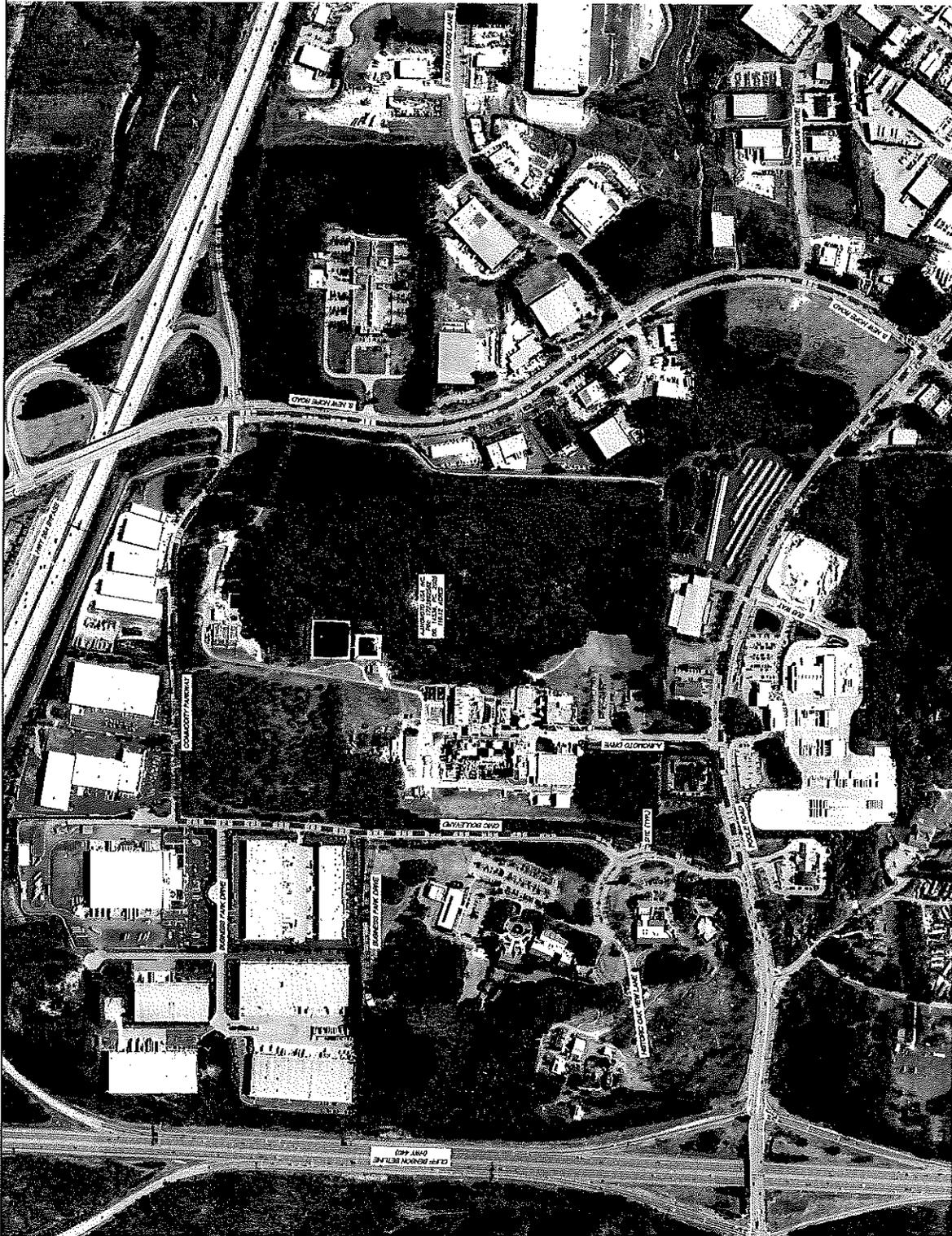
By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.


 Owner/Owner's Representative Signature 2/2/18
Date

In Witness whereof, the parties signed have executed this document on this date.


 Notary Signature 2/3/18
Date





CALL US OR
CALL CENTER
STOP
TO REPORT ANY
AND UTILITY
DAMAGE



SCALE 1" = 250' (approx.)

NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL NOTIFY THE DESIGN ARCHITECT, IN WRITING, OF ANY DISCREPANCIES IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFETY OF ALL EXISTING UTILITIES, STRUCTURES, AND EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFETY OF ALL EXISTING UTILITIES, STRUCTURES, AND EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFETY OF ALL EXISTING UTILITIES, STRUCTURES, AND EQUIPMENT.

| | |
|-------------|----------------------------|
| SCALE | C1.1 |
| DATE | 1/1/11 |
| PROJECT | RAJINOMOTO OFFICE ADDITION |
| LOCATION | RALEIGH, NORTH CAROLINA |
| DESIGNED BY | MFKIM & CREED |
| CHECKED BY | |
| DATE | |
| SCALE | 1" = 250' |
| DATE | |
| PROJECT | RAJINOMOTO OFFICE ADDITION |
| LOCATION | RALEIGH, NORTH CAROLINA |
| DESIGNED BY | MFKIM & CREED |
| CHECKED BY | |
| DATE | |

RAJINOMOTO OFFICE ADDITION
RALEIGH, NORTH CAROLINA
BLOCK PERIMETER
OVERALL LAYOUT PLAN

*** = SITE**

MFKIM & CREED
 1770 Valley Drive, Suite 600
 Raleigh, North Carolina 27606
 Phone: 919.876.4671, Fax: 919.876.4671
 www.mfkimcreed.com

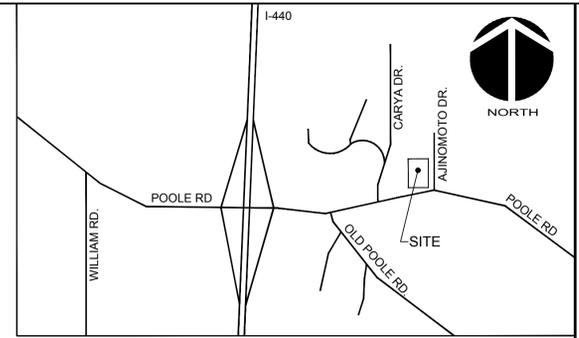


| | |
|-------------|--|
| DATE | |
| SCALE | |
| PROJECT | |
| LOCATION | |
| DESIGNED BY | |
| CHECKED BY | |
| DATE | |

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|-------------|--|
| DATE | |
| SCALE | |
| PROJECT | |
| LOCATION | |
| DESIGNED BY | |
| CHECKED BY | |
| DATE | |

AJINOMOTO OFFICE ADDITION SITE PLAN SUBMITTAL

4105 POOLE ROAD RALEIGH, NORTH CAROLINA



VICINITY MAP
NOT TO SCALE

**Administrative Site Review Application
(for UDO Districts only)**

Development Services Customer Service Center | 1100 Raleigh Plaza, Suite 400 | Raleigh, NC 27601 | (919) 996-2475 | Fax: (919) 996-1831
Litchford Satellite Office | 1330 Litchford Road | Raleigh, NC 27601 | (919) 996-4200



When submitting plans, please check the appropriate building type and include the Plan Checklist document.

| | | | |
|---|--|---|--|
| BUILDING TYPE <input type="checkbox"/> Detached <input checked="" type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse | | FOR OFFICE USE ONLY Transaction Number: Assigned Project Coordinator: Assigned From Leader: | |
| <input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot | | | |
| Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # | | | |
| GENERAL INFORMATION Development Name: Ajinomoto Office Building Addition Zoning District: IX-3 Overlay District (if applicable): n/a Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | | | |
| Proposed Use: Office and clerical work for adjacent industrial facility Property Address: 4105 Poole Rd. Major Street Locator: | | | |
| Wake County Property Identification Number(s) for each parcel to which these guidelines will apply: | | | |
| P.I.N. 4723854087 P.I.N. P.I.N. P.I.N. | | | |
| What is your project type? <input type="checkbox"/> New Residential <input type="checkbox"/> New Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Hospital <input type="checkbox"/> Shopping Center <input type="checkbox"/> Retail <input type="checkbox"/> Office <input type="checkbox"/> Industrial Building <input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institution <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> Office <input type="checkbox"/> Cottage Court Other, if other, please describe: | | | |
| WORK SCOPE Per City Code Section 10.2.B.D.1, summarize the project work scope. For additions, changes of use, or occupancy per Chapter 6 of the UDO, indicate impacts on parking requirements. Addition to an existing building on Lot 1 (1723854087). Installation of a fire suppression system in both the existing and proposed facilities. | | | |
| DESIGN ADJUSTMENT OR ADMIN. ALTERATION Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative Act. | | | |
| CLIENT/DEVELOPER/OWNER Company: Ajinomoto North America, Inc. Name: Andy Storey Address: 4020 Ajinomoto Drive, Raleigh, NC 27610 Phone: 919-723-2152 Email: storeya@ajiusa.com Fax: | | | |
| CONSULTANT (Contact Person for Plans) Company: McKim & Creed, Inc. Name: Jeremy Keeny, PE, PLS Address: 1730 Varsity Drive, Raleigh NC 27606 Phone: 919-233-8091 Email: jkeeny@mckimcreed.com Fax: 919-233-8031 | | | |

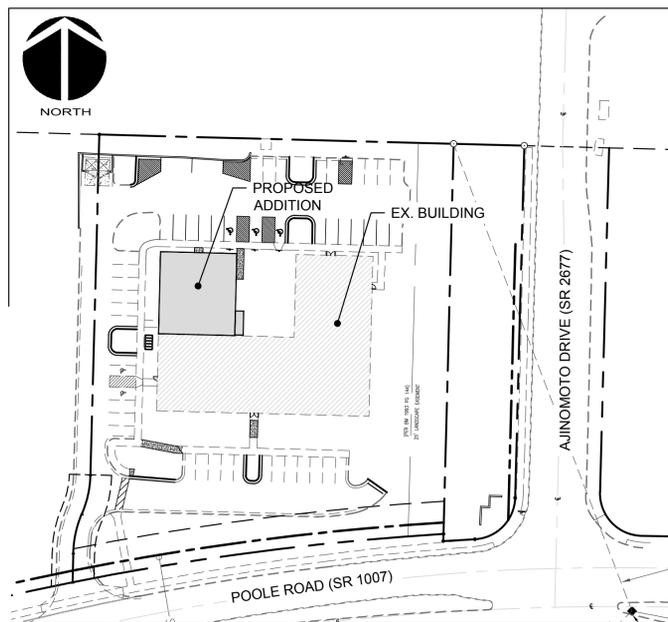
PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

FILE # SR-96-16 - TRANSACTION # 532291
(REFERENCE ORIGINAL TRANSACTION #496212)

DATE: JANUARY 16, 2018

REVISION DATE BLOCK

| SUBMITTAL | SUBMITTED BY | TRANSACTION # | DATE |
|-----------|---------------------|---------------|------------|
| CYCLE #1 | CSD ENGINEERING | 496212 | 2016.11.30 |
| CYCLE #2 | CSD ENGINEERING | 496212 | 2017.02.16 |
| CYCLE #3 | CSD ENGINEERING | 496212 | 2017.05.17 |
| CYCLE #4 | CSD ENGINEERING | 532291 | 2017.10.11 |
| CYCLE #5 | MCKIM & CREED, INC. | 532291 | 2018.01.12 |



OVERALL SITE MAP
SCALE: 1"=60'

PROJECT DATA

NAME OF PROJECT:

AJINOMOTO OFFICE ADDITION

OWNER:

AJINOMOTO NORTH AMERICA, INC.
4020 AJINOMOTO DRIVE
RALEIGH NC 27610 -2911
PHONE: (919) 723-2152
CONTACT: ANDY STOREY
EMAIL: storeya@ajiusa.com

ARCHITECT:

ANDRON ARCHITECT AND ASSOCIATES
11312 SADDLEVIEW COURT
RALEIGH, NC 27613
PHONE: (919) 616-0405
CONTACT: BOB ANDRON, AIA

BUILDER:

BERN DEVELOPMENT
P.O. BOX 1692
WAKE FOREST, NC 27588
PHONE: (919) 427-2572
CONTACT: BERNIE VOLLMER

LAND SURVEYOR:

CH ENGINEERING
3220 GLEN ROYAL ROAD
RALEIGH, NC 27617
PHONE: (919) 256-5469
CONTACT: JEFF MUNN, PLS

PREPARED BY:

MCKIM & CREED
730 VARSITY DRIVE, SUITE 500
RALEIGH, NORTH CAROLINA 27606
PHONE: (919) 233-8091
FAX: (919) 233-8031
CONTACT: JEREMY M. KEENY, PE, PLS
EMAIL: jkeeny@mckimcreed.com

PROJECT AREA: 1.69 ACRES
DISTURBED AREA: 0.86 ACRES

These improvements shall be constructed in accordance with the following plans, and the Standard Specifications of NCDOT and Chatham County.

SHEET INDEX

| SHEET # | SHEET NAME | SEAL DATE |
|----------|---|------------|
| C0.1 | COVER SHEET | 2018.01.12 |
| C0.2 | SURVEY (CH ENGINEERING) | 2018.01.12 |
| C0.3 | EXISTING CONDITIONS AND DEMOLITION PLAN | 2018.01.12 |
| C1.1 | SITE PLAN | 2018.01.12 |
| C2.0 | UTILITY PLAN | 2018.01.12 |
| C2.1 | WATER LINE PLAN AND PROFILE | 2018.01.12 |
| C3.0 | EROSION CONTROL PLAN - PHASE 1 | 2018.01.12 |
| C4.0 | GRADING PLAN | 2018.01.12 |
| C5.0 | LANDSCAPING PLAN | 2018.01.12 |
| 17-0226A | SITE LIGHTING PLAN (DUKE PROGRESS ENERGY) | |
| A2 | ELEVATIONS (BY OTHERS) | 2017.12.16 |
| D1.0 | EROSION CONTROL DETAILS | 2018.01.12 |
| D1.1 | EROSION CONTROL DETAILS | 2018.01.12 |
| D2.0 | SITE DETAILS | 2018.01.12 |
| D3.0 | UTILITY DETAILS | 2018.01.12 |
| D3.1 | UTILITY DETAILS | 2018.01.12 |
| D3.2 | UTILITY DETAILS | 2018.01.12 |

NOTES:

- BOUNDARY AND TOPO INFORMATION PROVIDED BY CH ENGINEERING. (SEE SHEET C0.2.)
- THIS MAP IS NOT FOR CONVEYANCE, RECORDATION, OR SALES (SEE SHEET C0.2.)
- THIS PROPERTY IS LOCATED WITHIN ZONE "X" ACCORDING TO FEMA FIRM COMMUNITY PANEL NUMBER 3720172300J, EFFECTIVE DATE 5/2/2006.
- PROPERTY IS ZONED IX-3 (INDUSTRIAL MIXED USE).
- LAND CLASSIFICATION: INDUSTRIAL.
- ALL CONSTRUCTION TO CONFORM TO CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- CONTRACTOR TO COORDINATE ANY REQUIRED TRAFFIC CONTROL PERMITS WITH THE CITY OF RALEIGH AND NCDOT.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OR ANY RELOCATIONS, RE-ALIGNMENTS, DISCONNECTIONS, OR CONNECTION OF EXISTING UTILITIES WITH APPLICABLE AUTHORITIES.
- CLEARING AND GRUBBING OF SITE TO INCLUDE REMOVAL OF EXISTING CURB, ASPHALT, INLETS, AND ANY OTHER STRUCTURES INCLUDING TREES, STUMPS AND DEBRIS EXISTING ON SITE. TREES NOT REQUIRED TO BE CLEARED FOR CONSTRUCTION SHALL REMAIN UNLESS OTHERWISE DIRECTED.
- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PRIVATE UTILITY LOCATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT HIS EXPENSE. PARKING AREAS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- NO GEOTECHNICAL TESTING HAS BEEN PERFORMED ON SITE. NO WARRANTY IS MADE FOR SUITABILITY FOR SUBGRADE, AND UNDERCUT AND ANY REQUIRED REPLACEMENT WITH SUITABLE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- EXTREME CARE SHALL BE TAKEN TO ENSURE MINIMUM SEPARATIONS AT ALL UTILITY CROSSING.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMIT AND INSPECTIONS.
- AFFECTED NON-MUNICIPAL UTILITIES SHALL BE CONTACTED AND PROVIDED WITH PLANS AND OTHER PERTINENT INFORMATION, WHEN FEASIBLE, TO COORDINATE APPROPRIATE SCHEDULING AND PLACEMENT.
- THIS LOT IS SUBJECT TO RESTRICTIVE COVENANTS - DB 8820, PG 1173.
- SOLID WASTE COMPLIANCE STATEMENT:
 • DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE COLLECTION DESIGN MANUAL.
 • SOLID WASTE PICK UP OCCURS EVERY OTHER WEEK WHILE RECYCLING PICK UP IS EVERY WEEK. THERE IS NO COMPACTOR ON SITE.
 • SOLID WASTE SERVICE PROVIDER: WASTE INDUSTRIES AUDREY BECKER (919.662.7100)



PRELIMINARY DRAWINGS
FOR REVIEW PURPOSES ONLY

| DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments) | |
|--|---|
| Zoning Information | Building Information |
| Zoning District(s) IX | Proposed building use(s) Business and office work |
| If more than one district, provide the acreage of each: | Existing Building(s) sq. ft. gross 11,338 SF |
| Overlay District: N/A | Proposed Building(s) sq. ft. gross 3,223 SF |
| Total Site Acres Inside City Limits: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> 1.69 AC. | Total sq. ft. gross (existing & proposed) 14,561 SF |
| Off street parking: Required: N/A Provided: | Proposed height of building(s) 20.0' |
| COA (Certificate of Appropriateness) case # N/A | # of stories 1 |
| BOA (Board of Adjustment) case # A- N/A | Calling height of 1st Floor 10' |
| CUO (Conditional Use District) case # 2- N/A | |
| Stormwater Information | |
| Existing Impervious Surface: 9742.097 acres/square feet | Flood Hazard Area: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Proposed Impervious Surface: 9541.302 acres/square feet | If Yes, please provide: Flood Study N/A |
| Neuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| FOR RESIDENTIAL DEVELOPMENTS | |
| 1. Total # of Apartment, Condominium or Residential Units: N/A | 5. Bedroom Units: 3br 2br 3br 4br or more: N/A |
| 2. Total # of Congregate Care Or Life Care Dwelling Units: N/A | 6. Infill Development: 2,2,7 N/A |
| 3. Total Number of Hotel Units: N/A | 7. Open Space (park) or Amenity: N/A |
| 4. Overall Total # of Dwelling Units (1-6 Above): N/A | 8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| SIGNATURE BLOCK (Applicable to all developments) | |
| In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City. | |
| I hereby designate <u>Jeremy Keeny, PE, PLS</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application. | |
| (We have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.) | |
| Signed: <u>D. Andrew Storey</u> Date: <u>1/16/2018</u> | |
| Printed Name: <u>D. Andrew Storey</u> | |
| Signed: _____ Date: _____ | |
| Printed Name: _____ | |

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| TO BE COMPLETED BY APPLICANT | YES | N/A | NO | YES | NO | N/A |
|---|--------------------------|-----|----|-----|----|-----|
| General Requirements | | | | | | |
| 1. Filing Fee For Plan Review - Payments may be made by cash, Visa, Master Card or check (made payable to the City of Raleigh) | <input type="checkbox"/> | | | | | |
| 2. Administrative Site Review Application completed and signed by the property owner(s) | <input type="checkbox"/> | | | | | |
| 3. Client must complete and adhere page 1 and 2 of the Administrative Site Review Application to the plan cover sheet | <input type="checkbox"/> | | | | | |
| 4. I have referenced the Administrative Site Review Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh | <input type="checkbox"/> | | | | | |
| 5. Provide the following plan sheets: | | | | | | |
| a) Cover sheet: includes general notes, owner's name, telephone number, mailing address and email address | <input type="checkbox"/> | | | | | |
| b) Existing Conditions Sheet, including, but not limited to, structures, buildings, utilities, infrastructure, and vegetation | <input type="checkbox"/> | | | | | |
| c) Proposed Site Plan | <input type="checkbox"/> | | | | | |
| d) Proposed Grading Plan | <input type="checkbox"/> | | | | | |
| e) Proposed Stormwater Plan, including preliminary stormwater quantity and quality summary and calculations package. If not required, provide City Code section on front cover. | <input type="checkbox"/> | | | | | |
| f) Proposed Utility Plan, including Fire | <input type="checkbox"/> | | | | | |
| g) Proposed Tree Conservation Plan - For secondary Tree Conservation Areas, include two copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester. If not required, provide City Code section on front cover. | <input type="checkbox"/> | | | | | |
| h) Proposed Landscape Plan | <input type="checkbox"/> | | | | | |
| i) Building elevations that show existing and/or proposed building height. If demolition, do not include buildings to be demolished. | <input type="checkbox"/> | | | | | |
| j) Transportation Plan | <input type="checkbox"/> | | | | | |
| 6. Ten (10) sets of proposed plans to engineering scale (1"=20', 1"=100', etc.), and date of preparation. For resubmittals - include all revision dates | <input type="checkbox"/> | | | | | |
| 7. Minimum plan size 11"x14" not to exceed 36"x42" | <input type="checkbox"/> | | | | | |
| 8. A vicinity map no smaller than 1"=500' and no larger than 1"=1000' to the inch, showing the location of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan | <input type="checkbox"/> | | | | | |
| 9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map | <input type="checkbox"/> | | | | | |
| 10. Digital copy of only the plan and elevations. Label the CD or flash drive with the plan name, case file number, and indicate the revision cycle #. | <input type="checkbox"/> | | | | | |
| 11. Wake County School Form, if dwelling units are proposed | <input type="checkbox"/> | | | | | |
| 12. If applicable, zoning conditions adhered to the plan cover sheet | <input type="checkbox"/> | | | | | |

PAGE 3 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

MCKIM & CREED
1730 Varsity Drive, Suite 500
Raleigh, North Carolina 27606
Phone: (919)233-8091, Fax: (919)233-8031
F-1222

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AJINOMOTO OFFICE ADDITION

05734-0002

SITE PLAN SUBMITTAL - FOR REVIEW PURPOSES ONLY

| CURVE | RADIUS | ARC LENGTH | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|----------|------------|-------------|---------------|--------------|
| C1 | 1964.86' | 264.85' | 7°43'23" | S 82°36'49" W | 264.65' |
| C2 | 75.00' | 28.40' | 21°41'54" | N 12°22'58" E | 28.23' |
| C3 | 75.00' | 28.40' | 21°41'54" | N 12°22'58" E | 28.23' |
| C4 | 30.00' | 44.85' | 85°39'01" | S 44°20'39" W | 40.79' |
| C5 | 1959.86' | 22.37' | 0°39'14" | S 86°47'22" W | 22.37' |

EXISTING CONDITIONS NOTES:

- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- THE PARCEL INFORMATION SHOWN HEREON ARE SUBJECT TO ANY AND ALL EASEMENTS, RIGHTS OF WAY AND RESTRICTIONS OF RECORD. THE PARCELS AS SHOWN WERE DRAWN FROM FIELD TIES MADE TO PROPERTY CORNERS AND BY USING RECORDED DEED AND PLAT INFORMATION TO PLOT THE ENTIRE PARCEL.
- THE HORIZONTAL AND VERTICAL DATUM WAS ESTABLISHED, USING THE NC RTK NETWORK. THE HORIZONTAL DATUM IS NAD 83/NSRS 2007. THE VERTICAL DATUM IS NAVD 88.
- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.

DEMOLITION NOTES:

- NO EARTH-DISTURBING ACTIVITIES SHALL COMMENCE UNTIL ALL PERIMETER EROSION CONTROL MEASURES ARE IN PLACE IN ACCORDANCE WITH THE EROSION CONTROL SEQUENCE SHOWN IN THESE PLANS.
- NO EARTH-DISTURBING ACTIVITY OR OTHER WORK SHALL TAKE PLACE WITHIN WETLAND AREAS NOTED ON SURVEY. CONTRACTOR SHALL FIELD VERIFY WETLAND LIMITS FLAGGING IS IN PLACE AND SHALL NOT ENTER WETLAND AREAS. IF WETLAND FLAGGING IS MISSING OR OTHERWISE DAMAGED, IT IS CONTRACTOR'S RESPONSIBILITY TO NOTE WETLAND LIMITS AND PREVENT DISTURBANCE OR OTHER ACTIVITY WITHIN WETLANDS.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL PROPERTY CORNER MONUMENTS, AND SHALL HAVE, AT HIS EXPENSE, ALL CORNER MONUMENTS REPLACED WHICH ARE DISTURBED BY CONSTRUCTION ACTIVITIES.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS, AT HIS EXPENSE, DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE PUBLIC DURING CONSTRUCTION, WHICH INCLUDES, BUT IS NOT LIMITED TO, CONSTRUCTION FENCING, BARRICADES, SIGNAGE, ETC.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH ALL REGULATIONS GOVERNING THE DEMOLITION, REMOVAL, TRANSPORTATION AND DISPOSAL OF ALL DEMOLITION DEBRIS.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
- CONTRACTOR SHALL TAKE SPECIAL CARE TO PROTECT ALL UTILITIES AND APPURTENANCES TO REMAIN.
- NOTES SHOWN HEREON REGARDING SPECIFIC ITEMS OF DEMOLITION ARE GENERAL IN NATURE, AND ARE NOT INTENDED TO BE WHOLLY INCLUSIVE. THE CONTRACTOR SHALL DEMOLISH AND REMOVE ALL EXISTING IMPROVEMENTS TO THE EXTENT AS NOTED ON THE PLANS TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR TO MAINTAIN WATER SERVICE TO THE EXISTING BUILDING AND AJINOMOTO FACILITY AT ALL TIMES.
- CONTRACTOR TO REMOVE CONCRETE SIDEWALK TO THE NEXT JOINT AS REQUIRED.

SURVEY NOTES:

- TOPOGRAPHIC AND SURVEY INFORMATION PROVIDED BY CH ENGINEERING, DATED 3/13/17. SEE SHEET CO.2. ALL NOTES, LIMITATIONS, AND DISCLAIMERS CONTAINED IN THIS INFORMATION SOURCE SHALL ALSO APPLY TO THE INFORMATION DEPICTED IN THESE PLANS.
- THE CURRENT TOPOGRAPHIC SURVEY DOES NOT INCLUDE THE ENTIRE SITE. ONLY PORTIONS THAT ARE NEEDED FOR FULL ENGINEERING DESIGN OF SITE IMPROVEMENTS: ONE FOOT CONTOUR INTERVALS. ALL OTHER INFORMATION SHOWN HEREON IS APPROXIMATE AND IS SHOWN PER AVAILABLE GIS AND AERIAL INFORMATION.
- A TREE SURVEY WAS PERFORMED WITHIN THE LIMITS OF THE TOPOGRAPHIC SURVEY (BY OTHERS).
- A LEGEND FOR THE TREES LOCATED AS PART OF THE CURRENT LAND SURVEY HAS BEEN PROVIDED ON SHEET CO.2.
- A LEGEND FOR TREES AND PLANTS NOT SURVEYED HAS ALSO BEEN PROVIDED ON SHEET CO.2 (INFORMATION PROVIDED BY OTHERS).
- UNDERGROUND UTILITIES WERE MARKED AND LOCATED BY CH ENGINEERING.
- THIS LOT IS SUBJECT TO RESTRICTIVE COVENANTS - DB 8820, PG 1173.
- THIS PROJECT SITE IS LOCATED WITH ZONE "X" ACCORDING TO FEMA FIRM COMMUNITY PANEL NUMBER 3720172300J, EFFECTIVE DATE 5/02/2006.

EXISTING CONDITIONS LEGEND:

| | | | |
|-----|--------------------------|---|---------------------------|
| --- | EX. NCDOT R/W | ⊗ | COTTONWOOD TREE |
| --- | EX. CONTOUR | ⊙ | CREPE MYRTLE |
| --- | EX. UNDERGROUND ELECTRIC | ⊙ | ELM TREE |
| --- | OVERHEAD POWER LINE | ⊙ | OAK TREE |
| --- | EX. WATER MAIN | ⊙ | CEDAR TREE |
| --- | EX. STORM DRAINAGE PIPE | ⊙ | PINE TREE |
| --- | EX. SANITARY SEWER | ⊙ | SOURWOOD TREE |
| ⊕ | TEMPORARY BENCHMARK | ⊙ | HOLLY TREE |
| ⊙ | SEWER CLEANOUT | ⊙ | VAULT |
| ⊙ | GREASE TRAP MANHOLE | ⊙ | DROP INLET |
| ⊙ | POWER POLE | ⊙ | CATCH BASIN OR CURB INLET |
| ⊙ | ELECTRIC TRANSFORMER | ⊙ | GATE POST |
| ⊙ | LIGHT POLE | ⊙ | SIGN POST |
| ⊙ | STORM MANHOLE | | |
| ⊙ | FIRE HYDRANT | | |
| ⊙ | WATER METER | | |
| ⊙ | WATER VALVE | | |
| ⊙ | WATER MANHOLE | | |
| ⊙ | BACK FLOW PREVENTER | | |
| ⊙ | TELEPHONE MANHOLE | | |

DEMOLITION LEGEND:

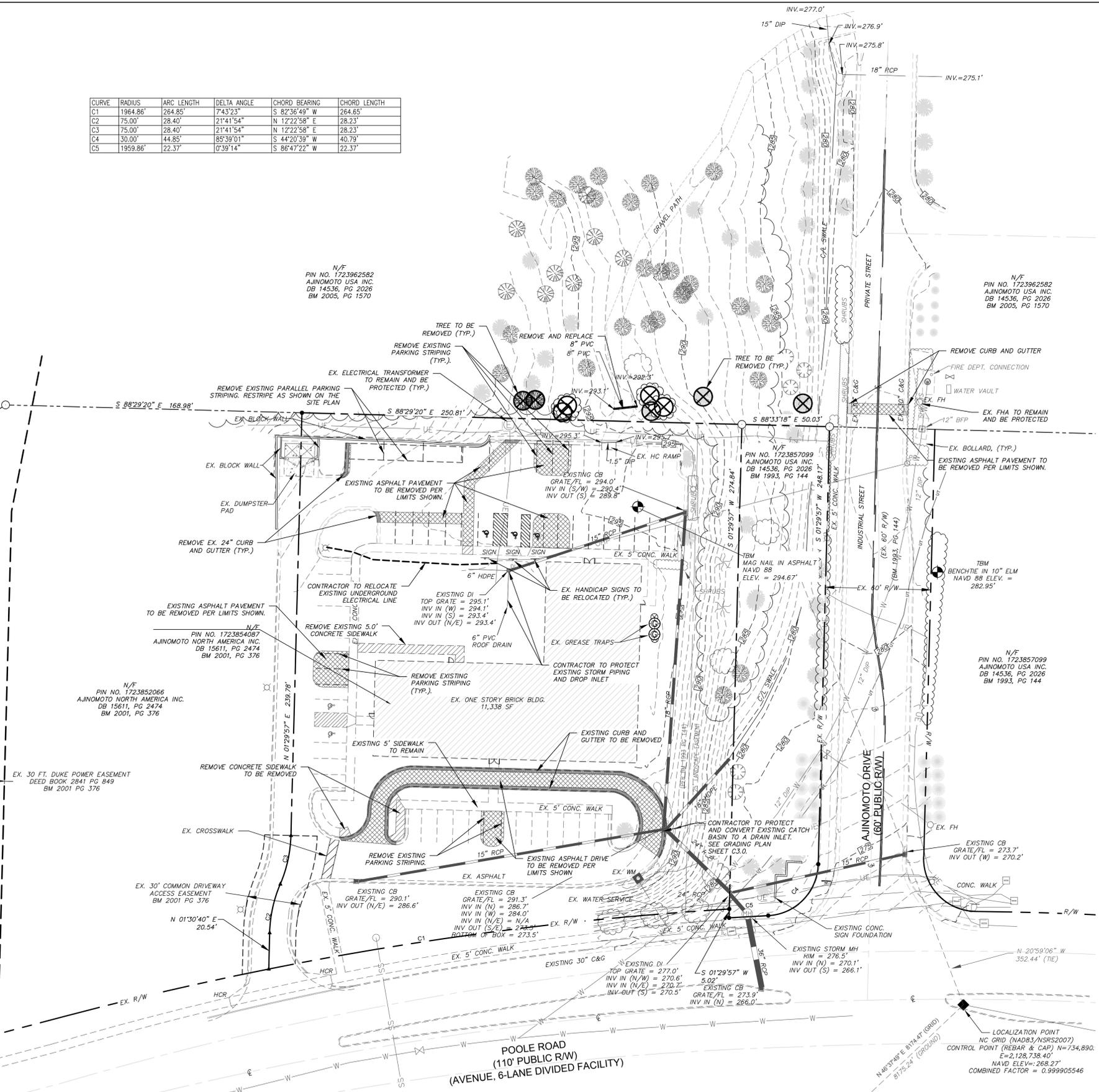
| | |
|-----|--|
| --- | EXISTING CURB AND GUTTER TO BE REMOVED |
| --- | EXISTING PAVEMENT TO OPEN CUT |
| --- | EXISTING SIDEWALK TO BE REMOVED |
| ⊗ | TREE TO BE REMOVED |

***** NOTICE TO CONTRACTOR *****

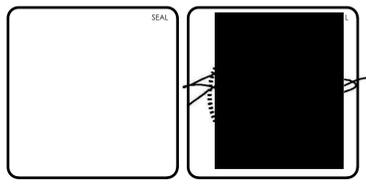
THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL AND VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR.



SCALE: 1"=30' (Horiz.)



| REV. | DESCRIPTION | DATE |
|------|--------------------------------|------------|
| A | RESUBMITTAL TO CITY OF RALEIGH | 2017.01.16 |



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1730 Varsity Drive, Suite 500
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LOCALIZATION POINT
 NC GRID (NAD83/NSRS2007)
 CONTROL POINT (REBAR & CAP) N=734,890.
 E=2,128,738.40'
 NAVD ELEV.=268.27'
 COMBINED FACTOR = 0.999905546

AJINOMOTO OFFICE ADDITION
RALEIGH, NORTH CAROLINA

EXISTING CONDITIONS AND
DEMOLITION PLAN

| | | |
|--|---------------------------|-------------------------|
| DATE: JANUARY 16, 2018 | SCALE: HORIZONTAL: 1"=30' | MISC. FILE NUMBER: C0.3 |
| MCE PROJ. #: 05734-0002 | VERTICAL: N/A | DRAWING NUMBER: C0.3 |
| DRAWN: DJB | | |
| DESIGNED: DJB | | |
| CHECKED: JMK | | |
| PROJ. MGR.: JMK | | |
| STATUS: SITE PLAN SUBMITTAL FOR REVIEW PURPOSES ONLY | REVISION: A | |

| CURVE | RADIUS | ARC LENGTH | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
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| C5 | 1959.86' | 22.37' | 0°39'14" | S 86°47'22" W | 22.37' |

SITE GENERAL NOTES:

- ALL CONSTRUCTION IS TO BE PERFORMED IN ACCORDANCE WITH THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.
- ALL PERMITS RELATING TO THIS PROJECT MUST BE OBTAINED PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LAYOUT AND CONTACT ENGINEER WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ACCESSIBLE CURB CUT RAMP SHALL BE PROVIDED WHERE SIDEWALKS INTERSECT CURBING. ALL CURB CUT RAMP DETAILS SHALL CONFORM TO AND REFERENCE THE NC STATE ACCESSIBILITY CODE. CURB CUT RAMP WITHIN THE R/W SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS.
- MECHANICAL EQUIPMENT WILL BE SCREENED PER CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 7.2.5.
- ASPHALT PARKING LOT TO BE STRIPED WITH 4" WIDE PAINTED WHITE LINES AS INDICATED. PAINT SHALL BE SHERWIN WILLIAMS "PROMAR TRAFFIC MARKING".
- PAINTED TRAFFIC ARROWS AND ALL SIGNS, PAVEMENT MARKINGS, ETC. SHALL CONFORM TO M.U.T.C.D. STANDARDS.
- ALL PROPERTY CORNERS ON SITE SHALL BE MONUMENTED AT LEAST 1' ABOVE FINISHED GRADE AT COMPLETION OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF ALL WORK AS ILLUSTRATED ON PLANS. IF EXISTING CONDITIONS DIFFER FROM THOSE ILLUSTRATED ON PLANS, THE CONTRACTOR IS TO NOTIFY THE ENGINEER AND OWNER IMMEDIATELY.
- PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC, AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, CONTRACTOR SHALL REPAIR IMMEDIATELY AS DIRECTED BY THE OWNER/ENGINEERS.
- CONTRACTOR SHALL HOLD HARMLESS THE OWNER AND ENGINEER FOR DAMAGES, INJURIES OR OTHER ACCIDENTS WHICH OCCUR DURING THESE CONSTRUCTION ACTIVITIES.

LEGEND:

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EX. ACCESS EASEMENT
- PROP. PUBLIC UTILITY EASEMENT
- 15.0' C2 BUFFER YARD LINE
- ADA ACCESSIBLE ROUTE
- HEAVY DUTY CONCRETE
- HEAVY DUTY ASPHALT
- CONCRETE SIDEWALK
- OUTDOOR AMENITY AREA
- LONG TERM BICYCLE PARKING
- SHORT TERM BICYCLE PARKING

SIGN LEGEND:



SITE DATA TABLE:

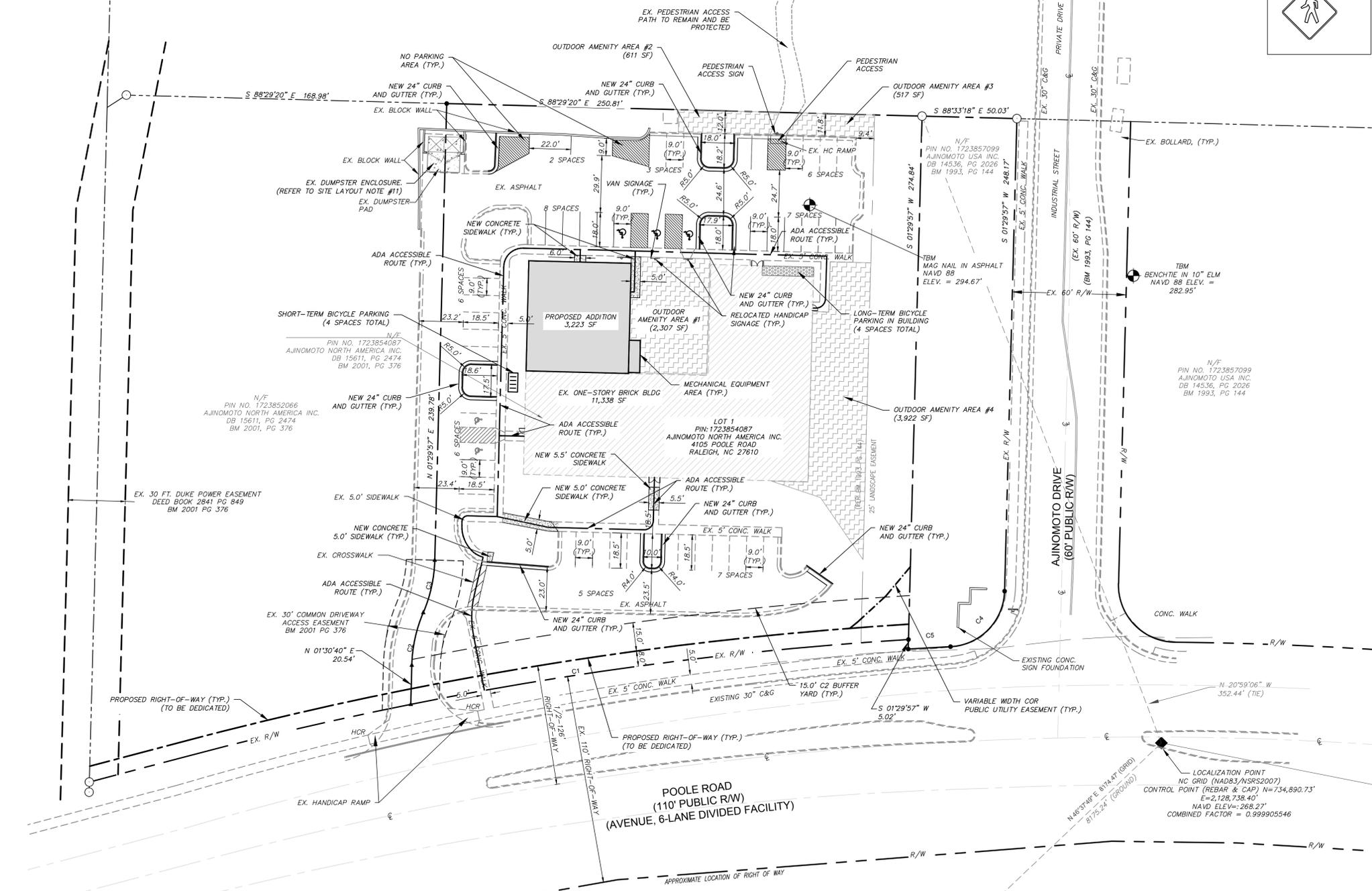
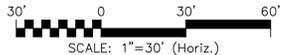
- PROPERTY IDENTIFICATION NUMBER:**
PARCEL #1 1723854087 (4105 POOLE ROAD, RALEIGH NC 27610)
- LAND CLASSIFICATION:** INDUSTRIAL
- PROJECT AREA/ZONING:**
PARCEL #1 73,573 SF (1.69 AC) ZONING: IX-3
- EXISTING ONSITE IMPERVIOUS AREA:**
EXISTING BUILDING = 11,338 SF
EXISTING PARKING/DRIVE/SIDEWALK = 30,759 SF
TOTAL = 42,097 SF
- PROPOSED IMPERVIOUS AREA:**
EXISTING BUILDING = 11,338 SF
PROPOSED BUILDING ADDITION = 3,223 SF
EXISTING PARKING/DRIVES/SIDEWALKS = 26,847 SF
TOTAL PROPOSED IMPERVIOUS AREA = 41,408 SF
- BUILDING DATA:**
NUMBER OF BUILDINGS = 1
BUILDING HEIGHT = ±11 FT
NUMBER OF STORIES = 1
PARCEL #1 LOT COVERAGE: 11,338 SF / 73,573 SF = 0.154
EXISTING 15.4% BUILDING LOT COVERAGE
- PARKING SPACES:**
CATEGORY/ USE: COMMERCIAL/OFFICE
PARKING REQUIRED: 1 SPACE PER 400 SF OF GROSS FLOOR AREA
PARKING PROVIDED: 45 SPACES
HANDICAP SPACES PROVIDED: 5 SPACES
TOTAL PARKING SPACES: 50 SPACES
BICYCLE PARKING PROVIDED:
SHORT TERM BICYCLE PARKING: 1 SPACE PER 10,000 SF OF GROSS AREA, MINIMUM OF 4
14,461 SF / 10,000 SF = 1.4 SHORT TERM BICYCLE PARKING PROVIDED: 4 MINIMUM
LONG TERM BICYCLE PARKING: 1 SPACE PER 5,000 SF OF GROSS AREA, MINIMUM OF 4
14,461 SF / 5,000 SF = 2.9 SHORT TERM BICYCLE PARKING PROVIDED: 4 MINIMUM
- OUTDOOR AMENITY AREA CALCULATIONS:**
OUTDOOR AMENITY REQUIREMENT = 10% OF OVERALL SITE AREA (0.1*73,573 = 7,357 SF)
OUTDOOR AMENITY AREA #1 = 2,307 SF
OUTDOOR AMENITY AREA #2 = 611 SF
OUTDOOR AMENITY AREA #3 = 517 SF
OUTDOOR AMENITY AREA #4 = 3,922 SF
TOTAL OUTDOOR AMENITY AREA PROVIDED = 7,357 SF
- SETBACKS**
SIDE SETBACK: 0'-6"
REAR SETBACK: 0'-6"
FRONT SETBACK: 15.0' C2 BUFFER YARD

SITE LAYOUT NOTES:

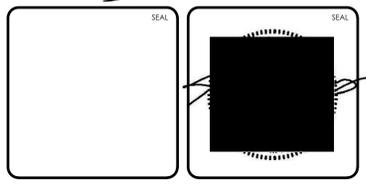
- RADI AND DIMENSIONS ARE TO FACE OF CURB, FACE OF BUILDING, UNLESS OTHERWISE NOTED WITH "B-B" (BACK OF CURB TO BACK OF CURB).
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER IF ANY DISCREPANCIES EXIST PRIOR TO CONSTRUCTION. NO ADDITIONAL COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- UNLESS OTHERWISE NOTED, ALL CURB INDICATED SHALL BE 24" CONCRETE CURB AND GUTTER.
- ALL PARKING SPACES INDICATED AS HANDICAPPED SPACES SHALL RECEIVE HANDICAP PAVEMENT MARKINGS AS SHOWN ON PLANS. STALL LABELED "VAN" TO RECEIVE A "VAN ACCESSIBLE" SIGN IN ADDITION TO THE ABOVE.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE POINTS.
- GENERAL CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
- ASPHALT PARKING LOT TO BE STRIPED WITH 4" WIDE PAINTED WHITE LINES AS INDICATED. PAINT SHALL BE SHERWIN WILLIAMS "PROMAR TRAFFIC MARKING".
- ALL CONCRETE SIDEWALKS AND APRONS SHALL RECEIVE EXPANSION JOINTS AT 25'0" UNLESS OTHERWISE NOTED. SEE DETAIL SHEET. SAW CUT JOINTS SHALL BE PLACED AS SHOWN ON PLANS.
- THE MINIMUM SIDEWALK WIDTH FOR AN ACCESSIBLE PATH WHERE DIRECTLY ADJACENT TO PERPENDICULAR PARKING SPACES WITHOUT WHEEL STOPS IS SIX (6) FEET AND SIX (6) INCHES AS MEASURED FROM THE CURB FACE.
- THE CONTRACTOR SHALL REFER TO THE STRUCTURAL, ARCHITECTURAL, MECHANICAL AND ELECTRICAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE POINTS.
- PER THE CITY OF RALEIGH UDD SECTION 7.2.5.C.3 REQUIREMENTS, THE EXISTING DUMPSTER ENCLOSURE IS SURROUNDED ON THREE SIDES WITH A WALL (BRICK) AND THE FRONT HAS A SOLID GATE. ALL WALLS AND THE GATE ARE A MINIMUM OF 6.0' TALL AS REQUIRED.
- CONTRACTOR TO VERIFY THE ACCESSIBLE PATH SHOWN IS PER THE CITY OF RALEIGH REQUIREMENTS.

***** NOTICE TO CONTRACTOR *****

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| REV. | DESCRIPTION | DATE |
|------|-------------------------------|------------|
| A | RESUBMITAL TO CITY OF RALEIGH | 2017.01.16 |



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AJINOMOTO OFFICE ADDITION
RALEIGH, NORTH CAROLINA

SITE PLAN

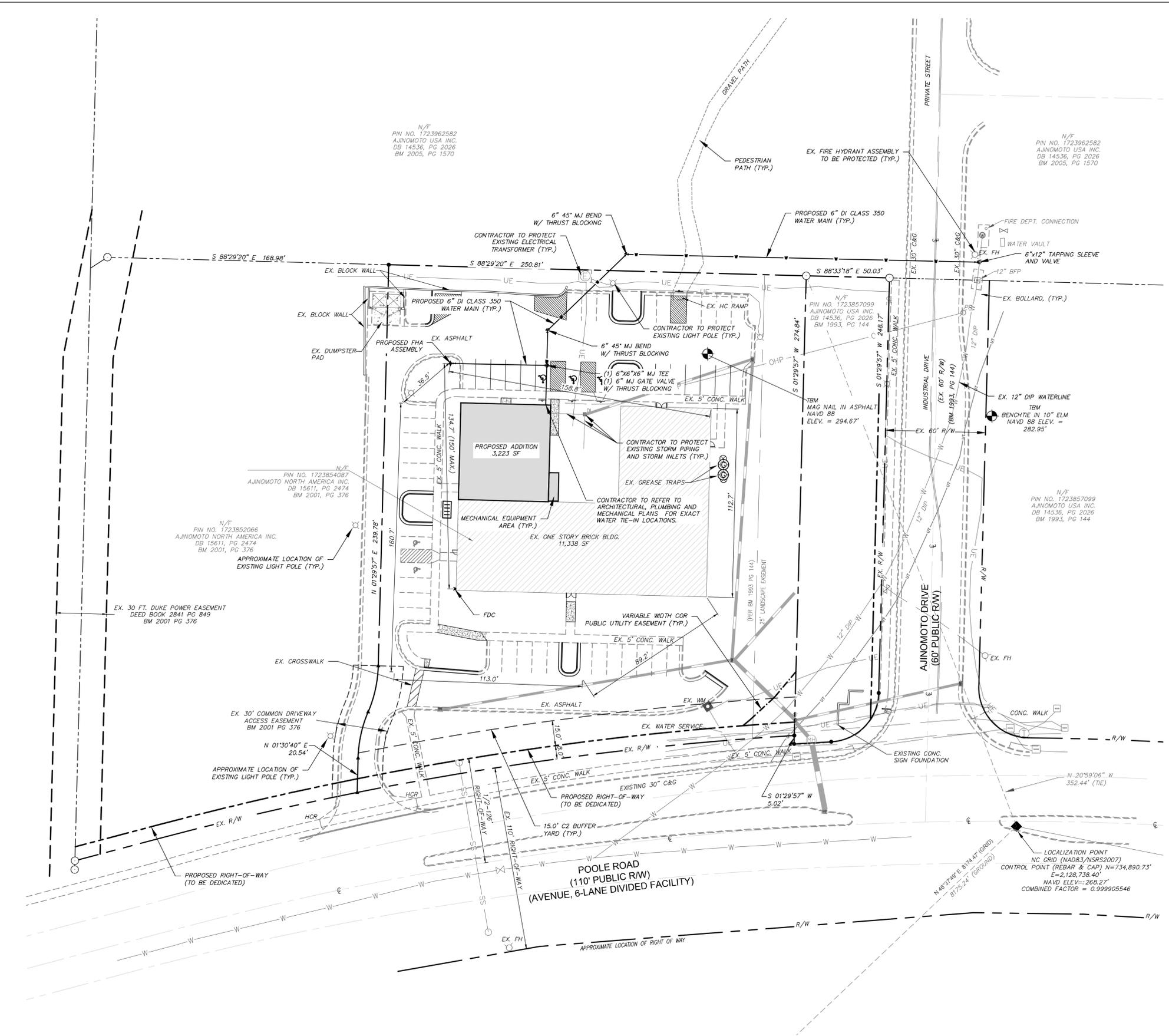
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|--|---------------------------|-------------------------|
| DATE: JANUARY 16, 2018 | SCALE: HORIZONTAL: 1"=30' | MISC. FILE NUMBER: C1.0 |
| MCE PROJ. #: 05734-0002 | VERTICAL: N/A | DRAWING NUMBER: C1.0 |
| DRAWN: DJB | | |
| DESIGNED: DJB | | |
| CHECKED: JMK | | |
| PROJ. MGR.: JMK | | |
| STATUS: SITE PLAN SUBMITTAL FOR REVIEW PURPOSES ONLY | REVISION: A | |

LEGEND:

| | |
|-----------|----------------------------|
| --- | EXISTING PROPERTY LINE |
| - - - | ADJACENT PROPERTY LINE |
| - · - · - | PROP. RIGHT-OF-WAY LINE |
| - · - · - | ACCESS EASEMENT |
| - · - · - | EX. NCDOT R/W |
| - · - · - | 15.0' C2 BUFFER YARD |
| SS | EX. SEWER LINE |
| W | EX. WATER LINE |
| --- | EX. STORM DRAINAGE LINE |
| UT | EX. UNDERGROUND TELEPHONE |
| W | PROP. WATER LINE |
| UE | EX. UNDERGROUND ELECTRICAL |
| OHP | EX. OVERHEAD POWER LINE |
| --- | PUBLIC UTILITY EASEMENT |
| --- | PROP. STORM PIPE |
| ⊙ | EX. LIGHT POLE |
| ⊗ | EX. GATE VALVE |
| ⊙ | EX. FIRE HYDRANT |
| ⊙ | PROP. FDC |
| ⊙ | PIV |
| ⊙ | PROPOSED STORM MANHOLE |
| ⊗ | GATE VALVE |

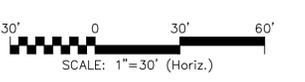
- GENERAL UTILITY NOTES:**
- ALL WATER AND SEWER LINES SHALL BE INSTALLED WITH A MINIMUM OF 3 FEET OF COVER.
 - MAINTAIN 24" MINIMUM VERTICAL SEPARATION BETWEEN UTILITIES.
 - VERIFY ALL ILLUSTRATED UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF CONFLICTS ARE ENCOUNTERED.
 - CONTRACTOR SHALL COORDINATE UTILITY RELOCATION OR ABANDONMENT WITH LOCAL UTILITY COMPANIES AS REQUIRED.
 - UTILITIES WILL NOT ENCROACH UPON PROTECTED AREAS OR RUN PARALLEL THROUGH ANY REQUIRED BUFFER.
 - WATER AND SEWER SHALL BE AT LEAST 10 FEET LATERALLY FROM EXISTING SEWERS, WHERE LOCAL CONDITIONS PREVENT A SEPARATION OF 10 FEET, THE WATER MAIN MAY BE LAID CLOSER PROVIDED THAT THE ELEVATIONS OF THE BOTTOM OF THE WATER MAIN IS AT LEAST 24 INCHES ABOVE THE TOP OF THE SEWER WITH A HORIZONTAL SEPARATION OF AT LEAST 3 FEET.
 - IT IS THE RESPONSIBILITY OF THE OWNER OR HIS REPRESENTATIVES TO LOCATE AND IDENTIFY ALL EXISTING AND PROPOSED UTILITIES AND TO CLEARLY INDICATE THEM ON THE APPROVED PLANS.
 - ALL PIPES SHALL SLOPE IN A POSITIVE DIRECTION.
 - ALL CONSTRUCTION TO CONFORM TO THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF UTILITY TIE-INS.
 - BACKFLOW PREVENTER TO BE LOCATED INSIDE RISER ROOM. CONTRACTOR TO REFER TO PLUMBING PLANS FOR EXACT LOCATION.
 - ALL NEW POWER LINES, CABLE, ETC. TO BE INSTALLED UNDERGROUND.
 - GAS LINE TO BE DESIGNED AND INSTALLED BY PSNC. GAS LINE TO BE PLACED A MINIMUM OF 10 FEET HORIZONTAL DISTANCE FROM WATER AND SEWER LINES, WHEN POSSIBLE.
 - SLOPES SHALL NOT BE GREATER THAN 3:1 WHERE UNDERGROUND ELECTRIC UTILITIES LINES ARE PROPOSED.
 - ALL VALVE BOXES AND COVERS, STORM DRAINAGE GRATES AND MANHOLE COVERS SHALL MEET ASTM A38, GRADE 358 IRON REQUIREMENTS.
 - SLOPES SHALL NOT BE GREATER THAN 3:1 WHERE UNDERGROUND ELECTRIC UTILITIES LINES ARE PROPOSED.
 - ALL LIGHT POLES, LIGHT POLE BASES, SIGN POLES AND TRAFFIC BOLLARDS ARE TO BE BLACK.
 - PROPOSED PARKING LOT FIXTURES TO MEET THE CLEARANCE REQUIREMENTS OF UDO SECTION 7.1.7.G.1. LIGHTING FIXTURES MUST BE LOCATED AT LEAST 20 FEET FROM A TREE, MEASURED FROM THE POLE OF THE LIGHTING FIXTURE TO THE TRUNK OF THE TREE.
 - FIRE FLOW ANALYSIS TO BE PROVIDED AT BUILDING PERMIT PER COMMENT.

- WATER UTILITY NOTES:**
- WATER LINES TO BE INSTALLED PER THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 - WATER SERVICE TO ADJACENT PROPERTIES SHALL BE MAINTAINED AND REMAIN UNINTERRUPTED FOR THE DURATION OF THE PROJECTS CONSTRUCTION.
 - CONTRACTOR TO LOCATE LATERAL TIE-INS PER PLUMBING PLANS.
 - WATER MAINS SHALL BE 18" ABOVE OR 10' HORIZONTAL SEPARATION FROM SANITARY SEWER LINES OR OTHER UTILITIES. THERE SHALL BE 24" VERTICAL SEPARATION FROM STORM SEWER LINES.
 - WATER MAIN SHALL BE INSTALLED WITH A MINIMUM 3.0' OF COVER AS MEASURED FROM FINISHED SUBGRADE TO TOP OF PIPE.
 - UTILITY SERVICE AREAS LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY THAT EXCEEDS 42" INCHES IN HEIGHT AND 42" INCHES IN ANY OTHER DIMENSION MUST BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY AS REQUIRED PER UDO SECTION 7.2.5.E.
 - MECHANICAL EQUIPMENT WILL BE SCREENED PER CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 7.2.5.

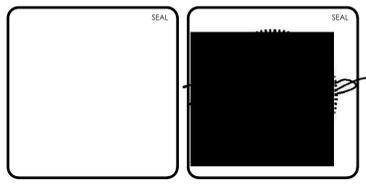


***** NOTICE TO CONTRACTOR *****

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| REV. NO. | DESCRIPTION | DATE |
|----------|-------------------------------|------------|
| A | RESUBMITAL TO CITY OF RALEIGH | 2017.01.16 |



MCKIM & CREED

1730 Varsity Drive, Suite 500
 Raleigh, North Carolina 27606
 Phone: (919)233-8091, Fax: (919)233-8031
 F-1222

www.mckimcreed.com

PROJECT: AJINOMOTO OFFICE ADDITION
 LOCATION: RALEIGH, NORTH CAROLINA

UTILITY PLAN

| | | |
|--|---------------------------|-------------------------|
| DATE: JANUARY 16, 2018 | SCALE: HORIZONTAL: 1"=30' | MISC. FILE NUMBER: C2.0 |
| MCE PROJ. #: 05734-0002 | VERTICAL: N/A | DRAWING NUMBER: C2.0 |
| DRAWN: DJB | | |
| DESIGNED: DJB | | |
| CHECKED: JMK | | |
| PROJ. MGR.: JMK | | |
| STATUS: SITE PLAN SUBMITTAL FOR REVIEW PURPOSES ONLY | REVISION: A | |

| EXISTING PLANT LEGEND | |
|-----------------------|-----------------|
| SYMBOL | DESCRIPTION |
| | COTTONWOOD TREE |
| | CREPE MYRTLE |
| | ELM TREE |
| | OAK TREE |
| | CEDAR TREE |
| | PINE TREE |
| | SOURWOOD TREE |
| | HOLLY TREE |

| SITE PLANT INVENTORY (NOT SURVEYED) | |
|-------------------------------------|--------------------------|
| SYMBOL | DESCRIPTION |
| | EXISTING MATURE SHRUB |
| | EXISTING MATURE SHRUB |
| | EXISTING UNDERSTORY TREE |
| | EXISTING MATURE TREE |

| Code | Botanical Name | Common Name | Qty. | Root | Caliper | Height | Spread | Comments |
|---------------|--|------------------------------|------|-------|---------|--------|--------|--|
| Trees | | | | | | | | |
| FC | <i>Cercis canadensis</i> | Eastern Redbud | 7 | B&B | 2" | 8-10' | 4' | Evenly branched, single stem |
| EL | <i>Ulmus americana</i> 'Princeton' | Princeton American Elm | 4 | B&B | 3" | 12-14' | 6' | Strong central straight leader, evenly branched, limbed up to 6' |
| Shrubs | | | | | | | | |
| DH | <i>Ilex glabra</i> 'Nana' | Dwarf Winterberry Holly | 35 | cont. | --- | 18" | 18" | 6' on center full, dense |
| AB | <i>Abelia grandiflora</i> 'Edward Goucher' | Edward Goucher Glossy Abelia | 15 | cont. | --- | 18" | 18" | 4' on center full, dense |

LIGHTING REQUIREMENTS:

- PROPOSED PARKING LOT LIGHTING FIXTURES MUST MEET THE CLEARANCE REQUIREMENTS OF UDO SECTION 7.1.7.G.1. *LIGHTING FIXTURES MUST BE LOCATED AT LEAST 20 FEET FROM A TREE, MEASURED FROM THE POLE OF THE LIGHTING FIXTURE TO THE TRUNK OF THE TREE.

LANDSCAPE REQUIREMENTS:

- ALL CONSTRUCTION IS TO BE PERFORMED IN ACCORDANCE WITH THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.
- TREE/SHRUBS ARE TO BE INSTALLED SUCH THAT THEY ARE NOT TO CONFLICT WITH EXISTING LIGHTING POLES PER CITY OF RALEIGH UDO SECTION 7.1.7.G.1.
- EXISTING MATURE LANDSCAPING TO BE RETAINED WHERE POSSIBLE AND USED TO MEET LANDSCAPING REQUIREMENTS OF THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO).
- THE STREET PROTECTIVE YARD ALONG POOLE ROAD IS APPROXIMATELY 267 LINEAR FEET:

PER THE CITY OF RALEIGH UDO A TYPE C2 BUFFER YARD REQUIRES A MINIMUM OF 4 SHADE TREES AND 15 SHRUBS EVERY 100'

4 TREES * (267/100') = 11 TREES
 15 SHRUBS * (267/100') = 40 SHRUBS

PROVIDED TREES AND SHRUBS:

EXISTING TREES = 4
 PROPOSED TREES = 7
 TOTAL TREES PROVIDED = 11

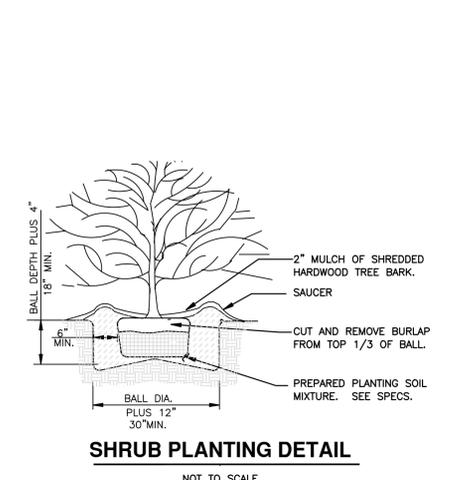
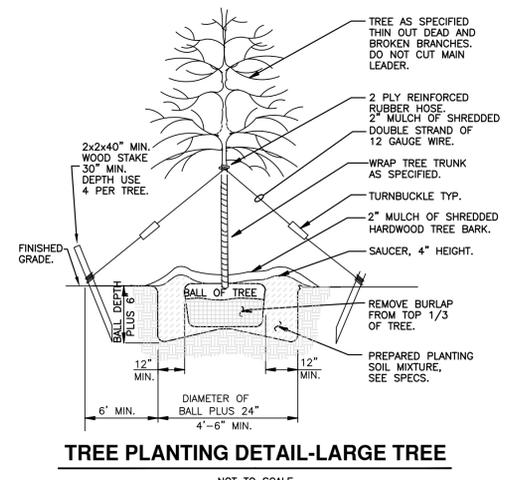
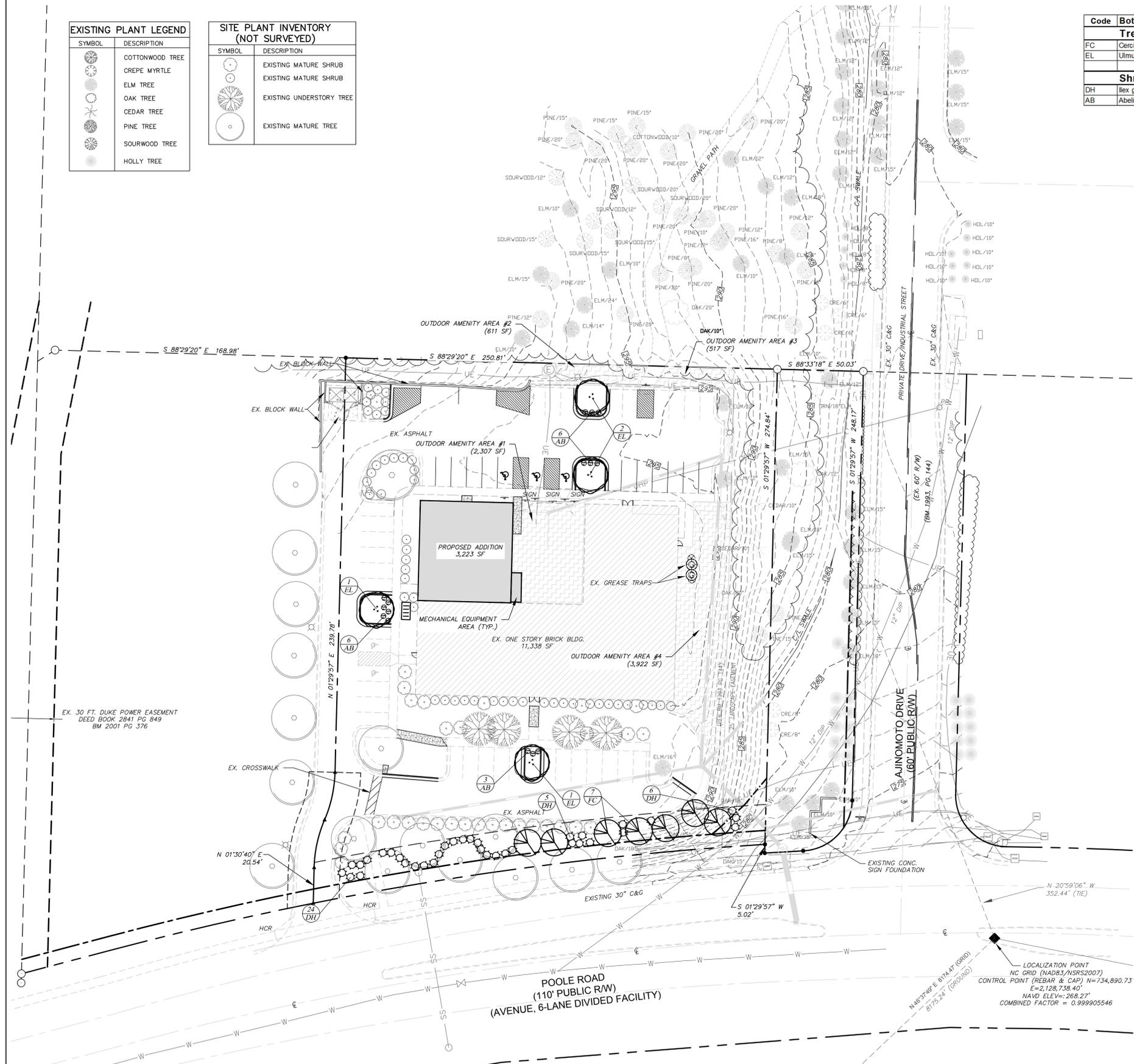
EXISTING SHRUBS = 5
 PROPOSED SHRUBS = 35
 TOTAL SHRUBS PROVIDED = 40

5. TREE COVERAGE:

PER THE CITY OF RALEIGH UDO SECTION 7.1.7.F.2, THERE SHALL BE 1 SHADE TREE FOR EVERY 2,000 SQUARE FEET OF PARKING AREA.

21,477 SF OF PARKING AREA / 2,000 SF = 11 SHADE TREES REQUIRED

EXISTING SHADE TREES = 7
 PROPOSED SHADE TREES = 4
 TOTAL SHADE TREES PROVIDED = 11



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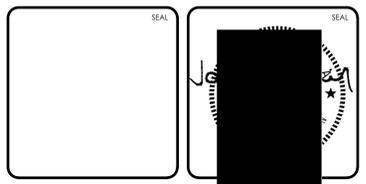
STOP

CALL N.C. ONE CALL CENTER BEFORE YOU DIG
 1-800-632-4949
 AVOID UTILITY DAMAGE

NORTH

SCALE: 1"=30' (Horiz.)

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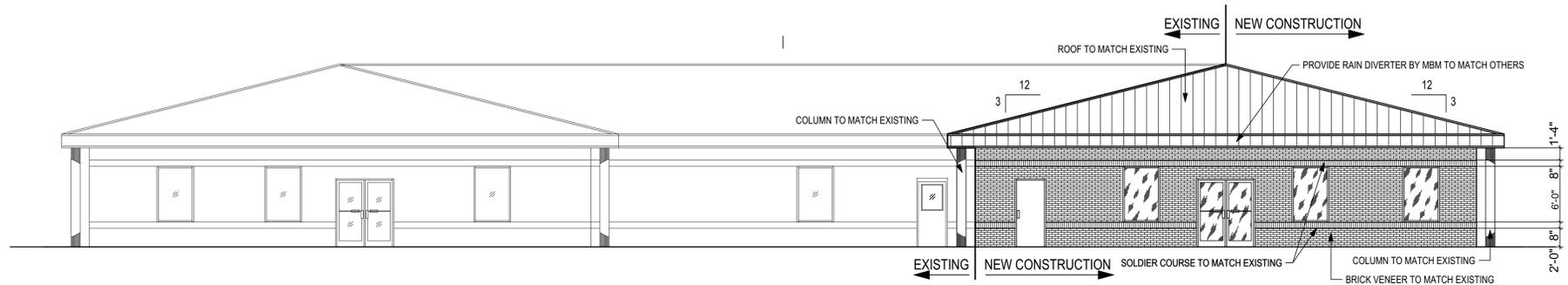
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AJINOMOTO OFFICE ADDITION
 RALEIGH, NORTH CAROLINA

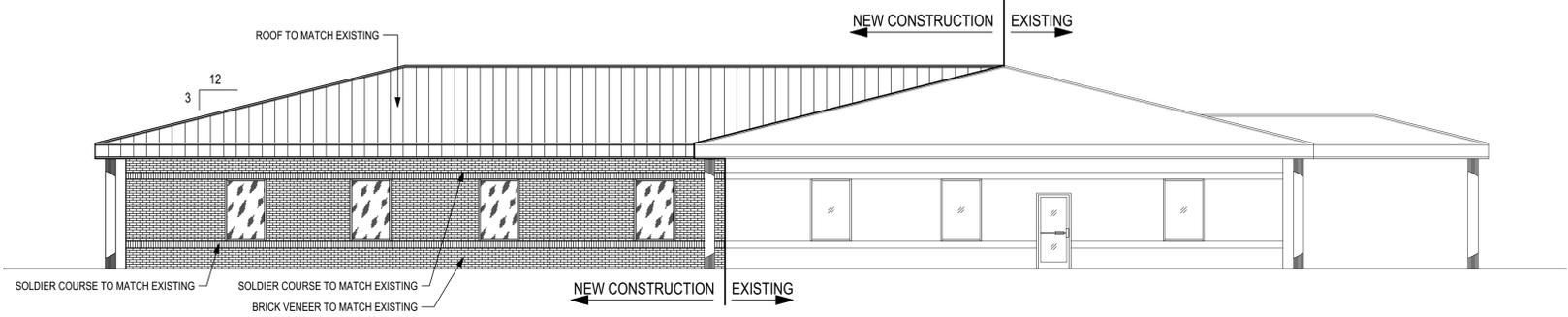
LANDSCAPING PLAN

| | | |
|-------------------------|---------------------------|-------------------------|
| DATE: JANUARY 16, 2018 | SCALE: HORIZONTAL: 1"=30' | MISC. FILE NUMBER: C5.0 |
| MCE PROJ. #: 05734-0002 | VERTICAL: N/A | DRAWING NUMBER: C5.0 |
| DRAWN: D.J.B. | | |
| DESIGNED: D.J.B. | | |
| CHECKED: J.M.K. | | |
| PROJ. MGR.: J.M.K. | | |

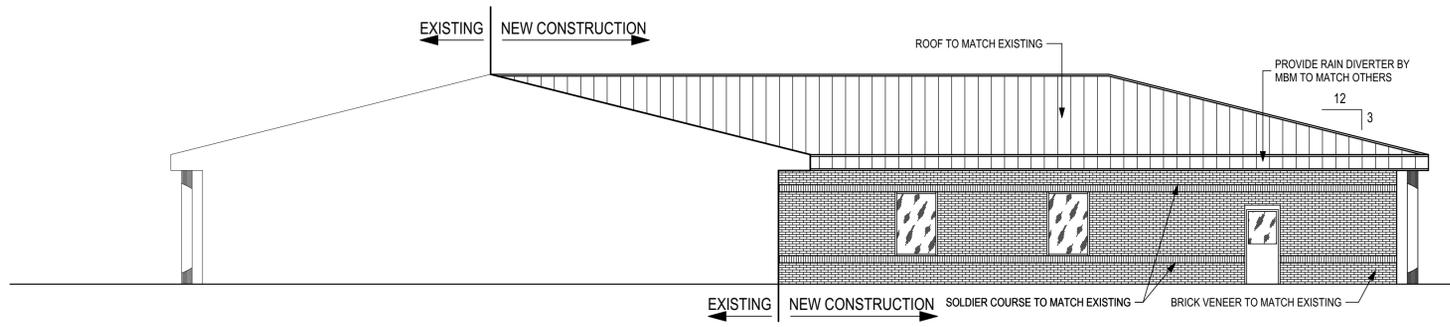
| | |
|--|-------------|
| STATUS: SITE PLAN SUBMITTAL FOR REVIEW PURPOSES ONLY | REVISION: A |
|--|-------------|



1 REAR ELEVATION
A2 1/8" = 1'-0"



2 LEFT SIDE ELEVATION
A2 1/8" = 1'-0"



3 RIGHT SIDE ELEVATION
A2 1/8" = 1'-0"

All work shall conform to applicable codes. The contractor shall be responsible for obtaining all necessary permits and for the proper use of the drawings. The drawings are the property of the architect and shall not be used for any other purpose without the written permission of the architect. The contractor shall verify all dimensions and details at construction and shall coordinate with the architect as needed.

| # | DATE | REVISIONS |
|---|------|-----------|
| | | |
| | | |
| | | |

FOR CONSTRUCTION

| ELEVATIONS | |
|-----------------------------|--------------------------|
| DRAWN BY: MCRD A16-14 | REVIEWED BY: SRA |
| JOB NO.: 16-15 | ISSUE DATE: 14DEC2016 |

A2