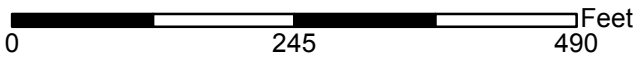
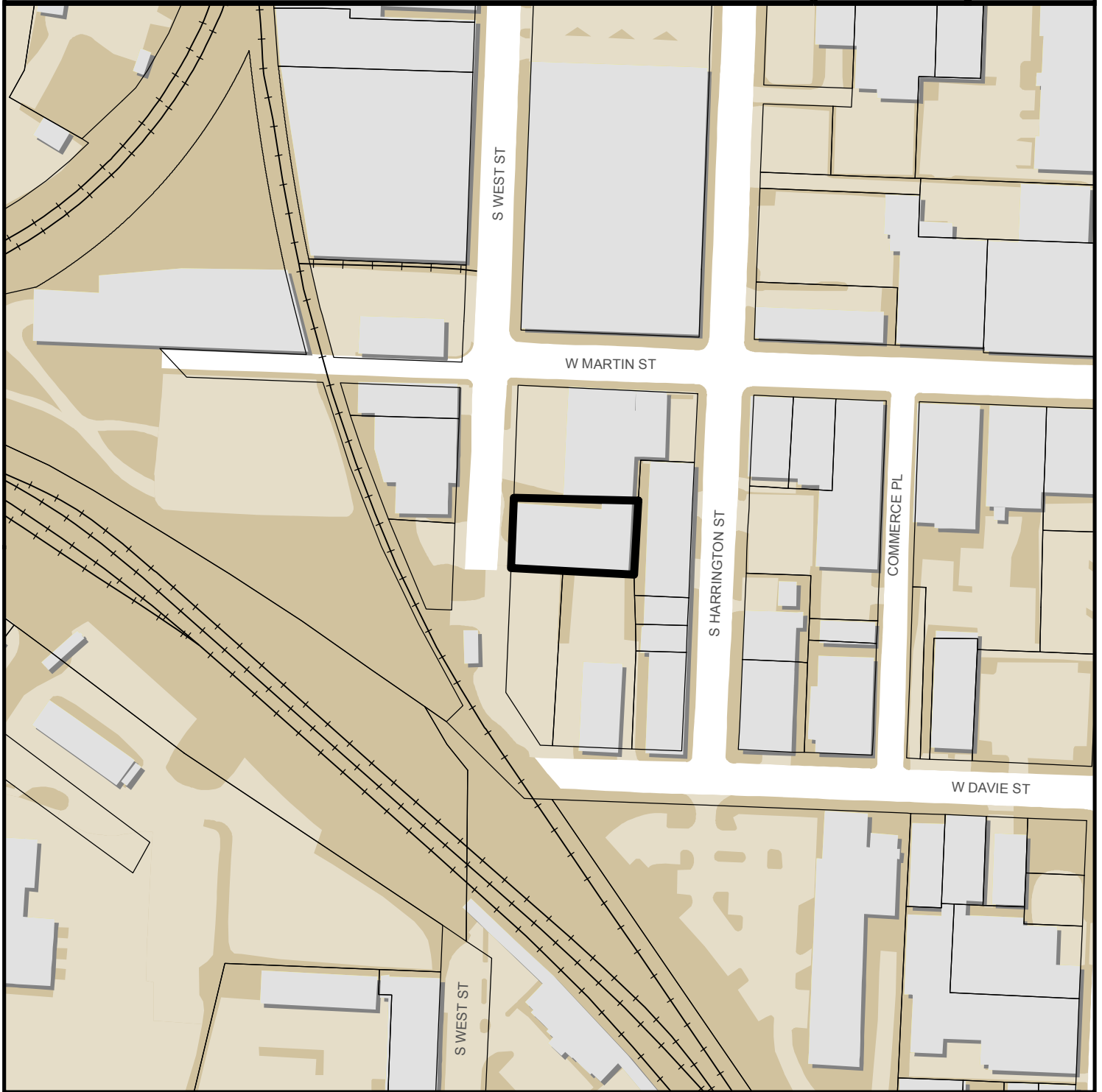


HQ 319 S. WEST STREET REDEVELOPMENT SR-97-2016



Zoning: **DX-5-SH**
CAC: **Central**
Drainage Basin: **Rocky Branch**
Acreage: **0.28**
Square footage: **21,681**

Planner: **Justin Rametta**
Phone: **(919) 996-2665**
Applicant: **Center Line Digital
Properties LLC**
Phone: **(919) 821-2921**





Administrative Action

Administrative Site Review

City of Raleigh
Development Plans Review Center
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
www.raleighnc.gov

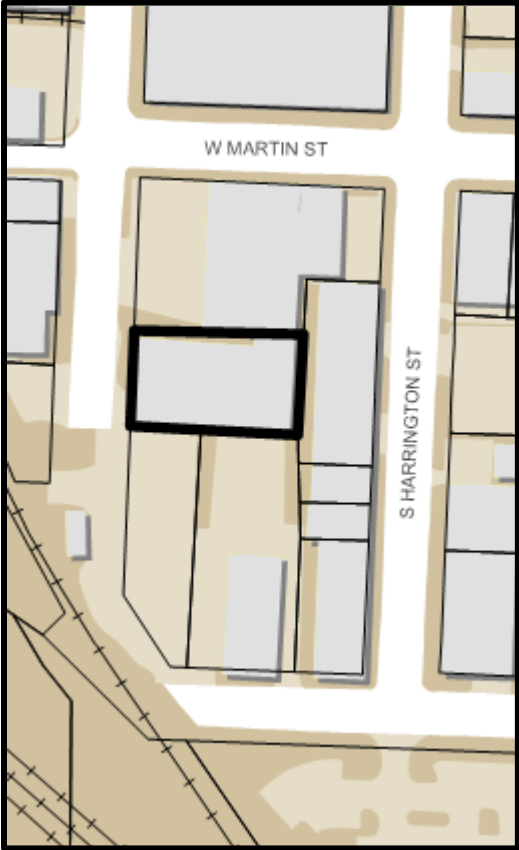
Case File / Name: SR-97-16 / HQ West

General Location: This site is located on the east side of South West Street south of its intersection with West Martin Street.

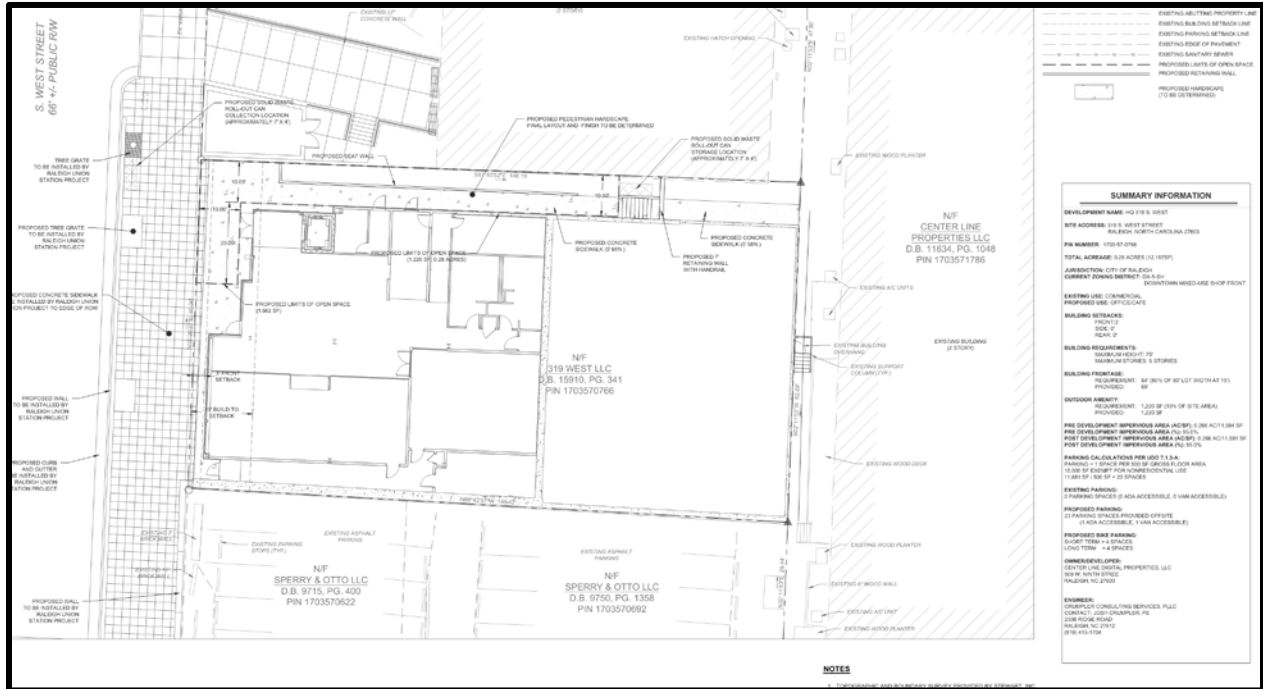
CAC: Central

Request: Development of a .28 acre tract zoned DX-5-SH into a 21,681 square foot, 52' tall (3-story) office building (Mixed Use building type).

Cross-Reference: SP-36-14, TR# 426936



SR-97-16 Location Map



SR-97-16 Preliminary Site Plan

Code Conformance:		Code Section(s)
Zoning District:	DX-5-SH	2.1 , 3.1
Overlay District:	N/A	5.1
Parking:	23 spaces required based on 1 space/500 square feet (with first 10,000 square feet exempted in the DX district per 7.1.3.A. All required spaces are being provided offsite in accordance with Sections 6.4.7.C and 7.1.5.B. A parking agreement shall be provided to the City prior to issuance of building permits.	7.1.2
Street Type(s):	<u>S West St</u> : Main Street, Parallel Parking	8.4
Streetscape:	Main Street streetscape required (sidewalks and street trees being installed by the City of Raleigh as part of Union Station project).	8.5
Setbacks/Frontage:	Site shows compliance with Shopfront frontage requirements. Build-to percentage of 80% and 0'/15' front setback are met. Side and rear setbacks of 0'/6' met.	3.4 , 3.2 , 2.2
Neighborhood Transitions:	N/A; No adjacent residentially zoned properties.	3.5
Transitional Protective Yards:	N/A; Not required for this use.	7.2.4
Stormwater:	This site is subject to stormwater management controls in accordance with Chapter 9 of Part 10 of the Raleigh City Code. This site is claiming exemption 9.2.2.A.3(b), substitution of impervious surface.	9.2
Tree Conservation:	This site is less than two acres in size and therefore exempt from Article 9.1, Tree Conservation.	9.1
Variances, Design Adjustments, Administrative Alternates:	N/A	
Other:	Site plan shows rear door and stairs encroaching over rear (eastern) property line. This encroachment will require review and approval for compliance with applicable codes. Any required easements will need to be approved and recorded prior to issuance of any building permits.	

OFFICIAL ACTION: Approval with conditions

CONDITIONS OF APPROVAL:

Prior to issuance of a mass land disturbing permit for the site:

1. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

Prior to issuance of building permits:

2. That a sidewalk deed of easement is approved by the city staff and that the location of the easement is shown on the map approved for recordation if not already recorded. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat and a copy of the recorded easement provided to the Development Services department;
3. That any required easements to accommodate the location of the stairs and door along the eastern property line are recorded and copies returned to the City of Raleigh;
4. That the offsite parking agreement is approved by the city, recorded and a copy returned to the City of Raleigh;

Prior to issuance of building occupancy permit:

5. That in accordance with Part 10A Section 9.2.2, an impervious surface as-built survey shall be reviewed and accepted by the City prior to final stormwater inspection approval;
-

I hereby certify this administrative decision.

Signed:

(Planning Dir.) Ken Baum (C. Dwyer)

Date: 3-20-17

Staff Coordinator:

Justin Rametta

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.

FINDINGS:

City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 1/30/2017, submitted by Crumpler Consulting Services, PLLC.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site

review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 3/20/2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date: 3/20/2021

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

WHAT NEXT?:

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.