



# Administrative Approval Action

Case File / Name: SR-98-18 Nash Square Hotel  
Transaction # 572275, AA # 3962

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the south side of West Martin Street, and the east side of South Dawson Street. The site is currently comprised of 6 lots, addressed at 219, 221, 223, and 227 W Martin St and 303 and 307 S Dawson St. The site is located inside City corporate limits.

**REQUEST:** Redevelopment of a 0.84 acre tract zoned DX-20-SH into a Mixed Use multi-story building with 134,773 square feet of total gross floor area (130,549 sq ft for Overnight Lodging and 4,224 sq ft for Restaurant/Bar) and 65,081 sq ft of parking within the structure.

## DESIGN

### ADJUSTMENT(S)/

**ALTERNATES, ETC:** A design adjustment to Article 8.5 of the UDO has been submitted. The request is specific to the ROW dedication.

AAD-4-19 is an approved Administrative Alternate for modifications to UDO 3.3.3 Building Massing Standards. Specifically, the alternate pertains to setback standards.

## STORMWATER

### EXEMPTION:

Site is claiming an exemption to stormwater regulations under UDO Sections 9.2.2.A.3.b & c of the UDO. If any increases in impervious surface are proposed, the site will be required to comply with 9.2.2.B and 9.2.2.E.

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 3/8/2019 by *Kimley-Horn and Associates, Inc.*

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME** – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

**CONCURRENT SITE REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.



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**The following items are required prior to approval of Concurrent Site Review plans:**

## Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

## Public Utilities

3. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval

## Stormwater

4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

**LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input type="checkbox"/>	City Code Covenant	<input checked="" type="checkbox"/>	Slope Easement
<input type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input type="checkbox"/>	Utility Placement Easement	<input checked="" type="checkbox"/>	Cross Access Easement
<input checked="" type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other:

**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

**The following items must be approved prior to recording the plat:**

## General

5. A demolition permit shall be issued and this building permit number shown on all maps for recording.



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## Engineering

6. A slope easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
7. A cross access agreement among the lots identified with SR-98-18 and the adjacent lot to the south identified with PIN 1703-57-8620 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
8. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of this document is not provided, further recordings and building permit issuance will be withheld.

## Public Utilities

9. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

**BUILDING PERMITS** – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## General

10. Comply with all conditions of AAD-4-19.
11. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing six (6) lots into a single tract.
12. A demolition permit shall be obtained.
13. Provide fire flow analysis.



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## Engineering

14. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
15. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering.
16. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

## Public Utilities

17. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Urban Forestry

18. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 9 street trees along West Martin St and South Dawson St.

### ***The following are required prior to issuance of building occupancy permit:***

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. All street lights and street signs required as part of the development approval are installed.
4. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
5. As-built impervious survey is submitted and accepted by the Stormwater Reviewer in the Engineering Services Department (UDO 9.2.2.).
6. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:



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**3-Year Expiration Date:** 5-22-2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Development Services Dir./Designee)

Date: 5/22/19

Staff Coordinator: Ryan Boivin

# Design Adjustment Staff Response



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

<b>PROJECT</b>	Project Name	Nash Square Hotel	
	Development Case Number	SR-98-18	
	Transaction Number	572275	
	Design Adjustment Number	DA - 9 - 2019	
<b>Staff recommendation based upon the findings in the applicable code(s):</b>			
<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access		<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	
<input type="checkbox"/> UDO Art. 8.4 New Streets		<input type="checkbox"/> Raleigh Street Design Manual	
Staff <input checked="" type="checkbox"/> SUPPORTS <input type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.			
<b>DEPARTMENTS</b>			
<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning	
<input checked="" type="checkbox"/> Development Engineering <i>K. Kish</i> <sup>4-23-19</sup>		<input type="checkbox"/> Transportation	
<input type="checkbox"/> Engineering Services		<input type="checkbox"/> Parks & Recreation and Cult. Res.	
<input type="checkbox"/> Public Utilities			
<b>STAFF RESPONSE</b>	<b>CONDITIONS:</b>		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			

*D*  
 Authorized Signature DANIEL G. KISH, PE 4/23/19  
 ENGINEERING REVIEW MANAGER Date

\*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

# Staff Response

## Article 8.5 Existing Streets



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

- A. The requested design adjustment meets the intent of this Article;  
YES  NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;  
YES  NO
- C. The requested design adjustment does not increase congestion or compromise safety;  
YES  NO
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and  
YES  NO
- E. The requested design adjustment has been designed and certified by a Professional Engineer.  
YES  NO

### STAFF FINDINGS

Staff Supports the request for a Design Adjustment regarding street widening responsibilities to 1/2 of a 98' street width and public right-of-way dedication. The changes to the site does not create any additional maintenance responsibilities for the City. This property is located within the original confines of the William Christmas Plan which laid out a 66' right-of-way along both frontages of Dawson Street and Martin Street. The full streetscape requirements are being provided with a portion of the sidewalk being placed in sidewalk easements.

# Design Adjustment Application



**DEVELOPMENT SERVICES DEPARTMENT**

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

<b>PROJECT</b>	Project Name Nash Square Hotel	
	Case Number SR-98-18	
	Transaction Number 572275	
<b>OWNER</b>	Name Robert Bruni (Downtown Raleigh Lodging Associates, LLC)	
	Address 8333 Greenway Boulevard	City Middleton
	State WI	Zip Code 53562 Phone 608.662.8430
<b>CONTACT</b>	Name Diana Brown Firm Kimley-Horn	
	Address 421 Fayetteville Street, Suite 600	City Raleigh
	State NC	Zip Code 27601 Phone 919.678.4129
<b>REQUEST</b>	I am seeking a Design Adjustment from the requirements set forth in the following:	
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings
	Provide details about the request; (please attach a memorandum if additional space is needed): See attached memo.	

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature

01/24/19  
Date

## CHECKLIST

Signed Design Adjustment Application	<input type="checkbox"/> Included
Page(s) addressing required findings	<input type="checkbox"/> Included
Plan(s) and support documentation	<input type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to [designadjustments@raleighnc.gov](mailto:designadjustments@raleighnc.gov).

Deliver the addressed envelopes and letters to:  
Development Services, Development Engineering  
One Exchange Plaza, Suite 500  
Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA - -
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# Article 8.5 Existing Streets

## Administrative Design Adjustment Findings



DEVELOPMENT  
SERVICES  
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;

**Martin street is designated as a Main Street, parallel parking street type (73' total R/W section) which requires a 36.5' dedication from the center line. The existing total ROW for Martin Street is 66'. Dawson street is designated as an Avenue, 6-lane divided street (126' total R/W section) which requires a 63' dedication from the center line. The existing total ROW for Dawson Street is 66'. The reduced R/W dedication is requested to maintain the existing conformity of these streets to the Christmas Plan ROW total width of 66'. See attached memo.**

- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;

**Based on the Comprehensive Plan Section M.7 Urban Design, Policy DT 7.1 "Reinforcing the Christmas Plan," our project encourages a prominent building to be developed around Nash Square. The requested adjustment includes increasing the sidewalk width to 16' on both Martin and Dawson Streets to allow for safe, direct and efficient vehicle and pedestrian access. See attached memo.**

- C. The requested design adjustment does not increase congestion or compromise safety;

**The project improves the current quality of infrastructure in this area by increasing the sidewalk width to 16' on both Martin and Dawson Streets to allow for safe, direct and efficient vehicle and pedestrian access. No impacts to congestion or safety are anticipated as new driveway access points comply with the City streets design manual (Section 6.5.8 of the Streets Manual). See attached memo.**

- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and

**The project improves the current quality of development in this area. The Right-of-Way width is not being increased, therefore the City will not be held responsible for additional maintenance areas other than the widened sidewalks. There is an existing "dip" at the corner of Dawson Street and Martin Street that will be addressed as part of this project, helping the City resolve an existing issue. See attached memo.**

- E. The requested design adjustment has been designed and certified by a Professional Engineer.

**The requested design adjustment has been designed and certified by a Professional Engineer.**

# Individual Acknowledgement



DEVELOPMENT  
SERVICES  
DEPARTMENT

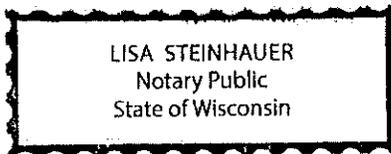
STATE OF ~~NORTH CAROLINA~~ WISCONSIN  
COUNTY OF Dane

INDIVIDUAL

I, Lisa Steinhauer, a Notary Public do hereby certify that  
Robert J. Bruni personally appeared before me this day and  
acknowledged the due execution of the forgoing instrument.

This the 24<sup>th</sup> day of January, 2019.

(SEAL)



Notary Public

Lisa Steinhauer

My Commission Expires: 09-20-2021



**MEMORANDUM**

To: City of Raleigh Public Works Director

From: Diana Brown, PE, Kimley-Horn

Date: 3/26/2019

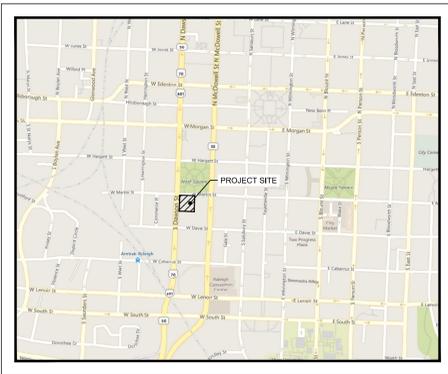
**Subject: Design Adjustment Request  
Nash Square Hotel (SR-98-18; Transaction # 572275)**

**General:** The applicant is requesting a design adjustment associated with the above referenced Administrative Site Review Application. The request is the result of constraints on the subject property as well as coordination with review staff over the course of the Administrative Site Review.

**Request #1 – Right-of-Way Width (W Martin St & S Dawson St)**

This Design Adjustment application is to request relief from providing full right-of-way dedication along Martin Street and Dawson Street. **Dawson street** is designated as an Avenue, 6-lane divided street (126' total RW section). The existing total RW for Dawson Street is 66', meaning in theory that 30' would be required to be dedicated on each side of the street to meet this section. Dawson and McDowell Streets, however, are a one-way pair and function as a combined 6-lane street, and the intent of the street designation for these streets is not to provide for two separate 6-lane divided streets through the heart of downtown Raleigh. Combined, these streets already provide a 6-lane + cross section with a net of 132' of right of way width. **Martin street** is designated as a Main Street, parallel parking street (73' total RW section). The existing total RW for Martin Street is 66' meaning 3.5' would be theoretically expected to be dedicated on each side to meet the required section. Providing wider streets and right of way downtown, however, would be inconsistent with the original William Christmas Plan for downtown Raleigh (which established 66' as the right of way width for most streets downtown), and also inconsistent with the pedestrian-friendly nature of the streets and blocks downtown. This proposal includes additional easement area along the RW to allow for 16' sidewalks on both streets, consistent with pedestrian goals and requirements downtown. Finally, maintaining 66' rights of way would be consistent with other projects approved recently throughout downtown Raleigh and would maintain the same street and right of way pattern across the city center.

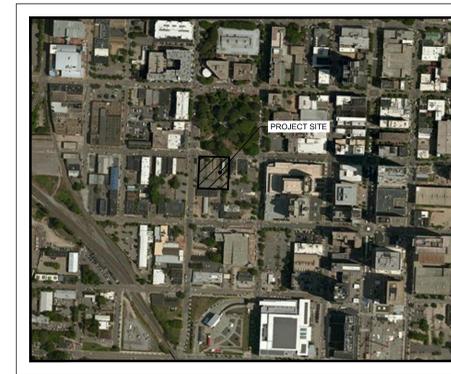




PROJECT LOCATION  
1"=1000'

**ATTENTION CONTRACTORS**  
The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-4548 and the Public Utilities Department at (919) 996-4548 at least **ten business days** prior to beginning any of their construction. Failure to notify both City Departments in advance of beginning construction, will result in the issuance of stop-work orders and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure. Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other violation of City of Raleigh Standards will result in a Stop and Possible Exclusion from future work in the City of Raleigh.

ADMINISTRATIVE SITE PLAN REVIEW PLANS FOR:  
**NASH SQUARE HOTEL**  
W MARTIN ST AT S DAWSON ST  
RALEIGH, NC 27601  
SR-98-18  
CITY OF RALEIGH TRANSACTION # 572275  
A DEVELOPMENT BY:  
**DOWNTOWN RALEIGH LODGING ASSOCIATES, LLC**  
C/O RAYMOND MANAGEMENT COMPANY  
8333 GREENWAY BOULEVARD  
MIDDLETON, WI 53562



VICINITY MAP  
1"=500'

Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	ADMINISTRATIVE ALTERNATE APPROVAL
C1.0	EXISTING CONDITIONS
C1.1	EXISTING CONDITIONS
C1.2	RECOMBINATION PLAN
C2.0	DEMO PLAN
C3.0	SITE PLAN
C4.0	GRADING AND DRAINAGE PLAN
C4.1	GRADING AND DRAINAGE PLAN DETAIL
C4.2	RETAINING WALL INSETS
C5.0	UTILITY PLAN
C6.0	SIGHT DISTANCE
L1.0	LANDSCAPE PLAN
L2.0	STREETSCAPE DETAILS
A2.01-A2.06	ARCHITECTURAL PLANS
A6.01-A7.04	ARCHITECTURAL DRAWINGS

- ADMINISTRATIVE ALTERNATE REQUESTS**
- THE UDO REQUIRES A 12' STEPBACK ABOVE THE 3RD FLOOR. OUR CURRENT BUILDING STEPBACKS ARE 9'-6" ON W MARTIN ST., AND 10'-0" ON S DAWSON ST.
- THE ADMINISTRATIVE ALTERNATE REQUEST HAS BEEN APPROVED. SEE SHEET C0.1 FOR APPROVAL LETTER.
- DESIGN ADJUSTMENT REQUESTS**
- WEST MARTIN STREET AND DAWSON STREET RIGHT-OF-WAY PER THE CHRISTMAS PLAN SHOULD BE 66'. A DESIGN ADJUSTMENT IS NEEDED TO KEEP THE CHRISTMAS PLAN RIGHT-OF-WAY OF 66'.

CONTACTS

- DEVELOPER:** DOWNTOWN RALEIGH LODGING ASSOCIATES, LLC  
C/O RAYMOND MANAGEMENT COMPANY  
8333 GREENWAY BOULEVARD  
MIDDLETON, WI 53562  
PHONE: (608) 662-8430  
ATTN: CHASE ZADNIK  
EMAIL ADDRESS: ZADNIK@RAYMONDTEAM.COM
- ARCHITECT:** GARY BRINK & ASSOCIATES, INC.  
2248 DEMING WAY, SUITE 120  
MIDDLETON, WI 53562  
PHONE: (608) 829-1750  
ATTN: JOSH WILCOX  
EMAIL ADDRESS: JOSH.WILCOX@GARYBRINK.COM
- CIVIL ENGINEER:** KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE STREET, SUITE 600  
RALEIGH, NORTH CAROLINA 27601  
PHONE: (919) 678-4129  
ATTN: DIANA BROWN, P.E.  
EMAIL ADDRESS: DIANA.BROWN@KIMLEY-HORN.COM
- LANDSCAPE ARCHITECT:** KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE STREET, SUITE 600  
RALEIGH, NORTH CAROLINA 27601  
PHONE: (919) 653-6656  
ATTN: BRANDON GUY  
EMAIL ADDRESS: BRANDON.GUY@KIMLEY-HORN.COM
- SURVEY:** BOHLER ENGINEERING  
4130 PARKLAKE AVE, SUITE 130  
RALEIGH, NC 27612  
PHONE: (919) 578-9000  
ATTN: TOM TEABO  
EMAIL ADDRESS: TTEABO@BOHLERENG.COM

**Administrative Site Review Application (for UDO Districts only)**

Development Services Department

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | cfax 919-996-1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot
<input type="checkbox"/> Townhouse	

Transaction Number: \_\_\_\_\_  
Assigned Project Coordinator: \_\_\_\_\_  
Assigned Team Leader: \_\_\_\_\_

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # 559379

**GENERAL INFORMATION**

Development Name: Nash Square Hotel

Zoning District: DX-20-SH Overlay District (if applicable): \_\_\_\_\_ Inside City Limits?  Yes  No

Proposed Use: Mixed Use, Restaurant and Hotel.

Property Address(es): 227, 223, 221, 219 W. Martin St, 303, 307 S Dawson St Major Street Locator: SW Corner of S Dawson & W Martin  
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply: 1703578866; 1703579820

P.I.N. 1703578712 P.I.N. 1703577890 P.I.N. 1703577898 P.I.N. 1703578828

What is your project type?  
 Apartment  Elderly Facilities  Hospitals  Hotels/Motels  Office  
 Mixed Residential  Non-Residential Condo  School  Shopping Center  Bank  Industrial Building  
 Duplex  Telecommunication Tower  Religious Institutions  Residential Condo  Retail  Cottage Court  
 Other: if other, please describe: \_\_\_\_\_

**WORK SCOPE**  
Per City Code Section 10.2.B.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.  
Hotel and restaurant development

**DESIGN ADJUSTMENT OR ADMIN ALTERNATE**  
Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

**CLIENT/DEVELOPER/OWNER**  
Company: Downtown Raleigh Lodging Associates, LLC (Name) Chase Zadnik  
C/O Raymond Management Company  
Address: 8333 Greenway Boulevard, Middleton, WI 53562  
Phone: 608.662.8430 Email: zadnik@raymondteam.com Fax: \_\_\_\_\_

**CONSULTANT (Contact Person for Plans)**  
Company: Kimley-Horn (Name) Diana Brown  
Address: 421 Fayetteville St, Suite 600, Raleigh, NC 27601  
Phone: 919.678.4129 Email: Diana.Brown@kimley-horn.com Fax: \_\_\_\_\_

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**DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)**

Zoning Information	Building Information
Zoning District(s) DX-20-SH (Downtown Mixed Use - Shopfront)	Proposed building use(s) Hotel and restaurant
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 11,940 to be demo'd
Overlay District	Proposed Building(s) sq. ft. gross 199,854
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 215,655
Off street parking: Required 95 Provided 137	Proposed height of building(s) 109'-0" 14"
COA (Certificate of Appropriateness) case #	# of stories 9
BOA (Board of Adjustment) case # A-	ceiling height of 1 <sup>st</sup> Floor 18'-2"
CUD (Conditional Use District) case # Z-	
<b>Stormwater Information</b>	
Existing Impervious Surface 1.04 (45,442) acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 1.03 (44,699) acres/square feet	If Yes, please provide: Alluvial Soils Flood Study Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No FEMA Map Panel #
<b>FOR RESIDENTIAL DEVELOPMENTS</b>	
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units 194	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No
<b>SIGNATURE BLOCK (Applicable to all developments)</b>	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate Diana Brown to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed: <i>[Signature]</i> Date: 12/12/18	
Printed Name: Robert J. J. Brown, Vice President - Raymond Management Co., Inc. Manager Member: Downtown Raleigh Lodging Associates, LLC	
Signed: _____ Date: _____	
Printed Name: _____	

RALEIGH										
Floor	1st	2nd	3rd	4th	5th	6th	7th	8th	9th	Total
Total Hotel Area	16,346	1,032	1,032	18,114	18,805	18,805	18,805	18,805	18,805	130,549
Total Restaurant Area	4,224									4,224
Total Parking Area	7,931	28,575	28,575							65,081
Total Floor Area	28,501	29,607	29,607	18,114	18,805	18,805	18,805	18,805	18,805	199,854
Parking Stalls	1	53	56							110
Compact Stalls	2	10	10							22
Accessible Parking Stalls	1	2	2							5
Total Parking Stalls	4	65	68							137
King Rooms				14	21	21	21	21	21	119
Acc K				1	1	1	1	1	1	6
DQ Rooms				8	11	11	11	11	11	63
Acc QG				1	1	1	1	1	1	6
Total Rooms				24	34	34	34	34	34	194

EXISTING CONDITIONS PLAN BASED ON BOUNDARY AND TOPOGRAPHY SURVEY PROVIDED BY BOHLER ENGINEERING NC, PLLC DATED JULY 30, 2018 TITLED "ATLA/NPS LAND TITLE SURVEY PROPERTY OF DAVIS NASH LLC, GURLEY NASH LLC, SPRAGOOD HOLDINGS, LLC MARY GURGANUS".

PRELIMINARY  
NOT FOR CONSTRUCTION

**GBA**  
architectural design  
2248 DEMING WAY, SUITE 120  
MIDDLETON, WI 53562  
(608) 829-1750  
(608) 829-3036 (FAX)

**Kimley»Horn**  
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-678-4129 FAX: 919-677-2020  
NC LICENSE # E-0102  
WWW.KIMLEY-HORN.COM

PROJECT: NASH SQUARE HOTEL  
RALEIGH, NC  
CLIENT: DOWNTOWN RALEIGH LODGING ASSOCIATES, LLC  
C/O RAYMOND MANAGEMENT COMPANY  
MIDDLETON, WI 53562

- PROJECT: 013201000  
DRAWN BY: AHK  
DATE: 09/14/2018  
SCALE: 1"=10'
- PER CITY COMMENTS 11.13.18
  - PER CITY COMMENTS 12.11.18
  - PER CITY COMMENTS 01.14.19
  - PER CITY COMMENTS 03.08.19

COVER SHEET  
C0.0

Plotted By: Carter, Tim Sheet Set: HOTEL ON MARTIN Layout: C0.0 COVER SHEET April 03, 2019 09:24:19am K:\RAL\_LDEV\013201000 - hotel on martin\08\_cad\_files\plansheets\C0.0 COVER SHEET.dwg  
This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**NOTES:**  
 1. TITLE REPORT FURNISHED BY FIRST AMERICA TITLE INSURANCE COMPANY.  
 2. AREAS COMPUTED BY COORDINATE METHOD.  
 3. PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIONS OF RECORD.  
 4. ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.  
 5. NO GRID COORDINATES (NAD83) OBTAINED BY USING GPS. PER THE NCVRS NETWORK.  
 6. BEARING SHOWN HEREON IS NO GRID (NAD 83 NSRS 2011).  
 7. VERTICAL DATUM SHOWN HEREON IS NAVD83.  
 8. THE PROPERTY SHOWN HEREON IS LOCATED IN FLOODZONE "ZONE X". AREA OF MINIMAL FLOODING, PER FLOOD INSURANCE RATE MAP 370217050J, PANEL 1703 EFFECTIVE DATE MAY 2, 2006.  
 9. UNDERGROUND UTILITIES SHOWN HEREON ARE LOCATED FROM ACTUAL UNDERGROUND PAINTED UTILITY LOCATION METHODS (BY OTHERS), UTILITY RECORDS, GIS INFORMATION, AND BY ABOVEGROUND VISIBLE EVIDENCE. LOCATIONS OF UTILITIES ARE NOT GUARANTEED ACCURATE ABOVE A "LEVEL B" TYPE UTILITY LOCATION FOR BOTH EXISTING OR ABANDONED UTILITIES. ALL UTILITY LOCATIONS ARE GENERAL IN NATURE.

**ADDRESSES:** 221, 223, 227 WEST MARTIN STREET  
 FIRST AMERICAN TITLE INSURANCE COMPANY  
 COMMITMENT NUMBER: NCS-91000-MAD  
 COMMITMENT DATE: JUNE 8, 2018 AT 8:00 AM  
 SCHEDULE B, PART II - EXCEPTIONS

1. ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHED, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I REQUIREMENTS ARE MET.  
**NOT A SURVEY MATTER.**

2. TAXES FOR THE YEAR 2018, WHICH ARE A LIEN, BUT NOT YET DUE AND PAYABLE, AND ALL SUBSEQUENT YEARS, ALL PARCELS.  
**NOT A SURVEY MATTER.**

3. PARTY WALL AGREEMENT BY AND BETWEEN PHILIP R. TAYLOR AND WIFE, BARBARA R. TAYLOR, AND W. M. RAGLAND AND WIFE, BETTY J. RAGLAND AND THE NORTH CAROLINA MOTOR CARRIERS, INC., A NORTH CAROLINA CORPORATION, RECORDED IN BOOK 1182, PAGE 349, WAKE COUNTY REGISTRY. (AS TO PARCEL 1)  
**AFFECTS SUBJECT PROPERTY, PLOTTED AND SHOWN HEREON.**

4. DEED CONTAINING ALLEYSWAY AGREEMENT BY AND BETWEEN DELL C. WATSON AND HUSBAND, FRANK J. WATSON, MARY FRANCES WATSON LYMAN AND HER HUSBAND, WILLIAM C. LYMAN AND PHILIP R. TAYLOR AND W. M. RAGLAND, RECORDED IN BOOK 1172, PAGE 485, BOOK 1216, PAGE 160 AND BOOK 1216, PAGE 162, WAKE COUNTY REGISTRY. (AS TO PARCEL 1)  
**AFFECTS SUBJECT PROPERTY, PLOTTED AND SHOWN HEREON.**

5. BOUNDARY LINE AGREEMENT RECORDED IN BOOK 1182, PAGE 346, WAKE COUNTY REGISTRY. (AS TO PARCEL 1)  
**AFFECTS SUBJECT PROPERTY, PLOTTED AND SHOWN HEREON.**

6. AGREEMENT REGARDING WATER LINE BY AND BETWEEN PHILIP R. TAYLOR AND WIFE, BARBARA R. TAYLOR AND THE NORTH CAROLINA MOTOR CARRIERS ASSOCIATION, INC., A NORTH CAROLINA CORPORATION, RECORDED IN BOOK 1218, PAGE 433, WAKE COUNTY REGISTRY. (AS TO PARCEL 1)  
**AFFECTS SUBJECT PROPERTY, PLOTTED AND SHOWN HEREON.**

7. PARTY WALL AGREEMENT BY AND BETWEEN N. A. SPENCE, ADMINISTRATOR DE BONIS NON C. T. A. AND TRUSTEE UNDER THE LAST WILL AND TESTAMENT OF N. A. SPENCE, SR., DECEASED AND C. J. KAMBLE AND HIS WIFE, ANDREI KAMBLE, RECORDED IN BOOK 390, PAGE 357 AND BOOK 318, PAGE 855, WAKE COUNTY REGISTRY. (AS TO PARCEL 2)  
**AFFECTS SUBJECT PROPERTY, PLOTTED AND SHOWN HEREON.**

8. AGREEMENT BY AND BETWEEN MARSHALL L. GURLEY, J. MAC BOXLEY, LAWRENCE E. BOLTON, RONALD H. GARBNER, WALTER G. DAVIS, AND NASH SQUARE ASSOCIATED, A NORTH CAROLINA GENERAL PARTNERSHIP AND CITY OF RALEIGH, RECORDED IN BOOK 3164, PAGE 396, WAKE COUNTY REGISTRY. (AS TO PARCEL 2)  
**AFFECTS SUBJECT PROPERTY, PLOTTED AND SHOWN HEREON.**

9. RIGHT OF WAY ENCROACHMENT AGREEMENT TO DEPARTMENT OF TRANSPORTATION RECORDED IN BOOK 3164, PAGE 400, WAKE COUNTY REGISTRY. (AS TO PARCEL 2)  
**AFFECTS SUBJECT PROPERTY, PLOTTED AND SHOWN HEREON.**

10. AGREEMENT REGARDING ENCROACHMENT EASEMENT BY AND BETWEEN NASH SQUARE ASSOCIATES, A NORTH CAROLINA GENERAL PARTNERSHIP AND KIP-DELL HOMES, INC., A NORTH CAROLINA CORPORATION, SUCCESSORS AND ASSIGNS, RECORDED IN BOOK 3178, PAGE 942, WAKE COUNTY REGISTRY. (AS TO PARCEL 2)  
**AFFECTS SUBJECT PROPERTY, PLOTTED AND SHOWN HEREON.**

11. RIGHTS OF PARTIES IN POSSESSION AS TENANTS ONLY, UNDER UNRECORDED LEASE(S) OR RENTAL AGREEMENT(S), ALL PARCELS.  
**NOT A SURVEY MATTER.**

12. ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DISPUTES, DEFICIENCY IN AMOUNT OF AREA, RIGHTS, EASEMENTS, DITCHES, CARTWAYS, SETBACKS, RIGHTS OF PARTIES IN POSSESSION, INTERESTS OR CLAIMS WHICH WOULD BE REVEALED BY A CURRENT AND ACCURATE SURVEY AND INSPECTION OF THE LAND, ALL PARCELS.  
**BUILDING ENCROACHMENT AND ENCROACHMENT AGREEMENT (DB 3176, PG 842) IS SHOWN HEREON.**

13. TITLE TO AND EASEMENTS IN, ANY PORTION OF THE LAND LYING WITHIN ANY HIGHWAYS, ROADS, STREETS OR OTHER WAYS, ALL PARCELS.  
**EASEMENTS AND RIGHTS-OF-WAY OF RECORD ARE PLOTTED AND SHOWN HEREON.**

**ADDRESSES:** 219 WEST MARTIN STREET & 307 SOUTH DAWSON STREET  
 FIRST AMERICAN TITLE INSURANCE COMPANY  
 COMMITMENT NUMBER: NCS-90820-MAD  
 COMMITMENT DATE: JUNE 5, 2018 AT 8:00 AM  
 SCHEDULE B, PART II - EXCEPTIONS

1. ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHED, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I REQUIREMENTS ARE MET.  
**NOT A SURVEY MATTER.**

2. TAXES FOR THE YEAR 2018, WHICH ARE A LIEN, BUT NOT YET DUE AND PAYABLE, AND ALL SUBSEQUENT YEARS, ALL PARCELS.  
**NOT A SURVEY MATTER.**

3. EASEMENTS AND OTHER FACTS AS SHOWN ON PLAT RECORDED IN BOOK OF MAPS 2011, PAGE 850, WAKE COUNTY REGISTRY.  
**AFFECTS SUBJECT PROPERTY, PLOTTED AND SHOWN HEREON.**

4. BOUNDARY LINE AGREEMENT BY AND BETWEEN PHILIP R. TAYLOR AND WIFE, BARBARA R. TAYLOR, AND W. M. RAGLAND AND WIFE, BETTY J. RAGLAND AND THE NORTH CAROLINA MOTOR CARRIERS, INC., A NORTH CAROLINA CORPORATION, RECORDED IN BOOK 1182, PAGE 346, WAKE COUNTY REGISTRY.  
**AFFECTS SUBJECT PROPERTY, PLOTTED AND SHOWN HEREON.**

5. AGREEMENT FOR ADDING BUILDINGS BY AND BETWEEN ANDREW K. SAPARILLAS AND WIFE, MAROLLA SAPARILLAS AND THE NORTH CAROLINA MOTOR CARRIERS ASSOCIATION, INC., A NORTH CAROLINA CORPORATION, RECORDED IN BOOK 1197, PAGE 165, WAKE COUNTY REGISTRY.  
**AFFECTS SUBJECT PROPERTY, PLOTTED AND SHOWN HEREON.**

6. AGREEMENT FOR WATER RUNOFF BY AND BETWEEN PHILIP R. TAYLOR AND WIFE, BARBARA R. TAYLOR AND THE NORTH CAROLINA MOTOR CARRIERS ASSOCIATION, INC., A NORTH CAROLINA CORPORATION, RECORDED IN BOOK 1218, PAGE 433, WAKE COUNTY REGISTRY.  
**AFFECTS SUBJECT PROPERTY, PLOTTED AND SHOWN HEREON.**

7. PARTY WALL AGREEMENT BY AND BETWEEN PHILIP R. TAYLOR AND WIFE, BARBARA R. TAYLOR, AND W. M. RAGLAND AND WIFE, BETTY J. RAGLAND AND THE NORTH CAROLINA MOTOR CARRIERS, INC., A NORTH CAROLINA CORPORATION, RECORDED IN BOOK 1182, PAGE 349, WAKE COUNTY REGISTRY.  
**AFFECTS SUBJECT PROPERTY, PLOTTED AND SHOWN HEREON.**

8. RESTRICTIONS, EASEMENTS AND RIGHTS OF WAY OF RECORD, EASEMENTS AND RIGHTS-OF-WAY OF RECORD SHOWN HEREON.

9. RIGHTS OF PARTIES IN POSSESSION AS TENANTS ONLY, UNDER UNRECORDED LEASE(S) OR RENTAL AGREEMENT(S), ALL PARCELS.  
**NOT A SURVEY MATTER.**

10. ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DISPUTES, DEFICIENCY IN AMOUNT OF AREA, RIGHTS, EASEMENTS, DITCHES, CARTWAYS, SETBACKS, RIGHTS OF PARTIES IN POSSESSION, INTERESTS OR CLAIMS WHICH WOULD BE REVEALED BY A CURRENT AND ACCURATE SURVEY AND INSPECTION OF THE LAND.  
**FENCE ENCROACHMENT REFERENCED IN DB 2011, PG 850 IS SHOWN HEREON.**

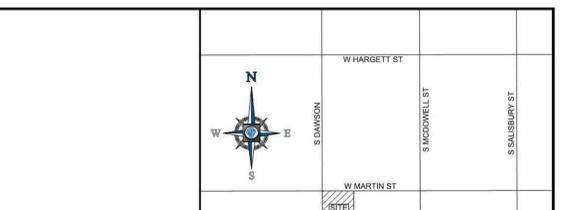
**SURVEYOR CERTIFICATION**  
 I, THOMAS E. TEABO, PLS, HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, FROM DEED AND MAP REFERENCES AS NOTED ON SAID MAP. THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FROM DEED AND MAP REFERENCES AS NOTED ON SAID MAP.

THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY OF THE SURVEY AS CALCULATED IS 1:10,000. THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION OF RECORD THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH TITLE 21, CHAPTER 56, NCAC, AS AMENDED.

I HEREBY CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:  
 (1) CLASS OF SURVEY: "CLASS A"  
 (2) POSITIONAL ACCURACY: 0.04"  
 (3) TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC NETWORKS-NCVRS  
 (4) DATES OF SURVEY: JUNE 20, 2018 - SEPTEMBER 25, 2018  
 (5) DATUM/EPOCH: NAD 83 (2011) EPOCH 2010.09  
 (6) PUBLISHED/UNPUBLISHED CONTROL: USE: NCVRS  
 (7) GEOD MODEL: 2015 (CONUS)  
 (8) COMBINED GRID FACTOR(S): 0.999903875  
 (9) UNITS: US SURVEY FEET

THAT THE SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND OR ONE OR MORE EXISTING EASEMENTS AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 15TH DAY OF OCTOBER A.D. 2018.

**PRELIMINARY - NOT FOR RECORDATION, SALES OR CONVEYANCES**  
 SURVEYOR: NCS L-3920



**ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DISPUTES, DEFICIENCY IN AMOUNT OF AREA, RIGHTS, EASEMENTS, DITCHES, CARTWAYS, SETBACKS, RIGHTS OF PARTIES IN POSSESSION, INTERESTS OR CLAIMS WHICH WOULD BE REVEALED BY A CURRENT AND ACCURATE SURVEY AND INSPECTION OF THE LAND.**  
**BUILDING ENCROACHMENT AND ENCROACHMENT AGREEMENT (DB 3176, PG 842) IS SHOWN HEREON.**

6. ANY INACCURACY IN THE AREA, SQUARE FOOTAGE OR ACREAGE OF THE LAND TO BE INSURED HEREUNDER.  
**SURVEY AREAS ARE SHOWN HEREON.**

7. TITLE TO AND EASEMENTS IN, ANY PORTION OF THE LAND LYING WITHIN ANY HIGHWAYS, ROADS, STREETS OR OTHER WAYS.  
**EASEMENTS AND RIGHTS-OF-WAY OF RECORD ARE PLOTTED AND SHOWN HEREON.**

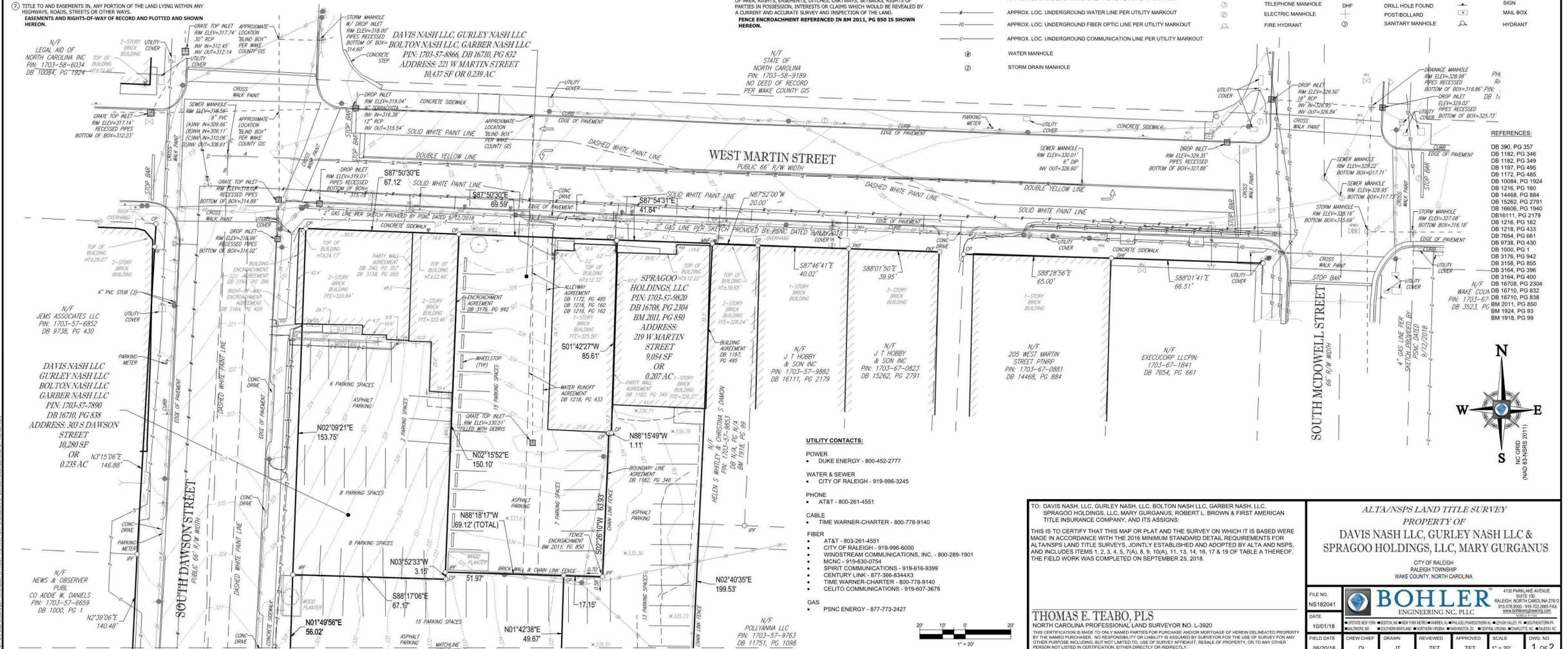
**ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DISPUTES, DEFICIENCY IN AMOUNT OF AREA, RIGHTS, EASEMENTS, DITCHES, CARTWAYS, SETBACKS, RIGHTS OF PARTIES IN POSSESSION, INTERESTS OR CLAIMS WHICH WOULD BE REVEALED BY A CURRENT AND ACCURATE SURVEY AND INSPECTION OF THE LAND, ALL PARCELS.**  
**BUILDING ENCROACHMENT AND ENCROACHMENT AGREEMENT (DB 3164, PG 396, DB 3164, PG 400) SHOWN HEREON.**

13. TITLE TO AND EASEMENTS IN, ANY PORTION OF THE LAND LYING WITHIN ANY HIGHWAYS, ROADS, STREETS OR OTHER WAYS, ALL PARCELS.  
**EASEMENTS AND RIGHTS-OF-WAY OF RECORD ARE PLOTTED AND SHOWN HEREON.**

**ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DISPUTES, DEFICIENCY IN AMOUNT OF AREA, RIGHTS, EASEMENTS, DITCHES, CARTWAYS, SETBACKS, RIGHTS OF PARTIES IN POSSESSION, INTERESTS OR CLAIMS WHICH WOULD BE REVEALED BY A CURRENT AND ACCURATE SURVEY AND INSPECTION OF THE LAND.**  
**FENCE ENCROACHMENT REFERENCED IN DB 2011, PG 850 IS SHOWN HEREON.**

**LEGEND**

EXISTING CONTOUR	WATER METER	ROOF DRAIN	UTILITY POLE
WATER VALVE	SIGN	GUY WIRE	TREES
OVERHEAD WIRES	GAS VALVE	COMPUTED POINT	ELECTRIC METER
APPROX. LOC. UNDERGROUND TELEPHONE PER UTILITY MARKOUT	FENCE	IPS	ELECTRIC BOX
APPROX. LOC. UNDERGROUND ELECTRIC LINE PER UTILITY MARKOUT	AREA LIGHT	IRF	PAINTED ARROWS
APPROX. LOC. UNDERGROUND GAS LINE PER UTILITY MARKOUT	CLEAN OUT	MNF	CROSSWALK SIGNAL
APPROX. LOC. UNDERGROUND UTILITY LINE PER UTILITY MARKOUT	TELEPHONE MANHOLE	PKF	SIGN
APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT	ELECTRIC MANHOLE	DHF	MAIL BOX
APPROX. LOC. UNDERGROUND FIBER OPTIC LINE PER UTILITY MARKOUT	FIRE HYDRANT	DRILL HOLE FOUND	HYDRANT
WATER MANHOLE		POSTBOLLARD	
STORM DRAIN MANHOLE		SANITARY MANHOLE	



**BOHLER ENGINEERING - ALL RIGHTS RESERVED**  
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**UTILITY CONTACTS:**  
 POWER • DUKE ENERGY - 800-452-2777  
 WATER & SEWER • CITY OF RALEIGH - 919-996-3245  
 PHONE • AT&T - 800-261-4551  
 CABLE • TIME WARNER-CHARTER - 800-778-9140  
 FIBER • AT&T - 803-261-4551  
 • CITY OF RALEIGH - 919-996-6000  
 • WINDSTREAM COMMUNICATIONS, INC. - 800-289-1901  
 • MCNC - 919-530-0754  
 • SPIRIT COMMUNICATIONS - 919-616-9399  
 • CENTURY LINK - 877-396-8344X3  
 • TIME WARNER-CHARTER - 800-778-9140  
 • CELTIO COMMUNICATIONS - 919-607-3678  
 GAS • PSNC ENERGY - 877-773-2427

**THOMAS E. TEABO, PLS**  
 NORTH CAROLINA PROFESSIONAL LAND SURVEYOR NO. L-3920  
 THIS CERTIFICATION IS MADE TO ONLY NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY THE NAMED PURCHASER. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR THE USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY AT RISK. RELIANCE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION EITHER DIRECTLY OR INDIRECTLY.

**THOMAS E. TEABO, PLS**  
 NORTH CAROLINA PROFESSIONAL LAND SURVEYOR NO. L-3920  
 THIS CERTIFICATION IS MADE TO ONLY NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY THE NAMED PURCHASER. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR THE USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY AT RISK. RELIANCE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION EITHER DIRECTLY OR INDIRECTLY.

**ALTA/NSPS LAND TITLE SURVEY**  
 PROPERTY OF  
 DAVIS NASH LLC, GURLEY NASH LLC &  
 SPRAGOO HOLDINGS, LLC, MARY GURGANUS

CITY OF RALEIGH  
 RALEIGH TOWNSHIP  
 WAKE COUNTY, NORTH CAROLINA

**BOHLER ENGINEERING NC, PLLC**  
 4130 PARKLAKE AVENUE  
 SUITE 100  
 RALEIGH, NORTH CAROLINA 27613  
 (919) 870-2000 • (919) 702-2665 FAX  
 WWW.BOHLERENGINEERING.COM

FILE NO.: N15182041  
 DATE: 10/01/18  
 FIELD DATE: 06/20/18

CHIEF: DL  
 DRAWN: JT  
 REVIEWED: TET  
 APPROVED: TET

SCALE: 1" = 20'  
 DWG. NO.: 1 OF 2

**PROJECT:** NASH SQUARE HOTEL  
 NASH SQUARE HOTEL  
 219 WEST MARTIN STREET  
 RALEIGH, NC 27601

**CLIENT:** DOWNTOWN RALEIGH LODGING ASSOCIATES, LLC  
 C/O RALEIGH MANAGEMENT COMPANY  
 833 GREENWOOD AVENUE, 4TH FLOOR  
 MIDDLETON, WI 53662

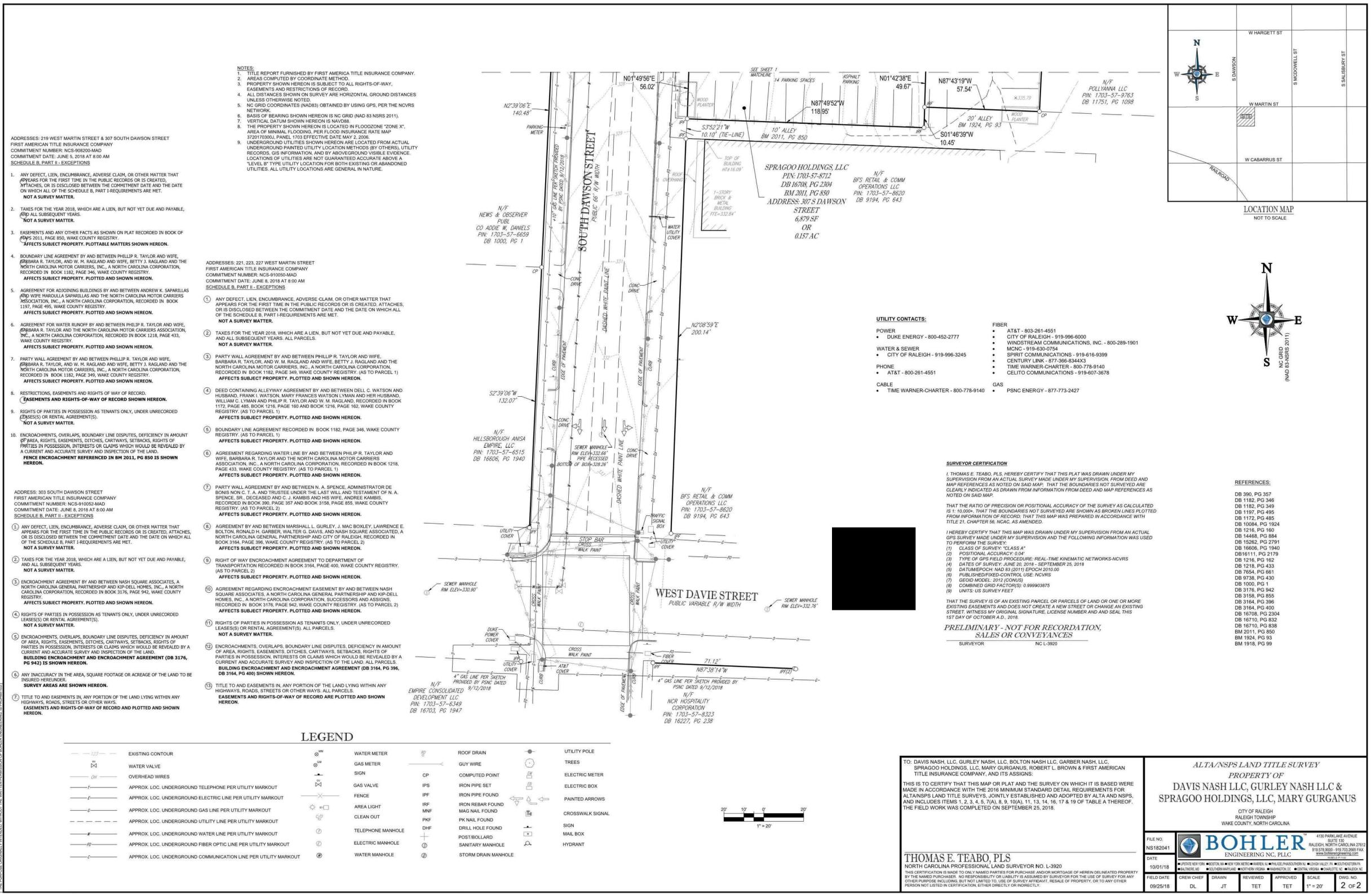
**PROJECT:** 013201000  
**DRAWN BY:** ATH  
**DATE:** 09/14/2018  
**SCALE:** 1"=10'

PER CITY COMMENTS 11.13.18  
 PER CITY COMMENTS 12.11.18  
 PER CITY COMMENTS 01.14.19  
 PER CITY COMMENTS 03.08.19

**EXISTING CONDITIONS**

**C1.0**

Plotted by Carter, Tim Sheet Set: HOTEL ON MARTIN Layout: C1.1 EXISTING CONDITIONS April 03, 2019 09:24:42am K:\RAL\LE\103201000 - hotel on martin\03201000 - hotel on martin\03201000 - EXISTING CONDITIONS.dwg  
This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, as intended only for the specific purpose and client for which it was prepared. Please do not make any reproduction or adaptation without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



ADDRESSES: 219 WEST MARTIN STREET & 307 SOUTH DAWSON STREET  
FIRST AMERICAN TITLE INSURANCE COMPANY  
COMMITMENT NUMBER: NCS-90920-04D  
COMMITMENT DATE: JUNE 8, 2018 AT 8:00 AM  
SCHEDULE B, PART II - EXCEPTIONS

- 1. ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHED, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I REQUIREMENTS ARE MET. NOT A SURVEY MATTER.
- 2. TAXES FOR THE YEAR 2018, WHICH ARE A LIEN, BUT NOT YET DUE AND PAYABLE, AND ALL SUBSEQUENT YEARS. NOT A SURVEY MATTER.
- 3. EASEMENTS AND ANY OTHER FACTS AS SHOWN ON PLAT RECORDED IN BOOK OF 1995-2011, PAGE 850, WAKE COUNTY REGISTRY. AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON.
- 4. BOUNDARY LINE AGREEMENT BY AND BETWEEN PHILLIP R. TAYLOR AND WIFE, BARBARA R. TAYLOR, AND W. M. RAGLAND AND WIFE, BETTY J. RAGLAND AND THE NORTH CAROLINA MOTOR CARRIERS, INC., A NORTH CAROLINA CORPORATION, RECORDED IN BOOK 1182, PAGE 346, WAKE COUNTY REGISTRY. AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON.
- 5. AGREEMENT FOR ADJOINING BUILDINGS BY AND BETWEEN ANDREW K. SAPARILLAS AND WIFE MARCOULLA SAPARILLAS AND THE NORTH CAROLINA MOTOR CARRIERS ASSOCIATION, INC., A NORTH CAROLINA CORPORATION, RECORDED IN BOOK 1197, PAGE 495, WAKE COUNTY REGISTRY. AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON.
- 6. AGREEMENT FOR WATER RUNOFF BY AND BETWEEN PHILIP R. TAYLOR AND WIFE, BARBARA R. TAYLOR, AND THE NORTH CAROLINA MOTOR CARRIERS ASSOCIATION, INC., A NORTH CAROLINA CORPORATION, RECORDED IN BOOK 1218, PAGE 453, WAKE COUNTY REGISTRY. AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON.
- 7. PARTY WALL AGREEMENT BY AND BETWEEN PHILLIP R. TAYLOR AND WIFE, BARBARA R. TAYLOR, AND W. M. RAGLAND AND WIFE, BETTY J. RAGLAND AND THE NORTH CAROLINA MOTOR CARRIERS, INC., A NORTH CAROLINA CORPORATION, RECORDED IN BOOK 1182, PAGE 346, WAKE COUNTY REGISTRY. AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON.
- 8. RESTRICTIONS, EASEMENTS AND RIGHTS OF WAY OF RECORD. AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON.
- 9. RIGHTS OF PARTIES IN POSSESSION AS TENANTS ONLY, UNDER UNRECORDED (LEASES) OR RENTAL AGREEMENT(S). NOT A SURVEY MATTER.
- 10. ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DISPUTES, DEFICIENCY IN AMOUNT OF AREA, RIGHTS, EASEMENTS, DITCHES, CARTWAYS, SETBACKS, RIGHTS OF PARTIES IN POSSESSION, INTERESTS OR CLAIMS WHICH WOULD BE REVEALED BY A CURRENT AND ACCURATE SURVEY AND INSPECTION OF THE LAND. FENCE ENCROACHMENT REFERENCED IN BM 2011, PG 850 IS SHOWN HEREON.

- 11. ENCROACHMENT AGREEMENT BY AND BETWEEN NASH SQUARE ASSOCIATES, A NORTH CAROLINA GENERAL PARTNERSHIP AND KIR-DELL HOMES, INC., A NORTH CAROLINA CORPORATION, RECORDED IN BOOK 3176, PAGE 942, WAKE COUNTY REGISTRY. AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON.
- 12. RIGHTS OF PARTIES IN POSSESSION AS TENANTS ONLY, UNDER UNRECORDED (LEASES) OR RENTAL AGREEMENT(S). NOT A SURVEY MATTER.
- 13. ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DISPUTES, DEFICIENCY IN AMOUNT OF AREA, RIGHTS, EASEMENTS, DITCHES, CARTWAYS, SETBACKS, RIGHTS OF PARTIES IN POSSESSION, INTERESTS OR CLAIMS WHICH WOULD BE REVEALED BY A CURRENT AND ACCURATE SURVEY AND INSPECTION OF THE LAND. BUILDING ENCROACHMENT AND ENCROACHMENT AGREEMENT (DB 3176, PG 942) IS SHOWN HEREON.
- 14. ANY INACCURACY IN THE AREA, SQUARE FOOTAGE OR ACREAGE OF THE LAND TO BE SURVEYED ARE SHOWN HEREON.
- 15. TITLE TO AND EASEMENTS IN, ANY PORTION OF THE LAND LYING WITHIN ANY HIGHWAYS, ROADS, STREETS OR OTHER WAYS. EASEMENTS AND RIGHTS-OF-WAY OF RECORD ARE PLOTTED AND SHOWN HEREON.

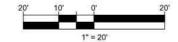
ADDRESSES: 221, 223, 227 WEST MARTIN STREET  
FIRST AMERICAN TITLE INSURANCE COMPANY  
COMMITMENT NUMBER: NCS-91050-04D  
COMMITMENT DATE: JUNE 8, 2018 AT 8:00 AM  
SCHEDULE B, PART II - EXCEPTIONS

- 1. ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHED, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I REQUIREMENTS ARE MET. NOT A SURVEY MATTER.
- 2. TAXES FOR THE YEAR 2018, WHICH ARE A LIEN, BUT NOT YET DUE AND PAYABLE, AND ALL SUBSEQUENT YEARS. ALL PARCELS. NOT A SURVEY MATTER.
- 3. PARTY WALL AGREEMENT BY AND BETWEEN PHILLIP R. TAYLOR AND WIFE, BARBARA R. TAYLOR, AND W. M. RAGLAND AND WIFE, BETTY J. RAGLAND AND THE NORTH CAROLINA MOTOR CARRIERS, INC., A NORTH CAROLINA CORPORATION, RECORDED IN BOOK 1182, PAGE 346, WAKE COUNTY REGISTRY. (AS TO PARCEL 1) AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON.
- 4. DEED CONTAINING ALLEYWAY AGREEMENT BY AND BETWEEN DELL C. WATSON AND HUSBAND, FRANK I. WATSON, MARY FRANCES WATSON LYMAN AND HER HUSBAND, WILLIAM C. LYMAN AND PHILIP R. TAYLOR AND W. M. RAGLAND, RECORDED IN BOOK 1172, PAGE 485, BOOK 1216, PAGE 190 AND BOOK 1216, PAGE 182, WAKE COUNTY REGISTRY. (AS TO PARCEL 1) AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON.
- 5. BOUNDARY LINE AGREEMENT RECORDED IN BOOK 1182, PAGE 346, WAKE COUNTY REGISTRY. (AS TO PARCEL 1) AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON.
- 6. AGREEMENT REGARDING WATER LINE BY AND BETWEEN PHILIP R. TAYLOR AND WIFE, BARBARA R. TAYLOR AND THE NORTH CAROLINA MOTOR CARRIERS ASSOCIATION, INC., A NORTH CAROLINA CORPORATION, RECORDED IN BOOK 1218, PAGE 453, WAKE COUNTY REGISTRY. (AS TO PARCEL 1) AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON.
- 7. PARTY WALL AGREEMENT BY AND BETWEEN N. A. SPENCE, ADMINISTRATOR DE BONIS NON C. T. A. AND TRUSTEE UNDER THE LAST WILL AND TESTAMENT OF N. A. SPENCE, SR., DECEASED AND C. J. KAMRIS AND HIS WIFE, ANDREE KAMRIS, RECORDED IN BOOK 390, PAGE 357 AND BOOK 3158, PAGE 855, WAKE COUNTY REGISTRY. (AS TO PARCEL 2) AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON.
- 8. AGREEMENT BY AND BETWEEN MARSHALL L. GURLEY, J. MAC BOXLEY, LAWRENCE E. BOLTON, RONALD H. GARBER, WALTER G. DAVIS, AND NASH SQUARE ASSOCIATED, A NORTH CAROLINA GENERAL PARTNERSHIP AND CITY OF RALEIGH, RECORDED IN BOOK 3164, PAGE 396, WAKE COUNTY REGISTRY. (AS TO PARCEL 2) AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON.
- 9. RIGHT OF WAY ENCROACHMENT AGREEMENT TO DEPARTMENT OF TRANSPORTATION RECORDED IN BOOK 3164, PAGE 400, WAKE COUNTY REGISTRY. (AS TO PARCEL 2) AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON.
- 10. AGREEMENT REGARDING ENCROACHMENT EASEMENT BY AND BETWEEN NASH SQUARE ASSOCIATES, A NORTH CAROLINA GENERAL PARTNERSHIP AND KIR-DELL HOMES, INC., A NORTH CAROLINA CORPORATION, SUCCESSORS AND ASSIGNS, RECORDED IN BOOK 3176, PAGE 942, WAKE COUNTY REGISTRY. (AS TO PARCEL 2) AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON.
- 11. RIGHTS OF PARTIES IN POSSESSION AS TENANTS ONLY, UNDER UNRECORDED (LEASES) OR RENTAL AGREEMENT(S). ALL PARCELS. NOT A SURVEY MATTER.
- 12. ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DISPUTES, DEFICIENCY IN AMOUNT OF AREA, RIGHTS, EASEMENTS, DITCHES, CARTWAYS, SETBACKS, RIGHTS OF PARTIES IN POSSESSION, INTERESTS OR CLAIMS WHICH WOULD BE REVEALED BY A CURRENT AND ACCURATE SURVEY AND INSPECTION OF THE LAND. ALL PARCELS. BUILDING ENCROACHMENT AND ENCROACHMENT AGREEMENT (DB 3164, PG 396, DB 3164, PG 400) SHOWN HEREON.
- 13. TITLE TO AND EASEMENTS IN, ANY PORTION OF THE LAND LYING WITHIN ANY HIGHWAYS, ROADS, STREETS OR OTHER WAYS. ALL PARCELS. EASEMENTS AND RIGHTS-OF-WAY OF RECORD ARE PLOTTED AND SHOWN HEREON.

- 1. ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHED, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I REQUIREMENTS ARE MET. NOT A SURVEY MATTER.
- 2. TAXES FOR THE YEAR 2018, WHICH ARE A LIEN, BUT NOT YET DUE AND PAYABLE, AND ALL SUBSEQUENT YEARS. NOT A SURVEY MATTER.
- 3. ENCROACHMENT AGREEMENT BY AND BETWEEN NASH SQUARE ASSOCIATES, A NORTH CAROLINA GENERAL PARTNERSHIP AND KIR-DELL HOMES, INC., A NORTH CAROLINA CORPORATION, RECORDED IN BOOK 3176, PAGE 942, WAKE COUNTY REGISTRY. AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON.
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LEGEND

Table with 4 columns: Symbol, Description, Symbol, Description. Includes items like EXISTING CONTOUR, WATER METER, ROOF DRAIN, UTILITY POLE, etc.



- UTILITY CONTACTS:  
POWER: DUKE ENERGY - 800-452-2777  
WATER & SEWER: CITY OF RALEIGH - 919-996-3245  
PHONE: AT&T - 800-261-4551  
CABLE: TIME WARNER-CHARTER - 800-778-9140  
FIBER: AT&T - 803-261-4551  
CITY OF RALEIGH - 919-996-8000  
WINDSTREAM COMMUNICATIONS, INC. - 800-289-1901  
MCNC - 919-630-0754  
SPRINT COMMUNICATIONS - 919-616-9399  
CENTURY LINK - 877-366-834X3  
TIME WARNER-CHARTER - 800-778-9140  
CELITO COMMUNICATIONS - 919-607-3678  
PSCN ENERGY - 877-773-2427

SURVEYOR CERTIFICATION

I, THOMAS E. TEABO, PLS, HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM DEED AND MAP REFERENCES AS NOTED ON SAID MAP. THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FROM DEED AND MAP REFERENCES AS NOTED ON SAID MAP.  
THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY OF THE SURVEY AS CALCULATED IS 1:10,000. THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION OF RECORD. THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH TITLE 21, CHAPTER 56, NCAC, AS AMENDED.  
I HEREBY CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:  
(1) CLASS OF SURVEY: "CLASS A"  
(2) POSITIONAL ACCURACY: 0.04"  
(3) TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC NETWORKS/NCVRS  
(4) DATES OF SURVEY: JUNE 20, 2018 - SEPTEMBER 25, 2018  
(5) DATUM/EPOCH: NAD 83 (2011) EPOCH 2010.00  
(6) PUBLISHED/FIXED-CONTROL USE: NCVRS  
(7) GEOD MODEL: 2011  
(8) COMBINED GRID FACTOR(S): 0.999993875  
(9) UNITS: US SURVEY FEET  
THAT THE SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND OR ONE OR MORE EXISTING EASEMENTS AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 15th DAY OF OCTOBER A.D., 2018.  
PRELIMINARY - NOT FOR RECORDATION, SALES OR CONVEYANCES  
SURVEYOR NCL-13920

REFERENCES:

- DB 390, PG 357  
DB 1182, PG 346  
DB 1182, PG 349  
DB 1197, PG 495  
DB 1172, PG 485  
DB 1008A, PG 1924  
DB 1216, PG 160  
DB 1448B, PG 884  
DB 15292, PG 2791  
DB 1660S, PG 1940  
DB 16111, PG 2179  
DB 1216, PG 162  
DB 1218, PG 433  
DB 7654, PG 681  
DB 9738, PG 430  
DB 1000, PG 1  
DB 3176, PG 942  
DB 3158, PG 855  
DB 3164, PG 396  
DB 3164, PG 400  
DB 1670S, PG 2304  
DB 16710, PG 832  
DB 16710, PG 838  
BM 2011, PG 850  
BM 1924, PG 93  
BM 1918, PG 99

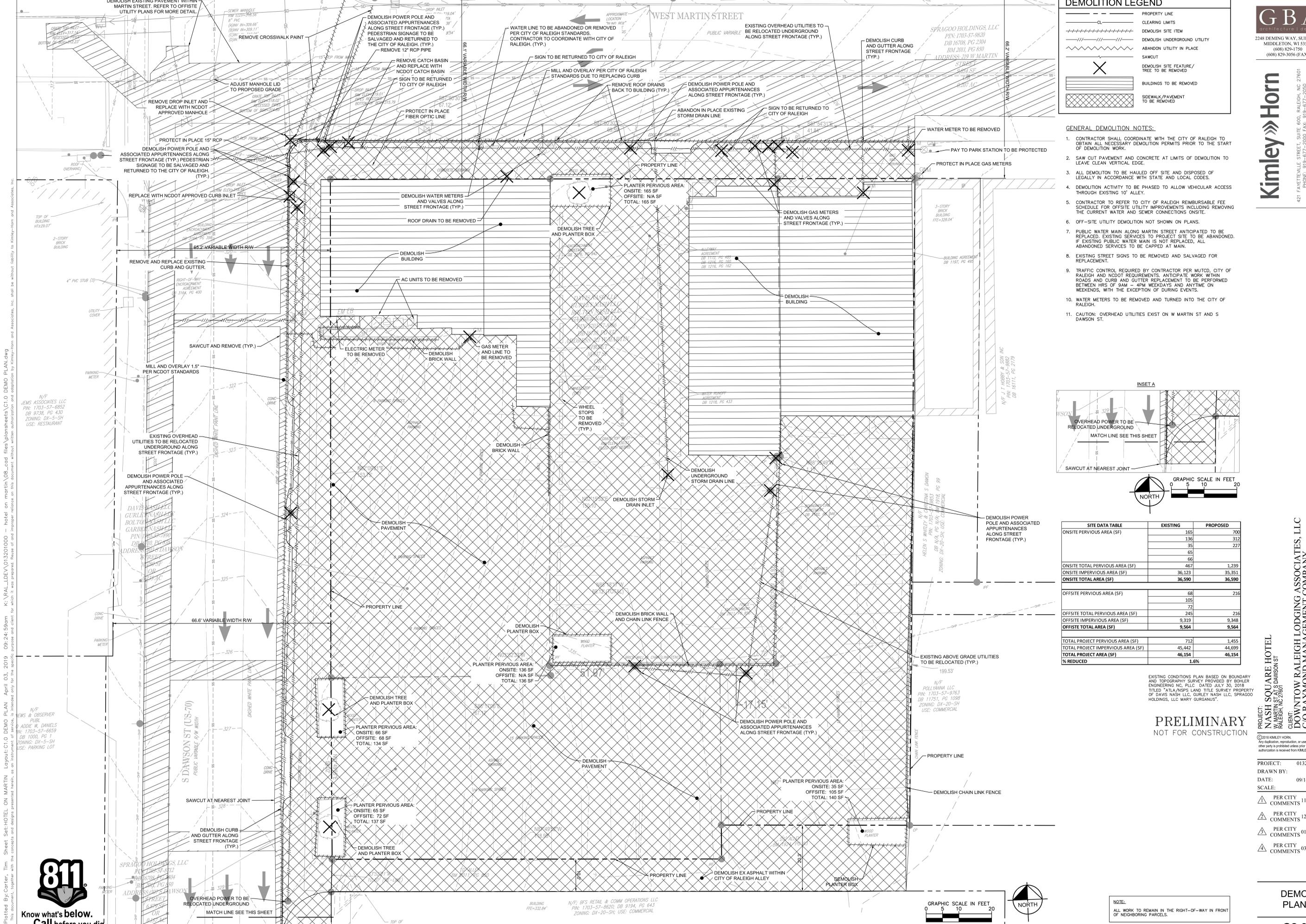
TO: DAVIS NASH, LLC, GURLEY NASH, LLC, BOLTON NASH, LLC, GARBER NASH, LLC, SPRAGOO HOLDINGS, LLC, MARY GURGANUS, ROBERT L. BROWN & FIRST AMERICAN TITLE INSURANCE COMPANY, AND ITS ASSIGNS.  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2018 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(A), 8, 9, 10(A), 11, 13, 14, 16, 17 & 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 25, 2018.

ALTA/NSPS LAND TITLE SURVEY  
PROPERTY OF  
DAVIS NASH LLC, GURLEY NASH LLC & SPRAGOO HOLDINGS, LLC, MARY GURGANUS  
CITY OF RALEIGH  
RALEIGH TOWNSHIP  
WAKE COUNTY, NORTH CAROLINA

THOMAS E. TEABO, PLS  
NORTH CAROLINA PROFESSIONAL LAND SURVEYOR NO. 13920  
THIS CERTIFICATION IS MADE TO ONLY NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY THE NAMED PURCHASER. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR THE USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION EITHER DIRECTLY OR INDIRECTLY.

Table with columns: FILE NO., DATE, FIELD DATE, CHIEF, DRAWN, REVIEWED, APPROVED, SCALE, DWG. NO. Includes BOHLER ENGINEERING NC, PLLC logo and contact info.

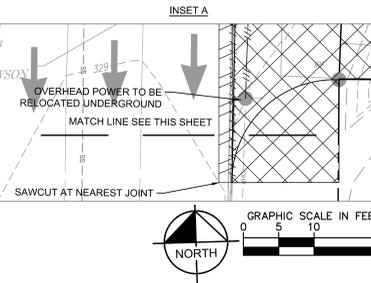
PROJECT: 013201000  
DRAWN BY: AHK  
DATE: 09/14/2018  
SCALE: 1"=10'  
PER CITY COMMENTS: 11.13.18  
PER CITY COMMENTS: 12.11.18  
PER CITY COMMENTS: 01.14.19  
PER CITY COMMENTS: 03.08.19  
EXISTING CONDITIONS  
C1.1



### DEMOLITION LEGEND

	PROPERTY LINE
	CLEARING LIMITS
	DEMOLISH SITE ITEM
	DEMOLISH UNDERGROUND UTILITY
	ABANDON UTILITY IN PLACE
	SAWCUT
	DEMOLISH SITE FEATURE / TREE TO BE REMOVED
	BUILDINGS TO BE REMOVED
	SIDEWALK / PAVEMENT TO BE REMOVED

- ### GENERAL DEMOLITION NOTES:
- CONTRACTOR SHALL COORDINATE WITH THE CITY OF RALEIGH TO OBTAIN ALL NECESSARY DEMOLITION PERMITS PRIOR TO THE START OF DEMOLITION WORK.
  - SAW CUT PAVEMENT AND CONCRETE AT LIMITS OF DEMOLITION TO LEAVE CLEAN VERTICAL EDGE.
  - ALL DEMOLITION TO BE HAULED OFF SITE AND DISPOSED OF LEGALLY IN ACCORDANCE WITH STATE AND LOCAL CODES.
  - DEMOLITION ACTIVITY TO BE PHASED TO ALLOW VEHICULAR ACCESS THROUGH EXISTING 10' ALLEY.
  - CONTRACTOR TO REFER TO CITY OF RALEIGH REIMBURSABLE FEE SCHEDULE FOR OFFSITE UTILITY IMPROVEMENTS INCLUDING REMOVING THE CURRENT WATER AND SEWER CONNECTIONS ONSITE.
  - OFF-SITE UTILITY DEMOLITION NOT SHOWN ON PLANS.
  - PUBLIC WATER MAIN ALONG MARTIN STREET ANTICIPATED TO BE REPLACED. EXISTING SERVICES TO PROJECT SITE TO BE ABANDONED. IF EXISTING PUBLIC WATER MAIN IS NOT REPLACED, ALL ABANDONED SERVICES TO BE CAPPED AT MAIN.
  - EXISTING STREET SIGNS TO BE REMOVED AND SALVAGED FOR REPLACEMENT.
  - TRAFFIC CONTROL REQUIRED BY CONTRACTOR PER MUTCD, CITY OF RALEIGH AND NCDOT REQUIREMENTS. ANTICIPATE WORK WITHIN ROADS AND CURB AND GUTTER REPLACEMENT TO BE PERFORMED BETWEEN HRS OF 9AM - 4PM WEEKDAYS AND ANYTIME ON WEEKENDS, WITH THE EXCEPTION OF DURING EVENTS.
  - WATER METERS TO BE REMOVED AND TURNED INTO THE CITY OF RALEIGH.
  - CAUTION: OVERHEAD UTILITIES EXIST ON W MARTIN ST AND S DAWSON ST.



SITE DATA TABLE	EXISTING	PROPOSED
ONSITE PERVIOUS AREA (SF)	165	700
	136	312
	35	227
	65	35
	66	66
ONSITE TOTAL PERVIOUS AREA (SF)	467	1,239
ONSITE IMPERVIOUS AREA (SF)	36,123	35,351
ONSITE TOTAL AREA (SF)	36,590	36,590
OFFSITE PERVIOUS AREA (SF)	68	216
	105	105
	72	72
OFFSITE TOTAL PERVIOUS AREA (SF)	245	216
OFFSITE IMPERVIOUS AREA (SF)	9,319	9,348
OFFSITE TOTAL AREA (SF)	9,564	9,564
TOTAL PROJECT PERVIOUS AREA (SF)	712	1,455
TOTAL PROJECT IMPERVIOUS AREA (SF)	45,442	44,699
TOTAL PROJECT AREA (SF)	46,154	46,154
% REDUCED		1.6%

EXISTING CONDITIONS PLAN BASED ON BOUNDARY AND TOPOGRAPHY SURVEY PROVIDED BY BOHLER ENGINEERING INC. PLLC DATED JULY 30, 2018 TITLED "ATA/NPS LAND TITLE SURVEY PROPERTY OF DAVIS NASH LLC, GURLEY NASH LLC, SPRAGOO HOLDINGS, LLC MARY GURGANIUS".

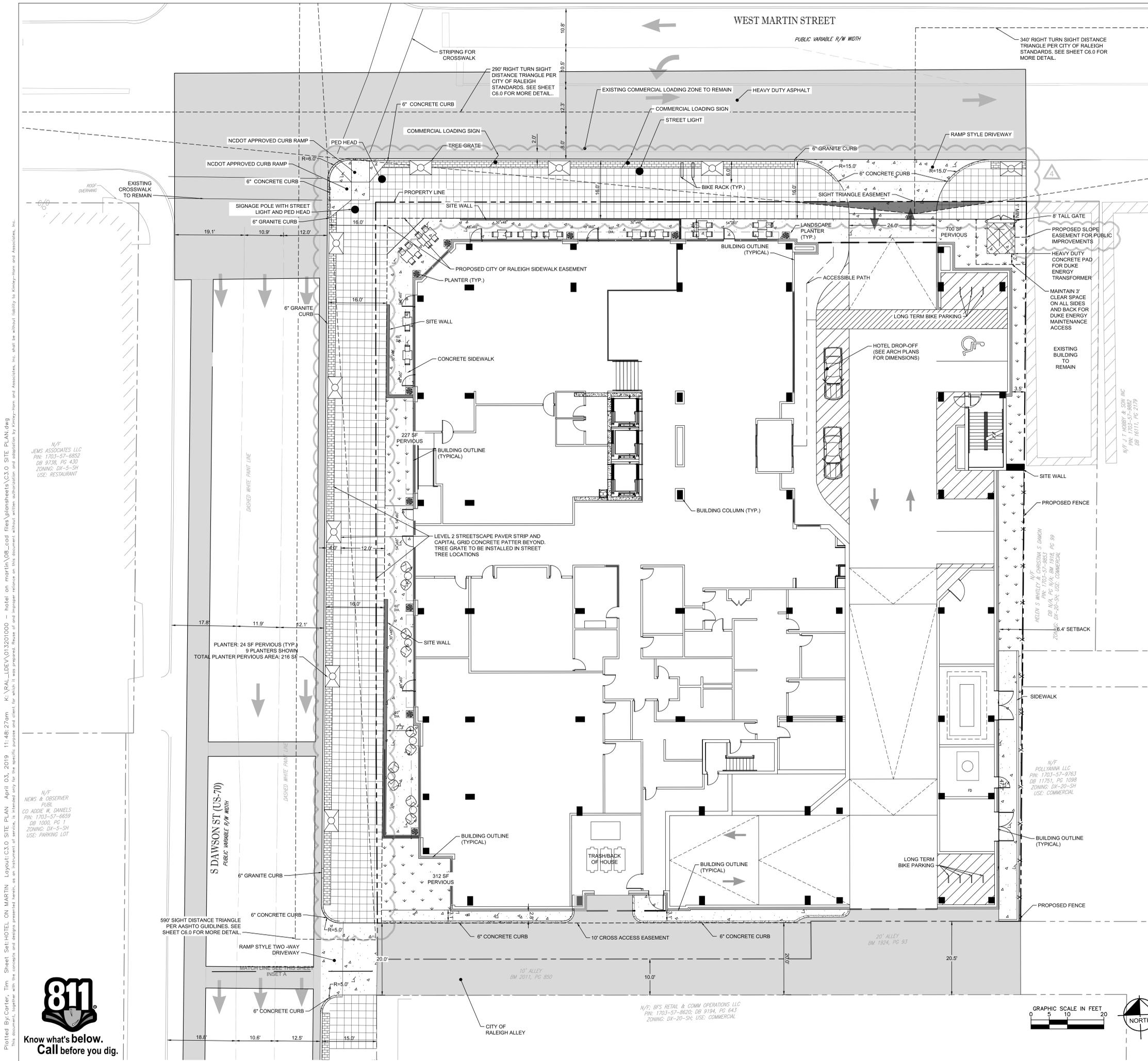
**PRELIMINARY**  
NOT FOR CONSTRUCTION

NOTE:  
ALL WORK TO REMAIN IN THE RIGHT-OF-WAY IN FRONT OF NEIGHBORING PARCELS.

PROJECT:	013201000
DRAWN BY:	AHK
DATE:	09/14/2018
SCALE:	1"=10'
PER CITY COMMENTS	11.13.18
PER CITY COMMENTS	12.11.18
PER CITY COMMENTS	01.14.19
PER CITY COMMENTS	03.08.19

Plotted By: Carter, Tim Sheet Set: HOTEL ON MARTIN Layout: C1.0 DEMO PLAN 09:24:58am K:\RAL\_LDEV\013201000 - hotel on martin\08\_cad\_files\plansheets\C1.0 DEMO PLAN.dwg  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of any information contained herein without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.





### SITE LEGEND

- PROPERTY LINE
- CONCRETE CURB
- GRANITE CURB
- DIRECTIONAL PAVEMENT ARROWS
- BIKE RACK
- HEAVY DUTY ASPHALT
- STANDARD CONCRETE
- HEAVY DUTY CONCRETE
- TREE WELL
- SITE WALL
- SIGHT DISTANCE EASEMENT

SITE DATA TABLE	EXISTING	PROPOSED
ONSITE PERVIOUS AREA (SF)	165	700
	136	312
	35	227
	65	
	66	
ONSITE TOTAL PERVIOUS AREA (SF)	467	1,239
ONSITE IMPERVIOUS AREA (SF)	36,123	35,351
<b>ONSITE TOTAL AREA (SF)</b>	<b>36,590</b>	<b>36,590</b>
OFFSITE PERVIOUS AREA (SF)	68	216
	105	
	72	
OFFSITE TOTAL PERVIOUS AREA (SF)	245	216
OFFSITE IMPERVIOUS AREA (SF)	9,319	9,348
<b>OFFSITE TOTAL AREA (SF)</b>	<b>9,564</b>	<b>9,564</b>
TOTAL PROJECT PERVIOUS AREA (SF)	712	1,455
TOTAL PROJECT IMPERVIOUS AREA (SF)	45,442	44,699
<b>TOTAL PROJECT AREA (SF)</b>	<b>46,154</b>	<b>46,154</b>
<b>% REDUCED</b>	<b>1.6%</b>	

**UDO 7.1.2.C AND 7.1.3.A PARKING REQUIREMENTS**

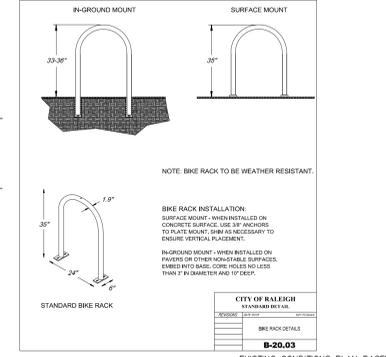
**REQUIRED PARKING:** PER 7.1.2.C OVERNIGHT LODGING - 1 SPACE PER ROOM (190 PROPOSED ROOMS = 190 SPACES)  
 PER 7.1.3.A.1.H IN THE DX DISTRICT, PARKING FOR OVERNIGHT LODGING REQUIRES ONLY ONE-HALF OF THE AMOUNT SPECIFIED IN SEC. 7.1.2. THIS REDUCES THE REQUIRED PARKING FROM 190 SPACES TO 95 SPACES

A RESTAURANT WOULD REQUIRE 1 SPACE PER 150SF GROSS FLOOR AREA OR 1 SPACE PER 5 SEATS, WHICHEVER IS GREATER. HOWEVER, SEC. 7.1.3.A.1.D STATES THAT NO VEHICLE PARKING IS REQUIRED FOR THE FIRST 10,000 SF OF GROSS FLOOR AREA OF ANY NONRESIDENTIAL USE. THE RESTAURANT SF IS AROUND 4,000 SF.

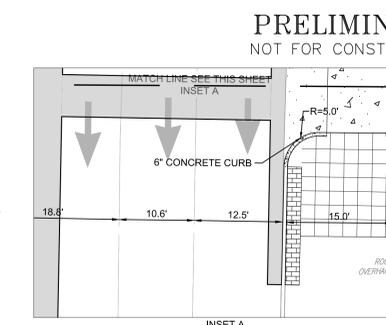
**LONG-TERM BIKE PARKING CALCULATIONS/METHODOLOGY**  
 PER 7.1.2.C OVERNIGHT LODGING - 1 SPACE PER 20 ROOMS OR BEDROOMS, MINIMUM 4 (190 ROOMS = 10 SPACES)  
 RESTAURANT/BAR - 1 SPACE PER 25,000 SF OF GROSS FLOOR AREA, MINIMUM 4 (4,100 SF = MINIMUM OF 4 SPACES) TOTAL OF 14 SPACES ARE REQUIRED

**SHORT TERM BIKE PARKING CALCULATIONS/METHODOLOGY**  
 PER 7.1.2.C OVERNIGHT LODGING - NONE REQUIRED RESTAURANT/BAR - 1 SPACE PER 50,000 SF OF GROSS FLOOR AREA, MINIMUM 4 (4,100 SF = MINIMUM OF 4 SPACES) TOTAL OF 4 SPACES ARE REQUIRED

PROPOSED PARKING	137 SPACES
<b>COMPACT PARKING SPACES</b>	22 SPACES (16% OF TOTAL PARKING)
	LONG TERM: 14 SPACES
<b>PROPOSED BIKE PARKING</b>	SHORT TERM: 4 SPACES
<b>PRIMARY STREET</b>	MARTIN STREET



EXISTING CONDITIONS PLAN BASED ON BOUNDARY AND TOPOGRAPHY SURVEY PROVIDED BY BOHLER ENGINEERING INC. PLLC DATED JULY 30, 2018 TITLED "ATA/NPS LAND TITLE SURVEY PROPERTY OF DAVIS NASH LLC, GURLEY NASH LLC, SPRAGOD HOLDINGS, LLC MARY GURGANUS".



**PRELIMINARY NOT FOR CONSTRUCTION**

NOTE: ALL WORK TO REMAIN IN THE RIGHT-OF-WAY IN FRONT OF NEIGHBORING PARCELS.

**GBA**  
 architectural design  
 2248 DEMING WAY, SUITE 120  
 MIDDLETON, WI 53562  
 (608) 829-1750  
 (608) 829-3036 (FAX)

**Kimley»Horn**  
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 PHONE: 919-972-8888  
 NC LICENSE # E-0103  
 WWW.KIMLEY-HORN.COM

PROJECT: **NASH SQUARE HOTEL**  
 100 S DAWSON ST  
 RALEIGH, NC 27601

CLIENT: **DOWNTOWN RALEIGH LODGING ASSOCIATES, LLC**  
**C/O RAYMOND MANAGEMENT COMPANY**  
 100 S DAWSON ST  
 MIDDLETON, WI 53562

PROJECT: 013201000  
 DRAWN BY: AHK  
 DATE: 09/14/2018  
 SCALE: 1"=10'

PER CITY COMMENTS 11.13.18  
 PER CITY COMMENTS 12.11.18  
 PER CITY COMMENTS 01.14.19  
 PER CITY COMMENTS 03.08.19

**SITE PLAN**

**C3.0**

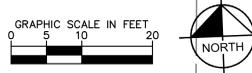
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N/F  
 JEMS ASSOCIATES LLC  
 PIN: 1703-57-8852  
 DB 9738, PG 430  
 ZONING: DX-5-SH  
 USE: RESTAURANT

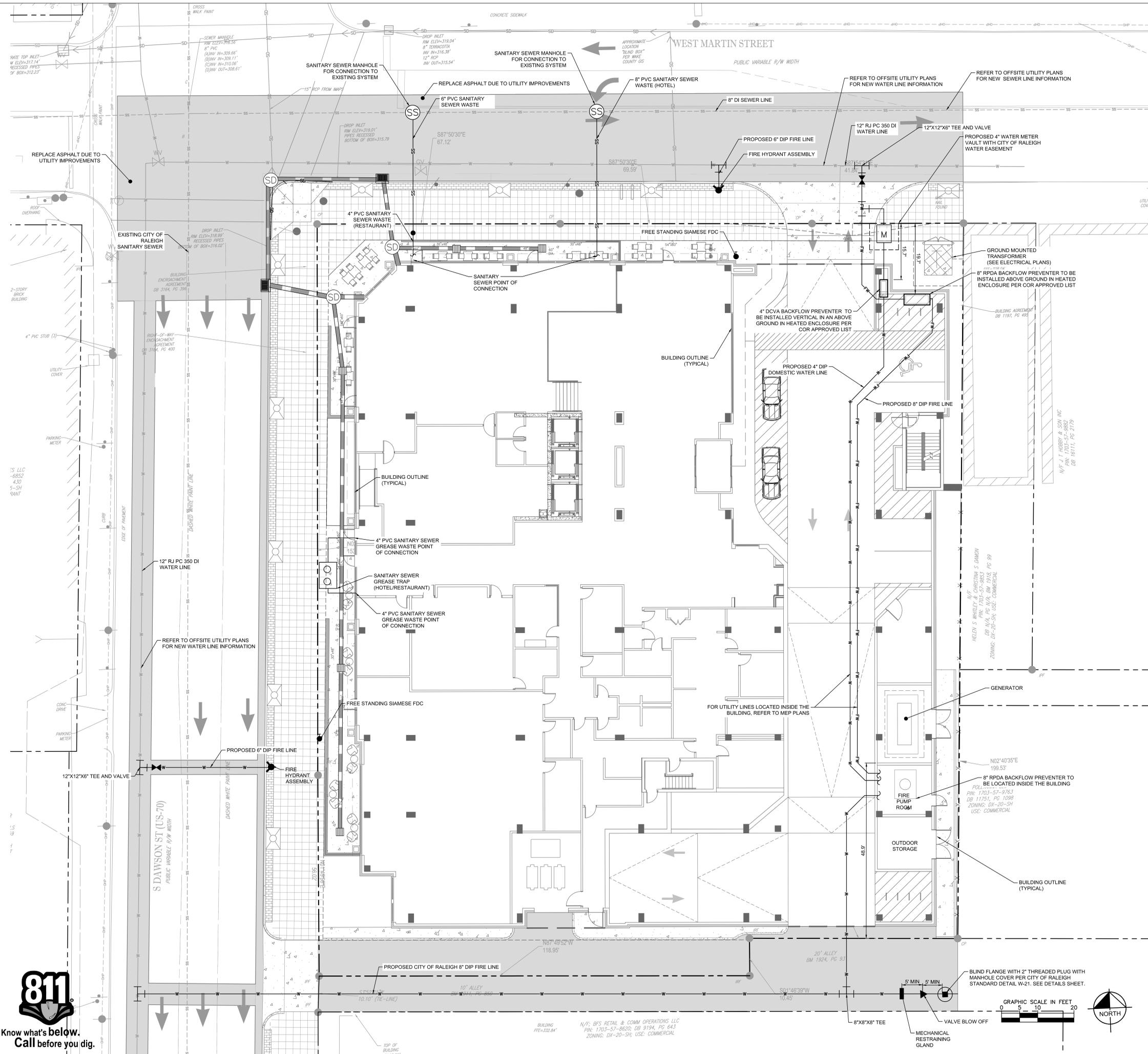
N/F  
 NEWS & OBSERVER  
 PUBL.  
 CO. ADDIE W. DANIELS  
 PIN: 1703-57-8659  
 DB 1000, PG 1  
 ZONING: DX-5-SH  
 USE: PARKING LOT

**811**  
 Know what's below.  
 Call before you dig.

N/F: B'S RETAIL & COMM OPERATIONS LLC  
 PIN: 1703-57-8620; DB 9194, PG 643  
 ZONING: DX-20-SH; USE: COMMERCIAL



Plotted By: Carter, Tim Sheet Set: HOTEL ON MARTIN Layout: C5.0 UTILITY PLAN April 03, 2019 09:26:25am K:\RAL\_LDEV\013201000 - hotel on martin\08\_cod files\plansheets\C5.0 UTILITY PLAN.dwg  
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UTILITY LEGEND	
	PROPERTY LINE
	WATER LINE
	FIRE LINE
	SANITARY SEWER LINE
	WATER METER
	POINT OF CONNECTION
	FIRE DEPARTMENT CONNECTION (FDC)
	SANITARY SEWER CLEANOUT (SSCO)
	SANITARY SEWER MANHOLE (SSMH)
	SANITARY SEWER GREASE TRAP

**GBA**  
 architectural + design  
 2248 DEWING WAY, SUITE 120  
 MIDDLETON, WI 53562  
 (608) 829-1750  
 (608) 829-3056 (FAX)

**Kimley»Horn**  
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 PHONE: 919-972-6600 FAX: 919-977-2050  
 NC LICENSE # E-0102 WWW.KIMLEY-HORN.COM

EXISTING CONDITIONS PLAN BASED ON BOUNDARY AND TOPOGRAPHY SURVEY PROVIDED BY BOHLER ENGINEERING INC, PLLC DATED JULY 30, 2018 TITLED "ATA/ANPS LAND TITLE SURVEY PROPERTY OF DAVIS NASH LLC, GURLEY NASH LLC, SPRAGOOD HOLDINGS, LLC MARY GURGANUS".

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

PROJECT: NASH SQUARE HOTEL  
 NASH SQUARE HOTEL  
 421 FAYETTEVILLE STREET  
 RALEIGH, NC 27601

CLIENT: DOWNTOWN RALEIGH LODGING ASSOCIATES, LLC  
 C/O RAYMOND MANAGEMENT COMPANY  
 100 W. HARRIS STREET  
 MIDDLETON, WI 53562

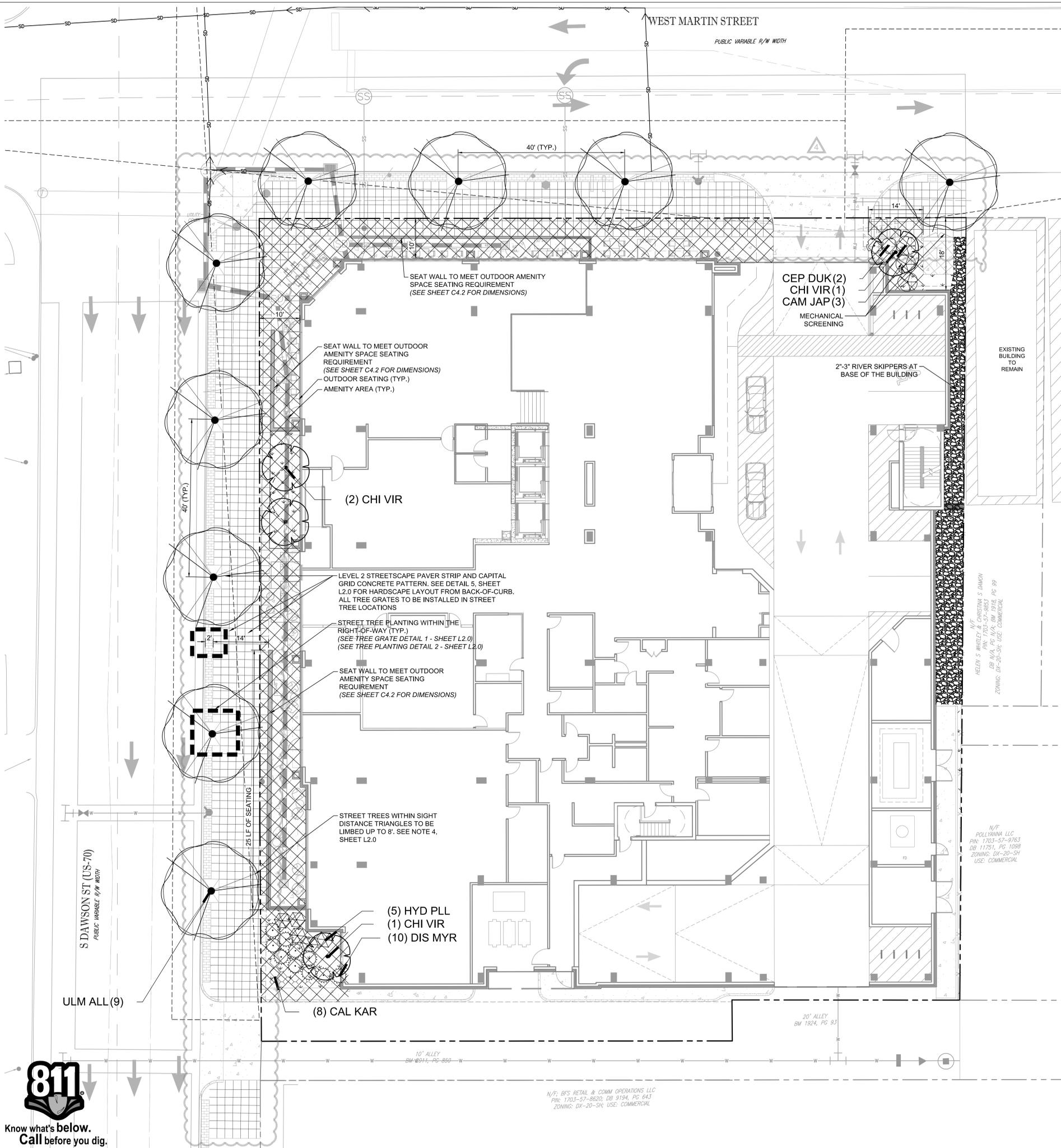
PROJECT: 013201000  
 DRAWN BY: AHK  
 DATE: 09/14/2018  
 SCALE: 1"=10'

PER CITY COMMENTS 11.13.18  
 PER CITY COMMENTS 12.11.18  
 PER CITY COMMENTS 01.14.19  
 PER CITY COMMENTS 03.08.19

UTILITY PLAN

C5.0

Plotted By: Guy, Brandon Sheet: HOTEL ON MARTIN Layout: L1.0 LANDSCAPE PLAN April 04, 2019 10:39:09am K:\RAL\DEV\013201000 - Hotel on Martin\08\_CAD\_Files\PlanSheets\L1.0 LANDSCAPE PLAN.dwg  
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LANDSCAPE REQUIREMENTS & CALCULATIONS					
AREA TO BE LANDSCAPED	CODE REQUIREMENT	SQUARE FEET / LINEAR FEET	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	CODE SECTION
OUTDOOR AMENITY AREA	10% OF NET SITE AREA	36,590	36,590 * 10% = 3,659 SF * 20' for each floor above the 7th floor 9 floors = 3,295 sf	3,783 SF	1.5.3.C
	1 LF OF SEATING PER 60 SQUARE FEET OF OPEN SPACE REQUIRED	3,665 SF	3,665 / 60 = 74 LF	40 SITE FURNISHINGS (2' PER SEAT) = 80 LF 20' LF OF SEAT WALL 130 LF PROVIDED	1.5.3.D.4
	1 (2") CAL. TREE PER 1,000 SQUARE FEET OF OPEN SPACE REQUIRED	3,665 SF	(3,665 / 1,000) * 1 = 4 LF	4 PROVIDED	1.5.3.D.4
STREET TREES	1 STREET TREE PER 40' (SOUTH DAWSON STREET & WEST MARTIN STREET)	360 LF	360 / 40 = 9 CANOPY TREES	9 CANOPY TREES	8.5.2.B

SITE LEGEND	
	PROPERTY LINE
	STANDARD CURB AND GUTTER
	DIRECTIONAL PAVEMENT ARROWS
	SIDEWALK
	BIKE RACK
	STANDARD ASPHALT
	STANDARD CONCRETE
	AMENITY AREA

PLANT SCHEDULE							
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	CHI VIR	4	Chionanthus virginicus	White Fringetree	B&B	2' Cal	10' HT.
	ULM ALL	9	Ulmus parvifolia 'Allen'	Alleé Lacebark Elm	B&B	3' Cal	14'-16' HT.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WIDTH	HEIGHT
	CAM JAP	3	Camellia japonica 'Kramer's Supreme'	Kramer's Supreme Camellia	3 gal	18"	36"
	CEP DUK	2	Cephalotaxus harringtonia 'Duke Garden'	Duke Garden plum yew	5 gal	24"	18"
	DIS MYR	10	Distylium myricoides 'Vintage Jade'	Vintage Jade Distylium	7 gal	18"	36"
	HYD PLL	5	Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea	5 gal	18"	24"
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	WIDTH	HEIGHT
	CAL KAR	8	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal	8"	12"

EXISTING CONDITIONS PLAN BASED ON BOUNDARY AND TOPOGRAPHY SURVEY PROVIDED BY BOHLER ENGINEERING INC, PLLC, DATED JULY 30, 2018 TITLED "ATLAS/ASPS LAND TITLE SURVEY PROPERTY OF DAVIS NASH LLC, GURLEY NASH LLC, SPRAGOOD HOLDINGS, LLC MARY GURGANUS".

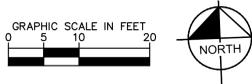
**PRELIMINARY**  
NOT FOR CONSTRUCTION

**GBA**  
Architecture + Design  
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PHONE: 919-677-2000 FAX: 919-677-2050  
NC LICENSE # F-0102  
WWW.KIMLEY-HORN.COM

PROJECT: NASH SQUARE HOTEL  
 CLIENT: DOWNTOWN RALEIGH LODGING ASSOCIATES, LLC  
 C/O RAYMOND MANAGEMENT COMPANY  
 833 GREENWAY BOULEVARD  
 MIDDLETON, WI 53662

PROJECT:	013201000
DRAWN BY:	AHK
DATE:	09/14/2018
SCALE:	1"=10'
	PER CITY COMMENTS 11.13.18
	PER CITY COMMENTS 12.11.18
	PER CITY COMMENTS 01.14.19
	PER CITY COMMENTS 03.08.19



N/P: B'S RETAIL & COMM OPERATIONS LLC  
 PIN: 1703-57-4620; DB 9194, PG 643  
 ZONING: DX-20-SH, USE: COMMERCIAL

N/P: POLYANNA LLC  
 PIN: 1703-57-9763  
 DB 11751, PG 1088  
 ZONING: DX-20-SH, USE: COMMERCIAL

N/P: HELEN S WATLEY & CHRISTINA S DIXON  
 DB N/A, PG N/A, BM BM 828, PG 89  
 ZONING: DX-20-SH, USE: COMMERCIAL

MATERIAL DESCRIPTION	
	<b>EIFS-01: EF-1</b> MANUFACTURER: DRYVIT COLOR: TAPESTRY BEIGE BM OC-32
	<b>EIFS-02: EF-2</b> MANUFACTURER: DRYVIT COLOR: TAUPE TONE SW 7633
	<b>METAL-01: MT-1</b> MANUFACTURER: FRESTONE LINA-CLAD COLOR: ANODIZED ALUMINUM BLACK BATCH
	<b>METAL-01: MT-2</b> MANUFACTURER: DR-BEIGN COLOR: WEATHER STEEL
	<b>BRICK-01: BR-1</b> MANUFACTURER: STATESVILLE BRICK COLOR: COPPER RIDGE OVERSIZE
	<b>MASONRY COPING: BR-02</b> MANUFACTURER: COLOR: TAUPE BROWN



**1 NORTH ELEVATION**  
1/8" = 1' 0"

PROJECT: **NASH SQUARE HOTEL**  
W. MARTIN ST. AT S. DAWSON ST.  
RALEIGH, NC 27601  
CLIENT: **DOWNTOWN RALEIGH LODGING ASSOCIATES, LLC**  
**C/O RAYMOND MANAGEMENT COMPANY**  
8333 GREENWAY BOULEVARD  
MIDDLETON, WI 53562

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PROJECT: 201807  
DRAWN BY:  
DATE: 03-06-2019  
SCALE:

- ▲ PER CITY COMMENTS 11-09-2018
- ▲ PER CITY COMMENTS 11-10-2018
- ▲ PER CITY COMMENTS 01-31-2019
- ▲ PER CITY COMMENTS 04-09-2019

MATERIAL DESCRIPTION	
	<b>EIFS-01: EF-1</b> MANUFACTURER: DRYVIT COLOR: TAPESTRY BEIGE BM OC-32
	<b>EIFS-02: EF-2</b> MANUFACTURER: DRYVIT COLOR: TAUPE TONE SW 7833
	<b>METAL-01: MT-1</b> MANUFACTURER: FIRESTONE LINA-CLAD COLOR: ANODIZED ALUMINUM BLACK BATCH
	<b>METAL-01: MT-2</b> MANUFACTURER: DRIBESIGN COLOR: WEATHER STEEL
	<b>BRICK-01: BR-1</b> MANUFACTURER: STATESVILLE BRICK COLOR: COPPER RIDGE OVERSIZE
	<b>MASONRY COPING: BR-02</b> MANUFACTURER: COLOR: TAUPE BROWN



**1 SOUTH ELEVATION**  
1/8" = 1' 0"

PROJECT: **NASH SQUARE HOTEL**  
W. MARTIN ST. AT S. DAWSON ST.  
RALEIGH, NC 27601  
CLIENT: **DOWNTOWN RALEIGH LODGING ASSOCIATES, LLC**  
**C/O RAYMOND MANAGEMENT COMPANY**  
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PROJECT: 201807  
DRAWN BY:  
DATE: 03-06-2019

SCALE:  
PER CITY COMMENTS 11-09-2018  
PER CITY COMMENTS 11-13-2018  
PER CITY COMMENTS 01-31-2019

MATERIAL DESCRIPTION	
	<b>EIFS-01: EF-1</b> MANUFACTURER: DRYVIT COLOR: TAPESTRY BEIGE BM OC-32
	<b>EIFS-02: EF-2</b> MANUFACTURER: DRYVIT COLOR: TAUPE TONE SW 7633
	<b>METAL-01: MT-1</b> MANUFACTURER: FIRESTONE LINA-CLAD COLOR: ANODIZED ALUMINUM BLACK BATCH
	<b>METAL-01: MT-2</b> MANUFACTURER: DR-BEIGN COLOR: WEATHER STEEL
	<b>BRICK-01: BR-1</b> MANUFACTURER: STATESVILLE BRICK COLOR: COPPER RIDGE OVERSIZE
	<b>MASONRY COPING: BR-02</b> MANUFACTURER: COLOR: TAUPE BROWN



**1 EAST ELEVATION**  
1/8" = 1' 0"

PROJECT:  
**NASH SQUARE HOTEL**  
W. MARTIN ST. AT S. DAWSON ST.  
RALEIGH, NC 27601

CLIENT:  
**DOWNTOWN RALEIGH LODGING ASSOCIATES, LLC**  
**JO RAYMOND MANAGEMENT COMPANY**  
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PROJECT: 201807  
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DATE: 03-06-2019

SCALE:  
PER CITY COMMENTS 11-09-2018  
PER CITY COMMENTS 11-13-2018  
PER CITY COMMENTS 01-31-2019

MATERIAL DESCRIPTION	
	<b>EIFS-01: EF-1</b> MANUFACTURER: DRYVIT COLOR: TAPESTRY BEIGE BM OC-32
	<b>EIFS-02: EF-2</b> MANUFACTURER: DRYVIT COLOR: TAUPE TONE SW 7633
	<b>METAL-01: MT-1</b> MANUFACTURER: FRESTONE LINA-CLAD COLOR: ANODIZED ALUMINUM BLACK BATCH
	<b>METAL-01: MT-2</b> MANUFACTURER: DR-BEIGN COLOR: WEATHER STEEL
	<b>BRICK-01: BR-1</b> MANUFACTURER: STATESVILLE BRICK COLOR: COPPER RIDGE OVERSIZE
	<b>MASONRY COPING: BR-02</b> MANUFACTURER: COLOR: TAUPE BROWN



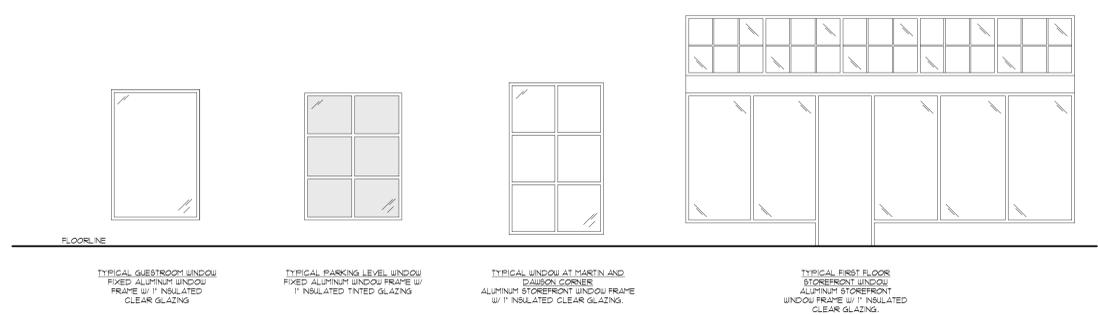
**1 WEST ELEVATION**  
1/8" = 1' 0"

PROJECT: **NASH SQUARE HOTEL**  
W. MARTIN ST. AT S. DAWSON ST.  
RALEIGH, NC 27601  
CLIENT: **DOWNTOWN RALEIGH LODGING ASSOCIATES, LLC**  
**CO RAYMOND MANAGEMENT COMPANY**  
8333 GREENWAY BOULEVARD  
MIDDLETON, WI 53562

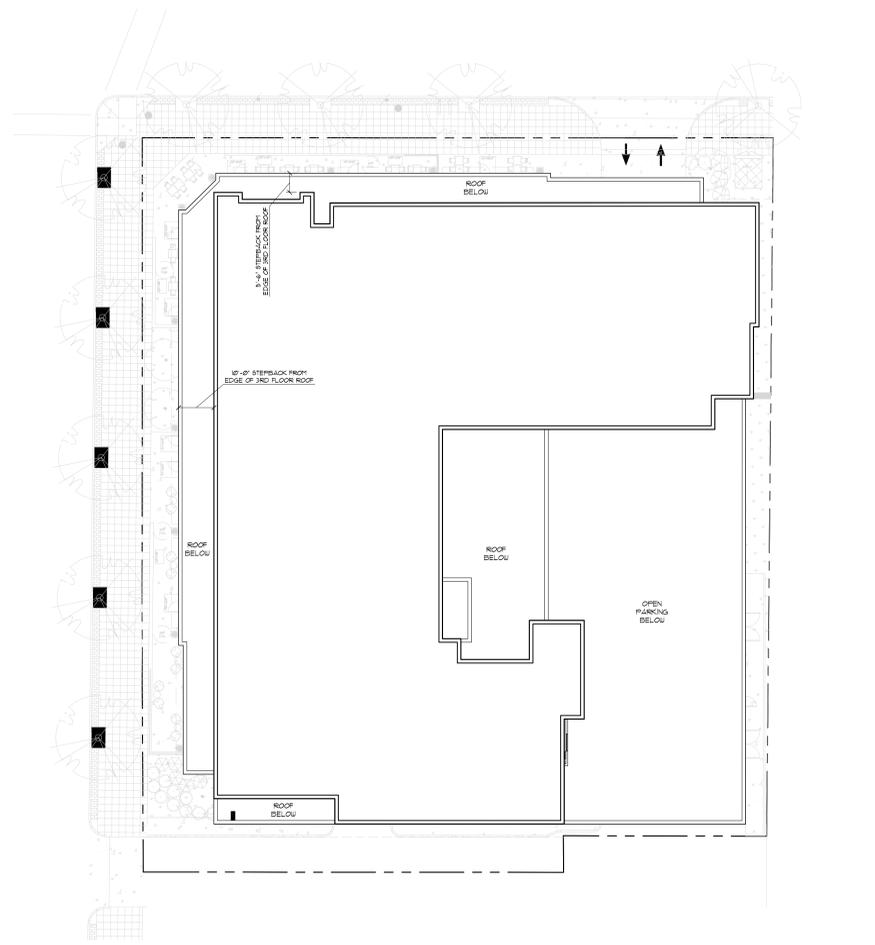
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PROJECT: 201807  
DRAWN BY:  
DATE: 03-06-2019

- SCALE:
- ▲ PER CITY COMMENTS 11-09-2018
  - ▲ PER CITY COMMENTS 11-10-2018
  - ▲ PER CITY COMMENTS 01-31-2019
  - ▲ PER CITY COMMENTS 04-09-2019

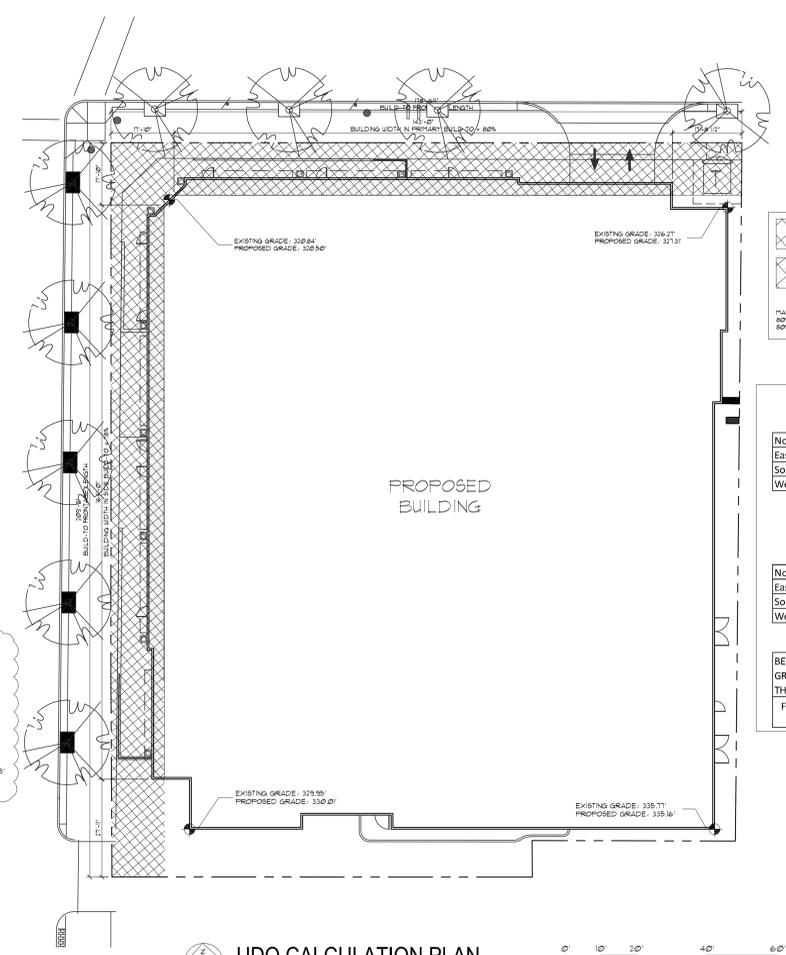


**TYPICAL WINDOW CONDITIONS**  
 SCALE: N.T.S.



**TRANSPARENCY CALCULATION**  
 SCALE: 1/16" = 1'-0"

**BUILDING STEPBACKS**  
 1" = 20'-0"



Average Grade Calculation Summary (Existing Grade)			
	Lowest Grade	Highest Grade	Average Grade
North Elevation	320.84	326.27	323.56
East Elevation	326.27	335.77	331.02
South Elevation	329.95	335.77	332.86
West Elevation	320.84	329.95	325.40
<b>Total:</b>			<b>328.21</b>

Average Grade Calculation Summary (Proposed Grade)			
	Lowest Grade	Highest Grade	Average Grade
North Elevation	320.5	327.31	323.91
East Elevation	327.31	335.16	331.24
South Elevation	330.01	335.16	332.59
West Elevation	320.5	330.01	325.26
<b>Total:</b>			<b>328.25</b>

BETWEEN THE EXISTING AVERAGE GRADE, AND THE PROPOSED AVERAGE GRADE, THE EXISTING AVERAGE GRADE OF 328.21' IS THE MORE RESTRICTIVE OF THE TWO.

FROM AVERAGE GRADE OF 328.21', BUILDING HEIGHT IS 108'-7 1/2" TO ROOF. SEE SHEETS A6.01 AND A6.02 FOR BUILDING HEIGHT DIMENSION

PROJECT: NASH SQUARE HOTEL  
 W. MARTIN ST. AT S. DAWSON ST.  
 RALEIGH, NC 27601

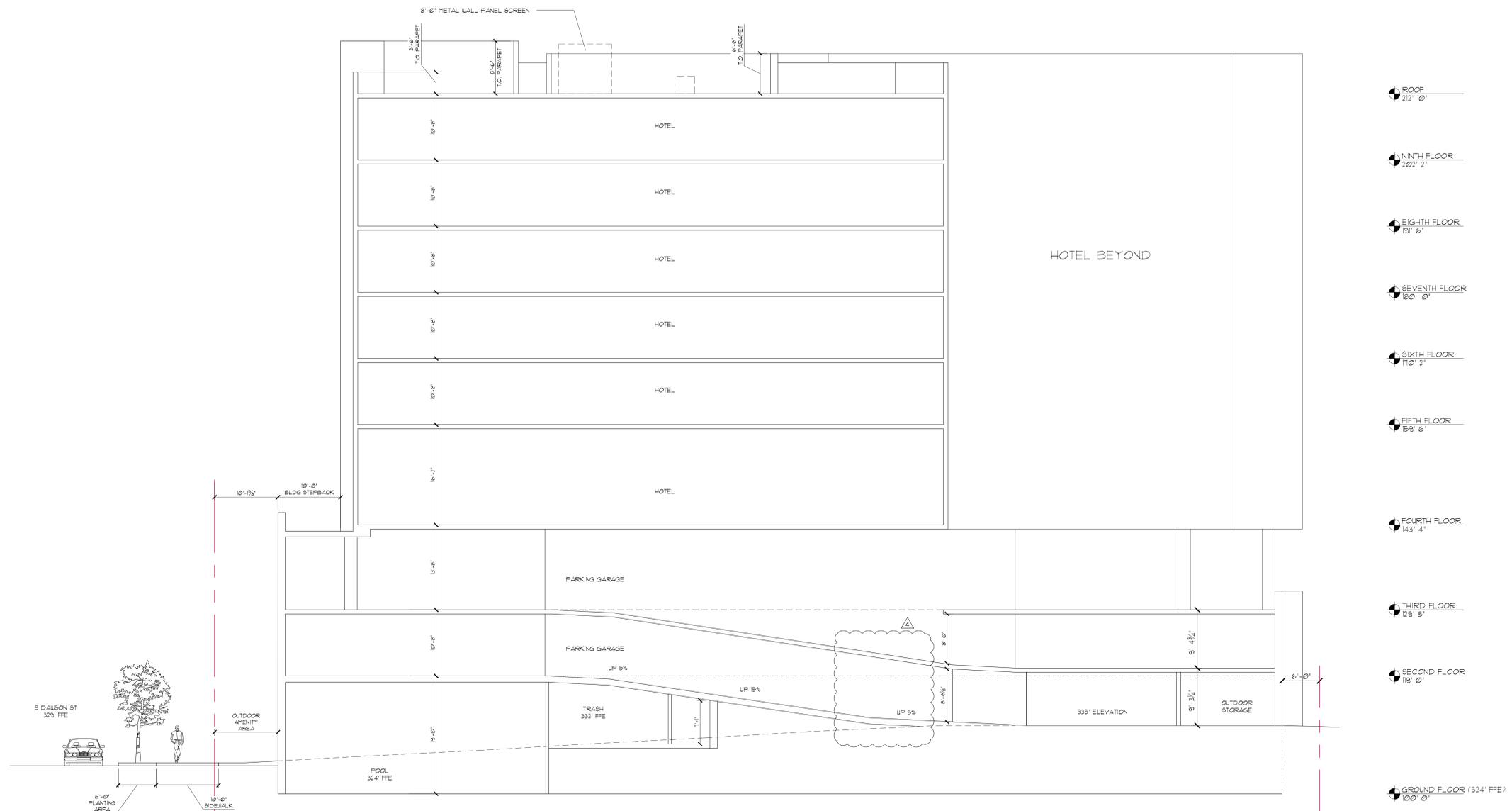
CLIENT: DOWNTOWN RALEIGH LODGING ASSOCIATES, LLC  
 C/O RAYMOND MANAGEMENT COMPANY  
 8033 GREENWAY BOULEVARD  
 MIDDLETON, WI 53562

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PROJECT: 201807  
 DRAWN BY: DSD  
 DATE: 03-06-2019  
 SCALE:

PER CITY COMMENTS 12-13-2018  
 PER CITY COMMENTS 01-31-2019  
 PER CITY COMMENTS 04-05-2019





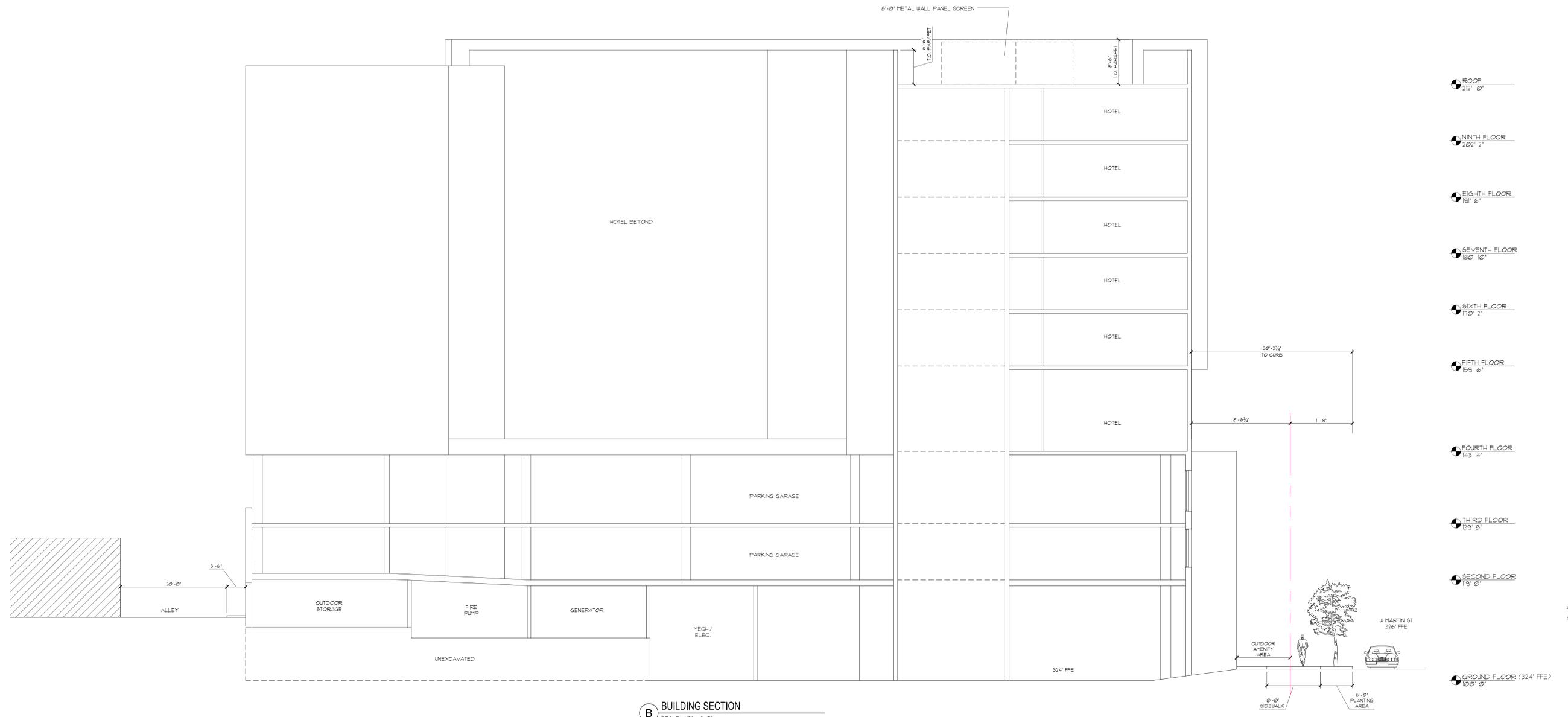
**A BUILDING SECTION**  
SCALE: 1/8" = 1'-0"

PROJECT: NASH SQUARE HOTEL  
100 S DAUNSON ST  
RALEIGH, WI 53061  
CLIENT: DOWNTOWN RALEIGH LODGING ASSOCIATES, LLC  
C/O RAYMOND MANAGEMENT COMPANY  
500 W. WISCONSIN BLVD  
MIDDLETON, WI 53562

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PROJECT: 201807  
DRAWN BY: DSD  
DATE: 03-06-2013  
SCALE:

- 1 PER CITY COMMENTS 11-05-2013
- 2 PER CITY COMMENTS 12-13-2013
- 3 PER CITY COMMENTS 01-31-2013
- 4 PER CITY COMMENTS 04-05-2013



**B** BUILDING SECTION  
SCALE: 1/8" = 1'-0"

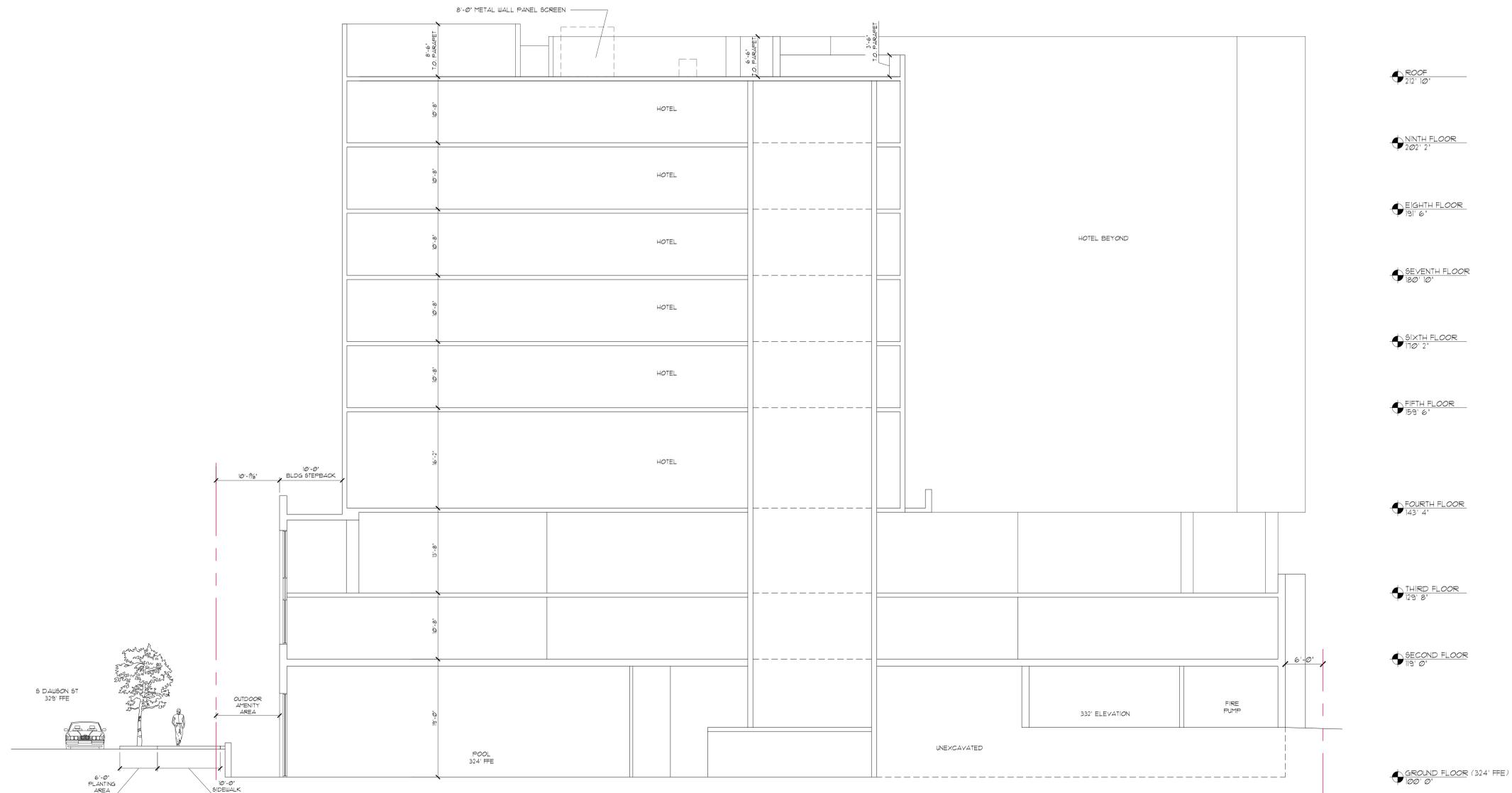
PROJECT: NASH SQUARE HOTEL  
NASH SQUARE HOTEL  
RALEIGH, NC 27601

CLIENT: DOWNTOWN RALEIGH LODGING ASSOCIATES, LLC  
D/O RAYMOND MANAGEMENT COMPANY  
MIDDLETON, WI 53562

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PROJECT: 201807  
DRAWN BY: DSD  
DATE: 03-06-2019  
SCALE:

1 PER CITY COMMENTS 11-05-2018  
2 PER CITY COMMENTS 12-13-2018



- ROOF 212' 10"
- NINTH FLOOR 202' 2"
- EIGHTH FLOOR 191' 6"
- SEVENTH FLOOR 180' 10"
- SIXTH FLOOR 170' 2"
- FIFTH FLOOR 159' 6"
- FOURTH FLOOR 143' 4"
- THIRD FLOOR 129' 8"
- SECOND FLOOR 119' 0"
- GROUND FLOOR (324' FFE) 100' 0"

**A BUILDING SECTION**  
SCALE: 1/8" = 1'-0"

PROJECT: NASH SQUARE HOTEL  
1 NASH SQUARE, MIDDLETON, WI 53562  
RALEIGH, NC 27601  
CLIENT: DOWNTOWN RALEIGH LODGING ASSOCIATES, LLC  
C/O RAYMOND MANAGEMENT COMPANY  
100 RAYMOND MANAGEMENT COMPANY  
MIDDLETON, WI 53562

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PROJECT: 201807  
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SCALE:

- 1 PER CITY COMMENTS 11-05-2018
- 2 PER CITY COMMENTS 12-13-2018