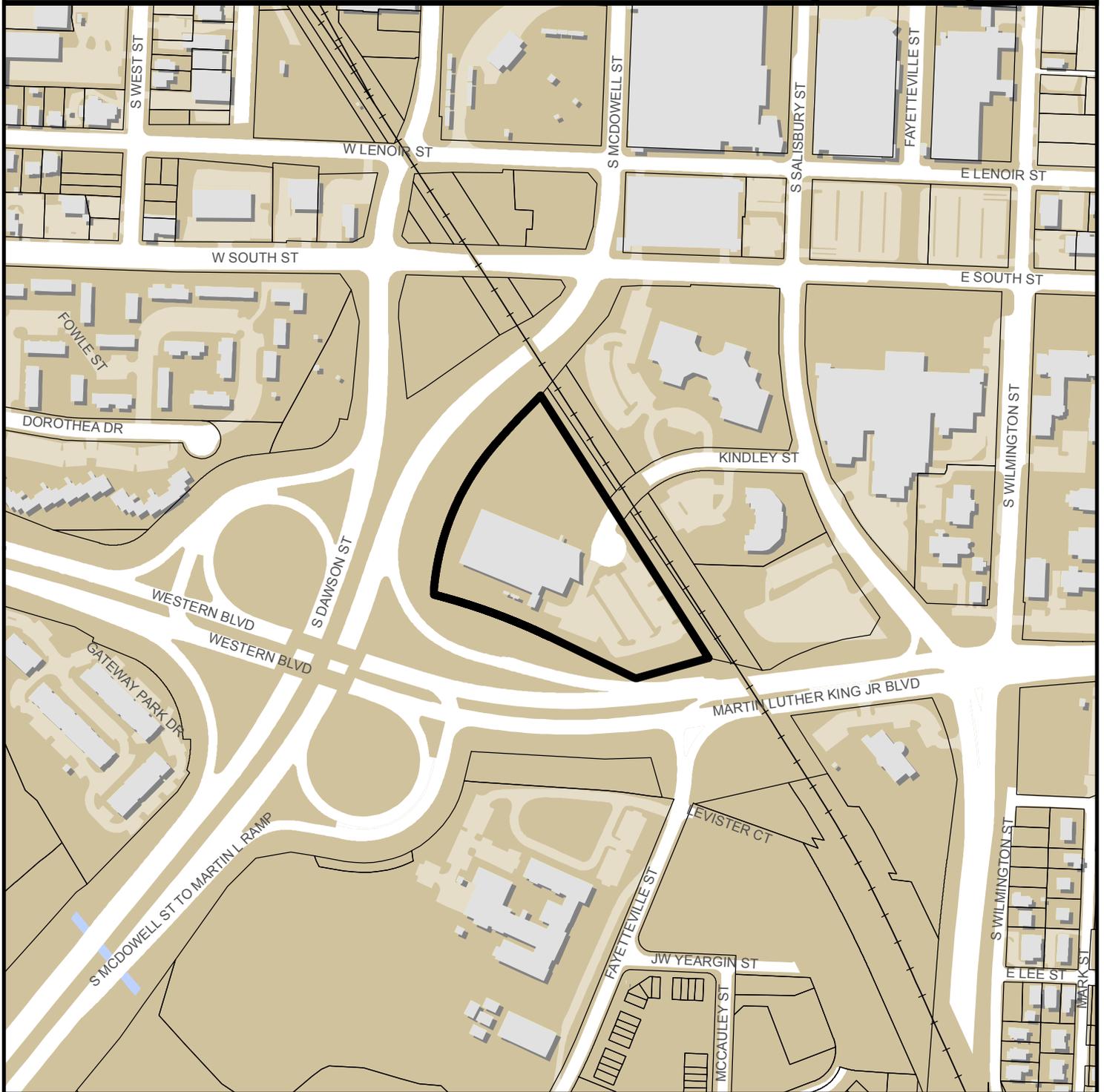


GATEWAY SOUTHEAST SR-99-2016



Zoning: **DX-20**
CAC: **Central**
Drainage Basin: **Rocky Branch**
Acreage: **5.89**
Square footage: **355,889**

Planner: **Michael Walters**
Phone: **(919) 996-2636**
Applicant: **Exploris Developer
Group, LLC**





Administrative Approval Action

AA # 3723 / SR-99-16, Gateway South
Transaction# 496251

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located at 120 Kindley Street, at the northeast corner of the intersection of S. McDowell Street and Martin Luther King Jr. Blvd.

REQUEST: Development of a 5.89 acre tract zone DX-20 into a 10 story, 355,475 square foot office building including a K-8 Charter School facility (leasing space). The building is to provide internal parking.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:

One Design Adjustment has been approved by the Public Works Director for this project, noted below.

1. Due to existing conditions and the proposed use, a Design Adjustment has been approved waiving the block perimeter requirement (8.3), and allowing an alternative street cross section (8.4).

One Administrative Alternate (AAD-24-17) has been approved by the Planning Director for this project, noted below.

1. As the location has street frontage along three public streets, an administrative alternate has been approving allowing an alternative building massing standard (3.3.3).

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Stewart Inc.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. An encroachment agreement for the alternate street section of Kindley St within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department. The encroachment agreement shall also be recorded with the Wake County Register of Deeds prior to concurrent review approval.

Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.



Administrative Approval Action

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STORMWATER

2. A Major Encroachment agreement will be required for the private Roof Drains shown in proposed Public Right of Way (or the roof drain location may be amended to be on private property)

Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

URBAN FORESTRY

3. Obtain required stub and tree impact permits from the City of Raleigh. *(used with new streets and infrastructure)*

Next Step: Prior to the issuance of a mass grading permit or other site permit, whichever comes first, submit a final tree conservation plan with a permit approved by Urban Forestry staff that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required.

Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

1. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Subdivisions, Recombinations, Right Of Way and/or Easement Dedications, and Tree Save Areas.
2. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
3. A demolition permit shall be obtained.
4. Provide fire flow analysis.
5. Infrastructure construction plans for all public improvements shall be approved thru the concurrent review process.

ENGINEERING

6. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
7. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department.



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8. An encroachment agreement for the alternate street section of Kindley St within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.
9. That in accordance with Part 10A Section 8.1.3, a surety equal to 125% of the cost of development related public improvements on Kindley street is paid to the Development Services Department, Development Engineering Division.

Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

PUBLIC UTILITIES

10. A Final Plat must be recorded at the Wake County Register of Deeds office for all necessary Subdivisions / Recombinations, Right-of-Way, Utility / Stormwater Easement Dedications and/or Tree Save Areas
19. Initiation of the easement exchange process is required (via dedication of new easement on Record Plat, ending with abandonment of old easement on subsequent Deed)

URBAN FORESTRY

20. A final inspection of required tree conservation and right of way tree protection areas by Urban Forestry staff must be completed.
21. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

Prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.

Next Step: All street lights and street signs required as part of the development approval are installed.

Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.

Next Step: Final inspection of all required Tree Conservation and right of way trees by Urban Forestry Staff.



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EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 2-21-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) *Angie Bily* Date: 2/22/2018

Staff Coordinator: Michael Walters

Design Adjustment Staff Response



DEVELOPMENT SERVICES DEPARTMENT

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Gateway Southeast	
	Development Case Number	SR-99-2016	
	Transaction Number	496251	
	Design Adjustment Number	DA - -	
STAFF RESPONSE	Staff recommendation based upon the findings in the applicable code(s):		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	
	<input checked="" type="checkbox"/> UDO Art. 8.4 New Streets	<input checked="" type="checkbox"/> Raleigh Street Design Manual	
	Staff SUPPORTS <input checked="" type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.		
	DEPARTMENTS		
	<input checked="" type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering	<input checked="" type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services	<input checked="" type="checkbox"/> Parks & Recreation and Cult. Res.	
	<input type="checkbox"/> Public Utilities		
	CONDITIONS:		
The attached request for relief from the block perimeter standards as well as the introduction of a woonerf style street section that will be privately maintained through encroachment agreement meets the intent of the UDO and is supported by staff.			
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			



Authorized Signature KENNETH W. RITCHIE, PE, MPA 2/8/2018

 DEVELOPMENT SERVICES MANAGER Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.3 Blocks Lots, Access



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise Safety;
YES NO
- D. The requested design adjustment does not create any lots without direct street Frontage;
YES NO
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- YES NO

STAFF FINDINGS

The current control of access along MLK Blvd. and the access ramp prohibit a connection to meet block perimeter standards at this time. Kindly St. right-of-way is being extended toward the property line to allow for future connection if the control of access were to be changed in the future.

Staff Response Article 8.4 New Streets



**DEVELOPMENT
SERVICES
DEPARTMENT**

- A. The requested design adjustment meets the intent of this Article;
YES **NO**
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES **NO**
- C. The requested design adjustment does not increase congestion or compromise safety;
YES **NO**
- D. The requested design adjustment does not create additional maintenance responsibilities for the City;
YES **NO**
- E. The requested design adjustment has been designed and certified by a Professional Engineer; and
YES **NO**
- F. The requested design adjustment shall address Stormwater collection and conveyance and not adversely impact Stormwater collection.
YES **NO**

STAFF FINDINGS

Empty box for staff findings.

Staff Response

Article 8.5 Existing Streets



DEVELOPMENT
SERVICES
DEPARTMENT

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise safety;
YES NO
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
YES NO
- E. The requested design adjustment has been designed and certified by a Professional Engineer.
YES NO

STAFF FINDINGS

The woonerf style street that is being proposed as an extension of existing Kindly street will be fully privately maintained through an encroachment agreement and will not create additional maintenance for the City or create any increase in congestion or compromise safety.

Staff Response Raleigh Street Design Manual



DEVELOPMENT
SERVICES
DEPARTMENT

- A. The requested design adjustment meets the intent of the Raleigh Street Design Manual;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise safety;
YES NO
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
YES NO
- E. The requested design adjustment has been designed and certified by a Professional Engineer.
YES NO

STAFF FINDINGS

The requested vertical design standards do not meet those of the RSDM. However they do use ASHTO guidelines and a reduced roadway speed in order to not create a safety concern. The final vertical design of Kindly St. will not occur until Concurrent review, but this design adjustment provides a basis for that design. See attached application for additional detail.



STEWART

421 FAYETTEVILLE ST., SUITE 400 FIRM LICENSE #: C-1051
RALEIGH, NC 27601 www.stewartinc.com
T 919.380.8750 PROJECT #: C16105

Client:

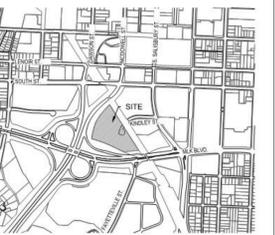


SFL+a Architects
333 Fayetteville Street
Suite 225
Raleigh, NC 27601
P: 919.573.6350
F: 919.573.6355

Project:

CITY GATEWAY

Vicinity map:

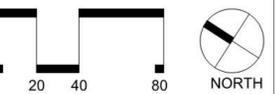


Seal:

PRELIMINARY - DO NOT
USE FOR CONSTRUCTION

Issued for:

No.	Date	Description
1	03.10.2017	ADMIN SITE RE-SUBMITTAL
2	12.12.2017	ADMIN SITE RE-SUBMITTAL



Title:

EXISTING CONDITIONS ENLARGEMENT PLAN

Project number: C16105 Sheet:

Date: 12.12.2017

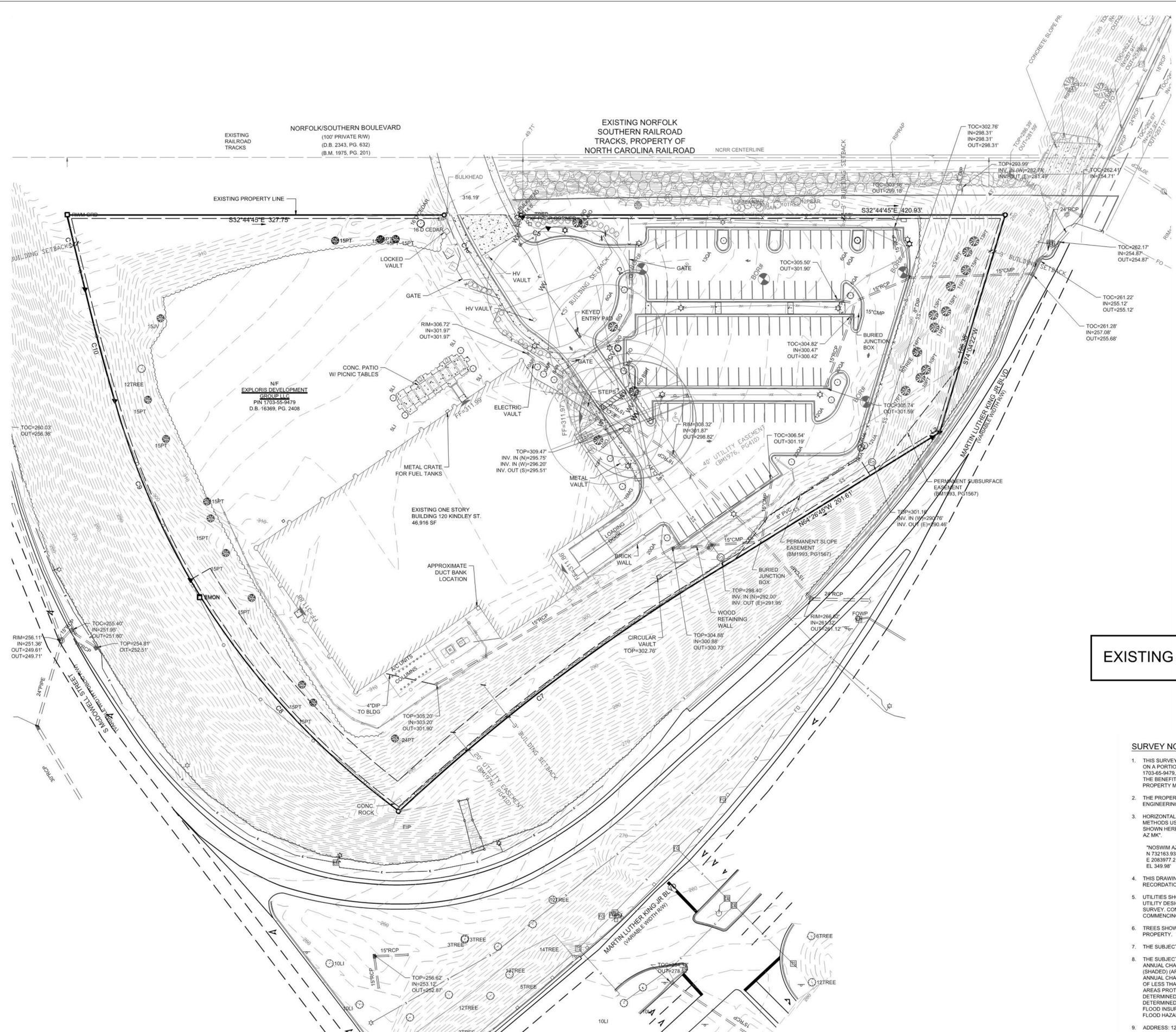
Drawn by: RS

Approved by: ACP/CJM

C-1.00

LEGEND

- EIP EXISTING IRON PIPE
- EIR EXISTING IRON ROD
- ECM EXISTING CONCRETE MONUMENT
- ▲ COMPUTED POINT
- IRON PIPE SET
- SDM STORM DRAIN MANHOLE
- SDI STORM DRAIN INLET
- SDIC STORM DRAIN CURB INLET
- ▼ SDIFS STORM DRAIN FLARED END SECTION
- SSM SANITARY SEWER MANHOLE
- HYDRANT
- WV WATER VALVE
- WM WATER METER
- WMH WATER MANHOLE
- WVT WATER VAULT
- IICV IRRIGATION CONTROL VALVE
- TM TELEPHONE MANHOLE
- TPED TELEPHONE PEDESTAL
- FOWP FIBER OPTIC WITNESS POST
- FB FIBER OPTIC BOX
- EB ELECTRIC BOX
- LP LIGHT POLE
- JB JUNCTION BOX
- TSP TRAFFIC SIGNAL POST
- RCB RAILROAD CONTROL BOX
- BOLLARD
- SIGN
- FF=18' FINISHED FLOOR ELEVATION
- DT DECIDUOUS TREE
- ET EVERGREEN TREE
- BUSH
- CLF CHAIN LINK FENCE
- GR GUARDRAIL
- TREELINE
- FO UNDERGROUND FIBER OPTIC LINE
- E UNDERGROUND ELECTRIC LINE
- W UNDERGROUND WATER LINE
- SS SANITARY SEWER LINE
- SDM STORM DRAIN LINE
- U UNIDENTIFIED LINE
- UNKNOWN DESTINATION
- RCP REINFORCED CONCRETE PIPE
- CMP CORRUGATED METAL PIPE



EXISTING IMPERVIOUS = 112,201 SF

SURVEY NOTES:

- THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS/TOPOGRAPHY ON A PORTION OF THE PROPERTY OF EXPLORIS DEVELOPMENT GROUP, LLC, PIN 1703-65-9479, AND IS NOT A BOUNDARY SURVEY. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND THEREFORE ALL ENCUMBRANCES UPON THE PROPERTY MAY NOT BE SHOWN.
- THE PROPERTY LINES SHOWN HEREON HAVE NOT BEEN CONFIRMED BY STEWART ENGINEERING. PROPERTY LINES SHOWN TAKEN FROM DEED BOOK 16369, PAGE 2408.
- HORIZONTAL DATUM IS NAD 83 (2011) AND VERTICAL DATUM IS NAVD88. BASED ON GPS METHODS USING REAL-TIME KINEMATIC SOLUTIONS FOR THE SURVEY CONTROL POINTS SHOWN HEREON AND TIED TO NORTH CAROLINA GEODETIC SURVEY MONUMENT "NOSWIM AZ MK".
"NOSWIM AZ MK"
N 32163.93'
E 2083977.21'
EL 349.98'
- THIS DRAWING DOES NOT CONFORM TO N.C. GS47-30 AND THEREFORE IS NOT FOR RECORDATION.
- UTILITIES SHOWN HEREON ARE BASED SOLELY ON ABOVE-GROUND VISIBLE EVIDENCE. NO UTILITY DESIGNATION/MARKING SERVICES WERE PERFORMED AS A PART OF THIS SURVEY. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE COMMENCING CONSTRUCTION.
- TREES SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY.
- THE SUBJECT PROPERTY IS ZONED "O & I-2" (PER WAKE COUNTY GIS).
- THE SUBJECT PROPERTY LIES IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLAIN), X (SHADED) (AREA OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF FUTURE CONDITIONS 1% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS OF LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD), AE (AREA DETERMINED TO BE INSIDE THE 1% ANNUAL CHANCE FLOOD, BASE FLOOD ELEVATIONS DETERMINED), AND FLOODWAY (DELINEATED FLOODWAY OF A STREAM, BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720170300) DATED 5/2/2006. FLOOD HAZARD LINES SHOWN HEREON ARE FROM NCFLOODMAPS.COM.
- ADDRESS: 120 KINDLEY ST.



STEWART

421 FAYETTEVILLE ST., SUITE 400 FIRM LICENSE # C-1051
RALEIGH, NC 27601 www.stewartinc.com
T 919.380.8750 PROJECT # C16105

Client:

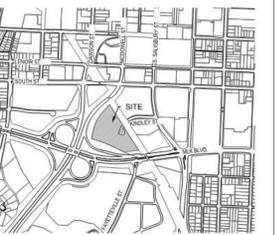


SFL+a Architects
333 Fayetteville Street
Suite 225
Raleigh, NC 27601
P: 919.573.6350
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Project:

CITY GATEWAY

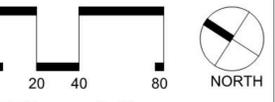
Vicinity map:



Seal:

Issued for:

No.	Date	Description
1	03.10.2017	ADMIN SITE RE-SUBMITTAL
2	12.12.2017	ADMIN SITE RE-SUBMITTAL



SCALE: 1"=40'

Title:

SITE PLAN

Project number: C16105 Sheet:

Date: 12.12.2017

Drawn by: MNE/RS

Approved by: ADP/CJM

C-3.00

SITE LEGEND

- PROPOSED BUILDING
- PROPOSED CONCRETE PAVING
- PROPOSED HEAVY DUTY PAVEMENT
- PROPOSED CONCRETE PAVERS
- PROPOSED CURB & GUTTER
- PROPOSED RETAINING WALL
- PROPOSED LIGHT
- PROPOSED BIKE RACK
- PROPOSED BOLLARD
- LIMITS OF DISTURBANCE
- PLANTING AREA
- BUILDING ENTRY

ENCROACHMENT NARRATIVE:

THE PUBLIC PLAZA AREA, DEFINED BY THE BRIDGE ABUTMENT/BULKHEAD TO THE NORTH, AND THE PAVER BANDS EXTENDING SOUTH IS INTENDED TO BE FULLY WITHIN AN ENCROACHMENT TO BE ACCEPTED BY THE CITY OF RALEIGH. THE DEVELOPER WILL PROVIDE MAINTENANCE OF MATERIALS WITHIN THIS PUBLIC PLAZA.

PROPERTY LINE SETBACKS

	TYPE	REQUIRED SETBACK	PROVIDED
A	PRIMARY STREET	3 FT.	35'-11 3/16"
B	PRIMARY STREET	3 FT.	33'-3 1/2"
C	REAR LOT LINE	0' OR 6' FT.	11'-0"

GENERAL NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF INSURANCE, ACCORDING TO ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
- EXISTING SURVEY INFORMATION INCLUDING TOPOGRAPHIC INFORMATION PROVIDED BY STEWART, UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICE OF EXCAVATION TO NOTIFICATION CENTER AND FACILITY OWNERS (PER NC STATUTE) NO LESS THAN 3 BUSINESS DAYS AND NO MORE THAN 12 WORKING DAYS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEMOLITION

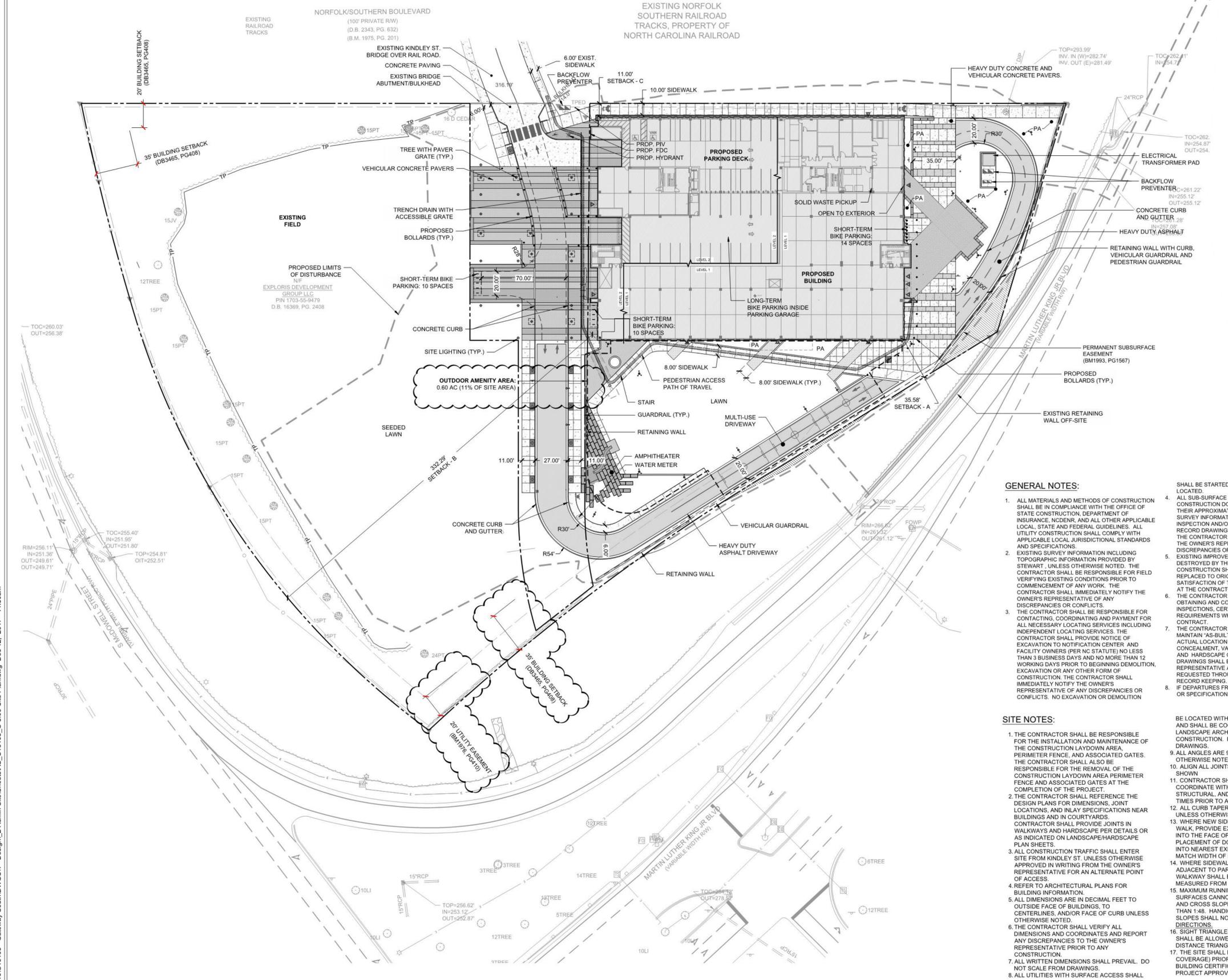
SITE NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE CONSTRUCTION LAYDOWN AREA PERIMETER FENCE, AND ASSOCIATED GATES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL OF THE CONSTRUCTION LAYDOWN AREA PERIMETER FENCE AND ASSOCIATED GATES AT THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL REFERENCE THE DESIGN PLANS FOR DIMENSIONS, JOINT LOCATIONS, AND INLAY SPECIFICATIONS NEAR BUILDINGS AND IN COURTYARDS. CONTRACTOR SHALL PROVIDE JOINTS IN WALKWAYS AND HARDSCAPE PER DETAILS OR AS INDICATED ON LANDSCAPE/HARDSCAPE PLAN SHEETS.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER SITE FROM KINDLEY ST. UNLESS OTHERWISE APPROVED IN WRITING FROM THE OWNER'S REPRESENTATIVE FOR AN ALTERNATE POINT OF ACCESS.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
- ALL DIMENSIONS ARE IN DECIMAL FEET TO OUTSIDE FACE OF BUILDINGS, TO CENTERLINES, AND/OR FACE OF CURB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION.
- ALL WRITTEN DIMENSIONS SHALL PREVAIL. DO NOT SCALE FROM DRAWINGS.
- ALL UTILITIES WITH SURFACE ACCESS SHALL

- BE LOCATED WITHIN THE PAVING PATTERN AND SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. REFER TO LAYOUT DRAWINGS.
- ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONCEALMENT, VALVE AND MANHOLE CHANGES, AND LANDSCAPE OR HARDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.
- IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY

- THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THERE OF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- ROADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING APPARATUS (85,000 LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.

- HANDICAP RAMPS SHALL BE INSTALLED PER LATEST EDITION OF THE NC BUILDING CODE AND ANSI 117.11 WITH DETECTABLE WARNING DOMES WITH A COLOR CONTRAST OF 70% MINIMUM. SEE DETAILS AND GRADING SPOT ELEVATIONS, IF THE EXISTING CONDITIONS PRECLUDE THE ABILITY TO PROVIDE A MAXIMUM SLOPE OF 1/12 FOR 6- FEET OR A MAXIMUM CROSS SLOPE OF 1/48 AND A 36" MINIMUM LANDING, THE CONTRACTOR SHALL NOTIFY ENGINEER OR OWNER REPRESENTATIVE PRIOR TO INSTALLATION.
- HANDICAP RAMPS SHALL BE INSTALLED PER THE PLANS AND SPECIFICATIONS AND THE NC BUILDING CODE. A MAXIMUM SLOPE OF 1/12 FOR 6- FEET AND A MAXIMUM CROSS SLOPE OF 1/48 SHALL BE PROVIDED. IF EXISTING CONDITIONS PRECLUDE THIS REQUIREMENT, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- THE TESTING AGENCY SHALL BE RESPONSIBLE FOR PROVIDING THE ASPHALT AND CONTRACTOR CERTIFICATION MEMO TO NCDOT FOR ALL ROADWAY IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.



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STEWART

421 FAYETTEVILLE ST., SUITE 400 FIRM LICENSE # C-1051
RALEIGH, NC 27601 www.stewartinc.com
T 919.380.8750 PROJECT # C16105

Client:

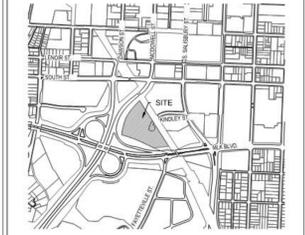


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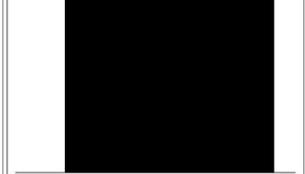
Project:

CITY GATEWAY

Vicinity map:

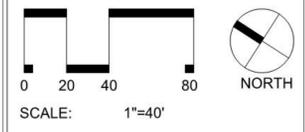


Seal:



Issued for:

No.	Date	Description
1	03.10.2017	ADMIN SITE RE-SUBMITTAL
2	12.12.2017	ADMIN SITE RE-SUBMITTAL

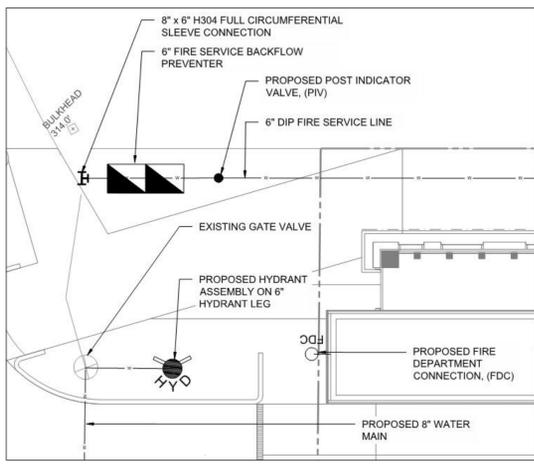
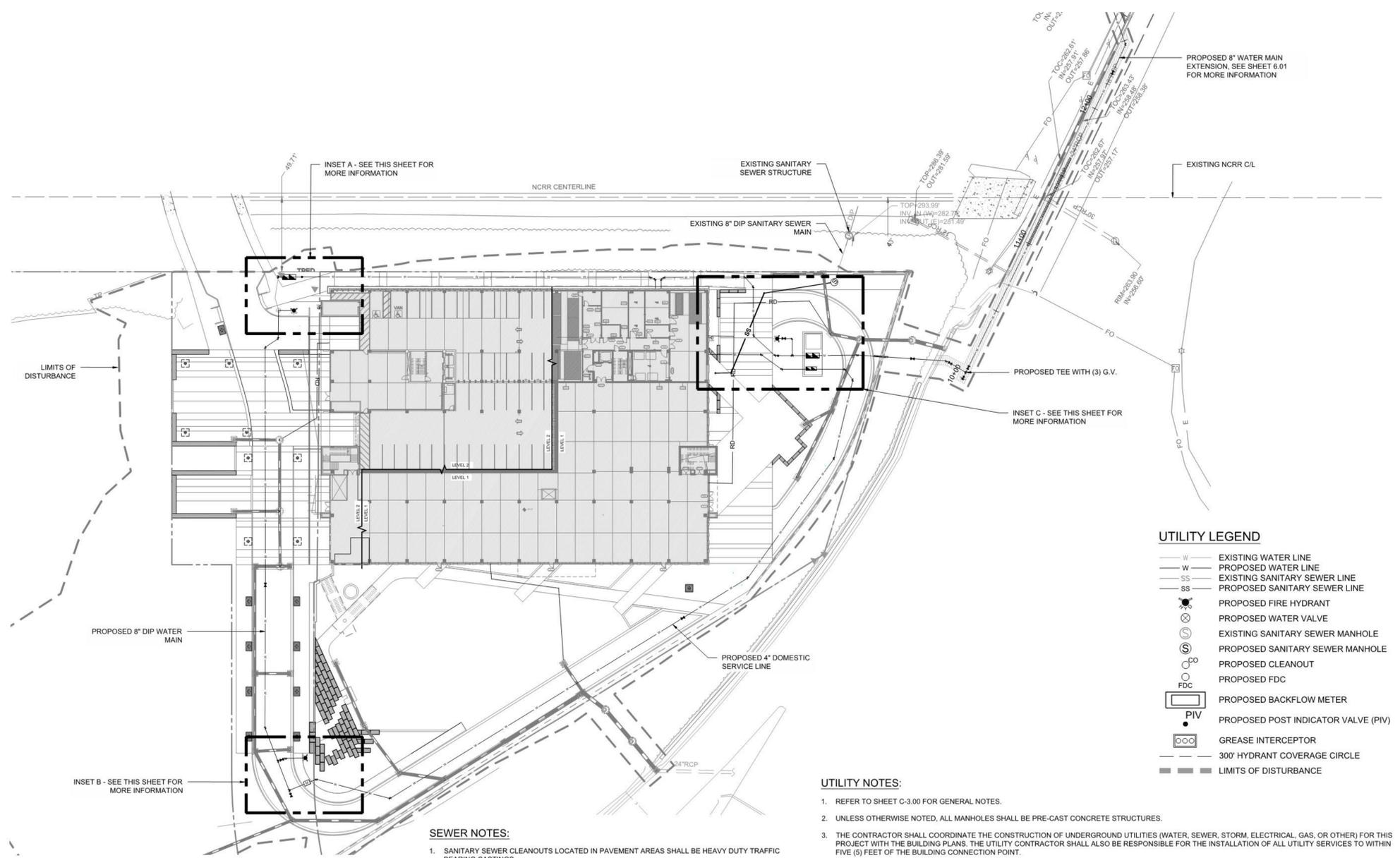


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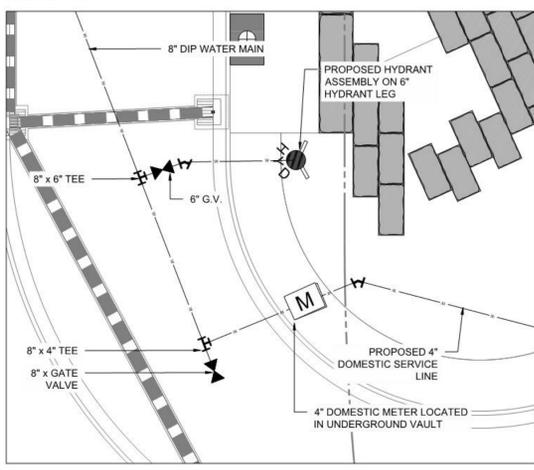
OVERALL UTILITIES PLAN

Project number: C16105 Sheet:
Date: 12.12.2017
Drawn by: DCB/RS
Approved by: ACP

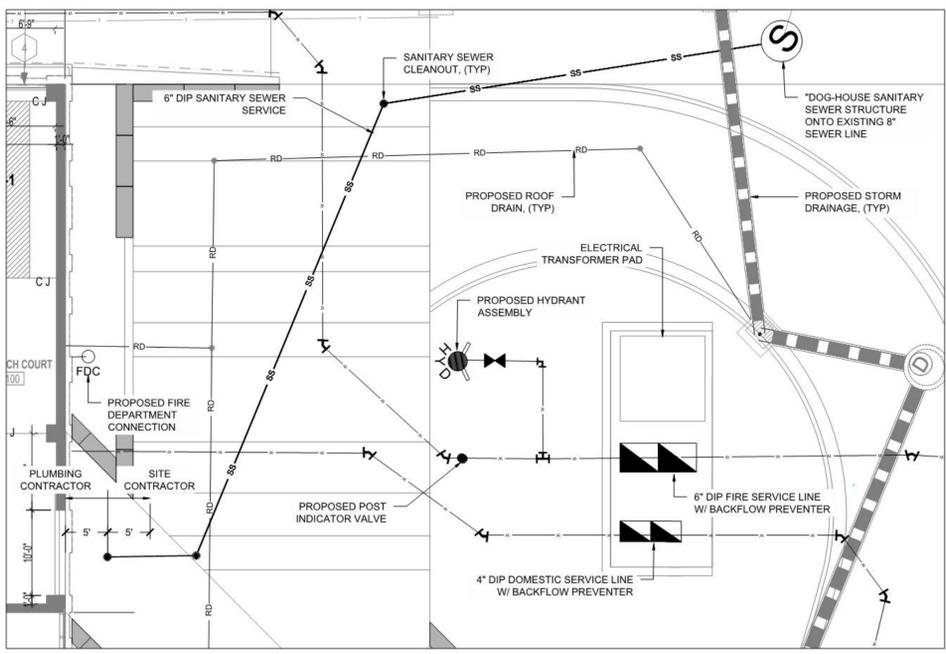
C-6.00



INSET A - UTILITY SERVICE
SCALE: 1" = 10'



INSET B - UTILITY SERVICE
SCALE: 1" = 10'



INSET C - UTILITY SERVICE
SCALE: 1" = 10'

SEWER NOTES:

- SANITARY SEWER CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL BE HEAVY DUTY TRAFFIC BEARING CASTINGS.
- UNLESS OTHERWISE NOTED, ALL SANITARY SEWER MANHOLES ARE 4' DIA.
- MANHOLES LOCATED IN PAVEMENT, CONCRETE OR OTHER TRAFFIC AREAS SHALL BE SET AT GRADE. MANHOLES LOCATED IN OTHER AREAS (I.E. GRASS OR WOODED AREAS) SHALL HAVE THEIR RIMS RAISED SIX INCHES ABOVE THE SURROUNDING GRADE. MANHOLES SUBJECT TO POSSIBLE WATER INFILTRATION SHALL HAVE WATERTIGHT, BOLTED LIDS.
- MINIMUM REQUIRED SLOPES FOR SEWER SERVICES:
4" SEWER SERVICE - 2.00% SLOPE
6" SEWER SERVICE - 1.00% SLOPE
8" SEWER SERVICE - 0.50% SLOPE
- UNLESS OTHERWISE NOTED, LOCATE SANITARY SERVICE CLEANOUTS AT ALL HORIZONTAL OR VERTICAL CHANGES IN DIRECTION. MAXIMUM SPACING BETWEEN CLEANOUTS SHALL BE 75 FEET.
- SEWER LINES LESS THAN 3 FEET OF COVER SHALL BE CLASS 50 DUCTILE IRON PIPE. SEWER LINES WITH GREATER THAN 3 FEET OF COVER SHALL BE AS NOTED BELOW:
4" SEWER SERVICE - SCH 80
6" SEWER SERVICE - SCH 80
8" SEWER SERVICE - SDR-35
- SEWER LINES UNDER CONSTRUCTION SHALL BE PROTECTED FROM DIRT, DEBRIS OR OTHER CONTAMINANTS ENTERING THE NEW SYSTEM. A MECHANICAL PLUG SHALL BE UTILIZED BOTH IMMEDIATELY UPSTREAM OF THE NEW CONSTRUCTION AND AT THE FIRST MANHOLE DOWNSTREAM IN THE EXISTING SYSTEM. EXISTING STRUCTURES, PIPING AND APPURTENANCES SHALL BE PROTECTED FROM ANY INFLOW OF WATER, DIRT OR DEBRIS DUE TO NEW CONSTRUCTION CONNECTING TO OR IN THE VICINITY OF THE EXISTING SYSTEM. CONTRACTOR TO REMOVE DEBRIS AND PLUG PRIOR TO OCCUPANCY.
- ALL MANHOLES COVERS SHALL BE PAINTED TO LOCAL JURISDICTIONAL REQUIREMENTS.

WATER NOTES:

- AS INDICATED, ALL WATERLINES SHALL BE DUCTILE IRON PIPE MEETING THE REQUIREMENTS OF ANSI-AWWA C151 PRESSURE CLASS 350 OR SOFT COPPER TYPE K PIPE PER ASTM B88. IF PVC WATERLINE IS INDICATED ON THE PLANS IT SHALL MEET THE REQUIREMENTS OF AWWA C-900; CLASS 200.
- ALL WATERLINES SHALL HAVE A MINIMUM OF 3.5 FEET OF COVER.
- TESTING NOTES:
PRESSURE:
LEAKAGE SHALL NOT EXCEED THE MAXIMUM ALLOWABLE LEAKAGE SPECIFIED IN AWWA C 600. MINIMUM TEST PRESSURE SHALL BE 150 PSI FOR DOMESTIC AND 200 PSI FOR FIRE PROTECTION. BACTERIOLOGICAL:
TWO SAMPLES FOR BACTERIOLOGICAL SAMPLING SHALL BE COLLECTED AT LEAST 24 HOURS APART. IF CONTAMINATION IS INDICATED, THEN THE DISINFECTION PROCEDURE AND TESTING SHALL BE REPEATED UNTIL SATISFACTORY RESULTS ARE OBTAINED.
- THE CHLORINE IN HEAVILY CHLORINATED WATER FLUSHED FROM MAINS NEEDS TO BE NEUTRALIZED BEFORE DISCHARGE. CONTRACTORS SHALL NEUTRALIZE HEAVILY CHLORINATED WATER FLUSHED FROM MAINS PRIOR TO DISCHARGE OR TRANSPORT ALL HEAVILY CHLORINATED WATER OFFSITE FOR PROPER DISPOSAL.
- PAINT VALVE COVERS, FIRE HYDRANTS AND OTHER WATER APPARATUS TO MEET THE LOCAL JURISDICTIONAL REQUIREMENTS.

UTILITY NOTES:

- REFER TO SHEET C-3.00 FOR GENERAL NOTES.
- UNLESS OTHERWISE NOTED, ALL MANHOLES SHALL BE PRE-CAST CONCRETE STRUCTURES.
- THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF UNDERGROUND UTILITIES (WATER, SEWER, STORM, ELECTRICAL, GAS, OR OTHER) FOR THIS PROJECT WITH THE BUILDING PLANS. THE UTILITY CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE INSTALLATION OF ALL UTILITY SERVICES TO WITHIN FIVE (5) FEET OF THE BUILDING CONNECTION POINT.
- THE CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS ON SITE AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE SMOOTH TRANSITION BETWEEN DISCIPLINES.
- THE CONTRACTOR SHALL COORDINATE ALL PEDESTRIAN AND VEHICULAR INTERRUPTIONS WITH OWNER'S REPRESENTATIVE AT LEAST 72 HOURS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK INSIDE THE PUBLIC RIGHT OF WAY PRIOR TO RECEIPT AND COMPLIANCE WITH ALL APPLICABLE NCDOT PERMITS. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY FLAGGERS AND TRAFFIC CONTROL DURING ALL WORK INSIDE THE PUBLIC RIGHTS OF WAY.
- THE CONTRACTOR SHALL NOT RE-USE ANY FIRE HYDRANT REMOVED AS PART OF THIS PROJECT. ANY FIRE HYDRANT SHOWN TO BE REMOVED OR RELOCATED SHALL BE REPLACED WITH A NEW FIRE HYDRANT MEETING THE LOCAL JURISDICTIONAL REQUIREMENTS AND STANDARDS.
- ALL EXISTING SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. DEPTHS OF EXISTING UTILITIES SHOWN IN PROFILE VIEWS ARE BASED ON STANDARD ASSUMPTIONS. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION, DEPTH, SIZE AND MATERIAL OF ANY AND ALL SUB-SURFACE CONDITIONS REFERENCED IN THESE PLANS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- ELEVATIONS OF UTILITIES ARE GIVEN TO THE EXTENT OF INFORMATION AVAILABLE. WHERE ELEVATIONS ARE NOT GIVEN AT POINTS OF EXISTING UTILITY CROSSINGS, SUCH ELEVATIONS SHALL BE DETERMINED BY THE CONTRACTOR AND REPORTED TO THE ENGINEER. WHEN UNKNOWN LINES ARE EXPOSED, THEIR LOCATIONS AND ELEVATIONS SHALL ALSO BE REPORTED TO THE ENGINEER.
- UNDERGROUND UTILITIES SHOWN ON THIS PLAN SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION OF PARKING AREA, DRIVES, CURB AND GUTTER OR CONCRETE WALKS / PADS. IF UTILITIES SHOWN ON THIS PLAN CANNOT BE INSTALLED PRIOR TO INSTALLATION OF IMPERVIOUS (ASPHALT / CONCRETE) CONDUIT SHALL BE INSTALLED FOR THE "FUTURE" UTILITY INSTALLATION.
- AS-BUILT DOCUMENTATION REQUIREMENTS: PRIOR TO APPROVAL FROM LOCAL JURISDICTION OR ENGINEER THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS (IN BOTH PAPER AND ELECTRONIC FORMAT (CAD / PDF) PREPARED AND SEALED BY A PROFESSIONAL LAND SURVEYOR SHOWING ALL UTILITY INSTALLATION. HORIZONTAL AND VERTICAL INFORMATION SHALL BE PROVIDED FOR WATER, SEWER, STORM INCLUDING ALL STRUCTURES, VALVES, HYDRANTS, AND OTHER APPURTENANCES.

PROPOSED UTILITY SEPARATION:

- WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM EXISTING OR PROPOSED SEWERS, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10-FOOT HORIZONTAL SEPARATION IN WHICH CASE:
A. THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
- CROSSING A WATER MAIN OVER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION, IN WHICH CASE BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
- CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.

SEPARATION OF SANITARY SEWERS AND STORM SEWERS:

- A 24" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR BOTH THE SANITARY AND THE STORM LINES SHALL BE CONSTRUCTED OF FERROUS MATERIALS.

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PROPOSED SECONDARY TREE CONSERVATION AREA		
TREE NO.	SINGLE CRZ	COMBINED CRZ
TREE 1	2083 SF	2083 SF
TREE 2	2144 SF	3884 SF
TREE 3	2103 SF	
TREE 4	1698 SF	6932 SF
TREE 5	2023 SF	
TREE 9	2734 SF	
TREE 10	2642 SF	
TREE 6	2054 SF	
TREE 7	1944 SF	4370 SF
TREE 8	2000 SF	
TREE 11	2928 SF	
TREE 12	2441 SF	3660
TREE 13	2206 SF	
TOTAL	23,135 SF	2206

TREE CONSERVATION CALCULATION:

TOTAL SITE AREA: ± 262,666 S.F.
 DEDICATED R.O.W. ± 31,356 S.F.
 TOTAL QUALIFIED SITE AREA: ± 231,310 S.F.
 REQUIRED SECONDARY TREE CONSERVATION AREA: ± 231,310 S.F. x 10% = ± 23,131 S.F.
 PROVIDED SECONDARY TREE CONSERVATION AREA: ± 23,135 S.F. (± 10 %)
 (NOTE: SEE PROPOSED SECONDARY TREE CONSERVATION AREA TABLE)

- LEGEND**
- EIP EXISTING IRON PIPE
 - EIR EXISTING IRON ROD
 - ECM EXISTING CONCRETE MONUMENT
 - COMPUTED POINT
 - IRON PIPE SET
 - STORM DRAIN MANHOLE
 - STORM DRAIN INLET
 - STORM DRAIN CURB INLET
 - ▼ STORM DRAIN FLARED END SECTION
 - SANITARY SEWER MANHOLE
 - HYDRANT
 - WATER VALVE
 - WM WATER METER
 - WATER MANHOLE
 - W WATER VAULT
 - ICV IRRIGATION CONTROL VALVE
 - TELEPHONE MANHOLE
 - TPED TELEPHONE PEDESTAL
 - FOWP FIBER OPTIC WITNESS POST
 - FO FIBER OPTIC BOX
 - EB ELECTRIC BOX
 - LIGHT POLE
 - JUNCTION BOX
 - TRAFFIC SIGNAL POST
 - RR RAILROAD CONTROL BOX
 - BOLLARD
 - FF-207.18' FINISHED FLOOR ELEVATION
 - DECIDUOUS TREE
 - EVERGREEN TREE
 - BUSH
 - CHAIN LINK FENCE
 - GUARDRAIL
 - TREELINE
 - FO UNDERGROUND FIBER OPTIC LINE
 - E UNDERGROUND ELECTRIC LINE
 - W UNDERGROUND WATER LINE
 - SS SANITARY SEWER LINE
 - SD STORM DRAIN LINE
 - U UNIDENTIFIED LINE
 - UNKNOWN DESTINATION
 - RCP REINFORCED CONCRETE PIPE
 - CMP CORRUGATED METAL PIPE

- SURVEY NOTES:**
- THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS/TOPOGRAPHY ON A PORTION OF THE PROPERTY OF EXPLORIS DEVELOPMENT GROUP LLC, PIN 1703-65-9479, AND IS NOT A BOUNDARY SURVEY. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND THEREFORE ALL ENCUMBRANCES UPON THE PROPERTY MAY NOT BE SHOWN.
 - THE PROPERTY LINES SHOWN HEREON HAVE NOT BEEN CONFIRMED BY STEWART ENGINEERING. PROPERTY LINES SHOWN TAKEN FROM DEED BOOK 16369, PAGE 2408.
 - HORIZONTAL DATUM IS NAD 83 (2011) AND VERTICAL DATUM IS NAVD88. BASED ON GPS METHODS USING REAL-TIME KINEMATIC SOLUTIONS FOR THE SURVEY CONTROL POINTS SHOWN HEREON AND TIED TO NORTH CAROLINA GEODETIC SURVEY MONUMENT "NOSWIM AZ MK".
 "NOSWIM AZ MK"
 N 732163.93'
 E 208397.21'
 EL 349.98'
 - THIS DRAWING DOES NOT CONFORM TO N.C. GS47-30 AND THEREFORE IS NOT FOR RECORDATION.
 - UTILITIES SHOWN HEREON ARE BASED SOLELY ON ABOVE-GROUND VISIBLE EVIDENCE. NO UTILITY DESIGNATION/MARKING SERVICES WERE PERFORMED AS A PART OF THIS SURVEY. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE COMMENCING CONSTRUCTION.
 - TREES SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY.
 - THE SUBJECT PROPERTY IS ZONED "O & I-2" (PER WAKE COUNTY GIS).
 - THE SUBJECT PROPERTY LIES IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLAIN), X (SHADED) (AREA OF 0.2% ANNUAL CHANCE FLOOD); AREAS OF FUTURE CONDITIONS 1% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS OF LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVES FROM 1% ANNUAL CHANCE FLOOD); AE (AREA DETERMINED TO BE INSIDE THE 1% ANNUAL CHANCE FLOOD, BASE FLOOD ELEVATIONS DETERMINED), AND FLOODWAY (DELINEATED FLOODWAY OF A STREAM), BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 37201703001 DATED 5/22/08. FLOOD HAZARD LINES SHOWN HEREON ARE FROM NCFLOODMAPS.COM.
 - ADDRESS: 120 KINDLEY ST.



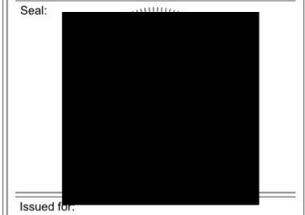
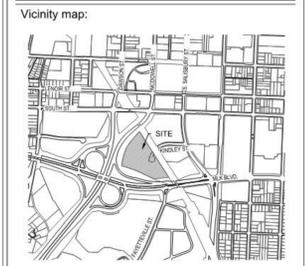
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sfl+a
ARCHITECTS

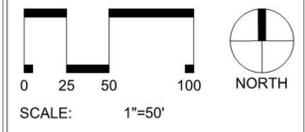
SFL+a Architects
 333 Fayetteville Street
 Suite 225
 Raleigh, NC 27601
 P: 919.573.6350
 F: 919.573.6355

Project:

CITY GATEWAY



No.	Date	Description
1	03.10.2017	ADMIN SITE RE-SUBMITTAL
2	12.12.2017	ADMIN SITE RE-SUBMITTAL



Title:

TREE CONSERVATION PLAN

Project number: C16105 Sheet:
 Date: 12.12.2017
 Drawn by: DG
 Approved by: ACP/CJM **C-1.10**



TREE 1 SECONDARY TREE CONSERVATION AREA
 21" DBH LEYLAND CYPRESS: 2,083 SF

COMBINED CRZ AREA: 3,884.35 SF
 TREE 2 SECONDARY TREE CONSERVATION AREA
 21" DBH LOBLOLLY PINE
 TREE 3 SECONDARY TREE CONSERVATION AREA
 21" DBH LOBLOLLY PINE

COMBINED CRZ AREA: 6,931.65 SF
 TREE 4 SECONDARY TREE CONSERVATION AREA
 19" DBH LOBLOLLY PINE
 TREE 5 SECONDARY TREE CONSERVATION AREA
 20" DBH LOBLOLLY PINE
 TREE 9 SECONDARY TREE CONSERVATION AREA
 24" DBH LOBLOLLY PINE
 TREE 10 SECONDARY TREE CONSERVATION AREA
 23" DBH LOBLOLLY PINE

COMBINED CRZ AREA: 4,370.30 SF
 TREE 6 SECONDARY TREE CONSERVATION AREA
 20" DBH LOBLOLLY PINE
 TREE 7 SECONDARY TREE CONSERVATION AREA
 21" DBH LOBLOLLY PINE
 TREE 8 SECONDARY TREE CONSERVATION AREA
 21" DBH LOBLOLLY PINE

COMBINED CRZ AREA: 3,659.72 SF
 TREE 11 25" DBH LOBLOLLY PINE
 TREE 12 23" DBH LOBLOLLY PINE

TREE 13 SECONDARY TREE CONSERVATION AREA
 21" DBH LOBLOLLY PINE: 2,206 SF

TREE 21 11" DBH PINUS TAEDA
 TREE 22 14" DBH PINUS TAEDA
 TREE 23 13" DBH PINUS TAEDA
 TREE 24 15" DBH PINUS TAEDA

TREE 14 10" DBH PINUS TAEDA
 TREE 15 10" DBH PINUS TAEDA
 TREE 16 15" DBH PINUS TAEDA
 TREE 17 13" DBH PINUS TAEDA
 TREE 18 11" DBH PINUS TAEDA

TREE 25 20" DBH WHITE OAK
 TREE 26 22" DBH WHITE OAK
 TREE 19 14" DBH PINUS TAEDA
 TREE 20 17" DBH PINUS TAEDA
 TREE 27-29 3 - 12" DBH ELM

TOTAL PARCEL AREA:
 262,666 S.F.

PROPOSED PUBLIC R.O.W.
 234,366 S.F.



STEWART

421 FAYETTEVILLE ST., SUITE 400 FIRM LICENSE # C-1051
RALEIGH, NC 27601 www.stewartinc.com
T 919.380.8750 PROJECT # C16105

Client:

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Project:

CITY GATEWAY

Vicinity map:



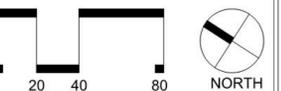
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No. Date Description

1	03.10.2017	ADMIN SITE RE-SUBMITTAL
2	12.12.2017	ADMIN SITE RE-SUBMITTAL



SCALE: 1"=40'

Title:

PLANTING PLAN

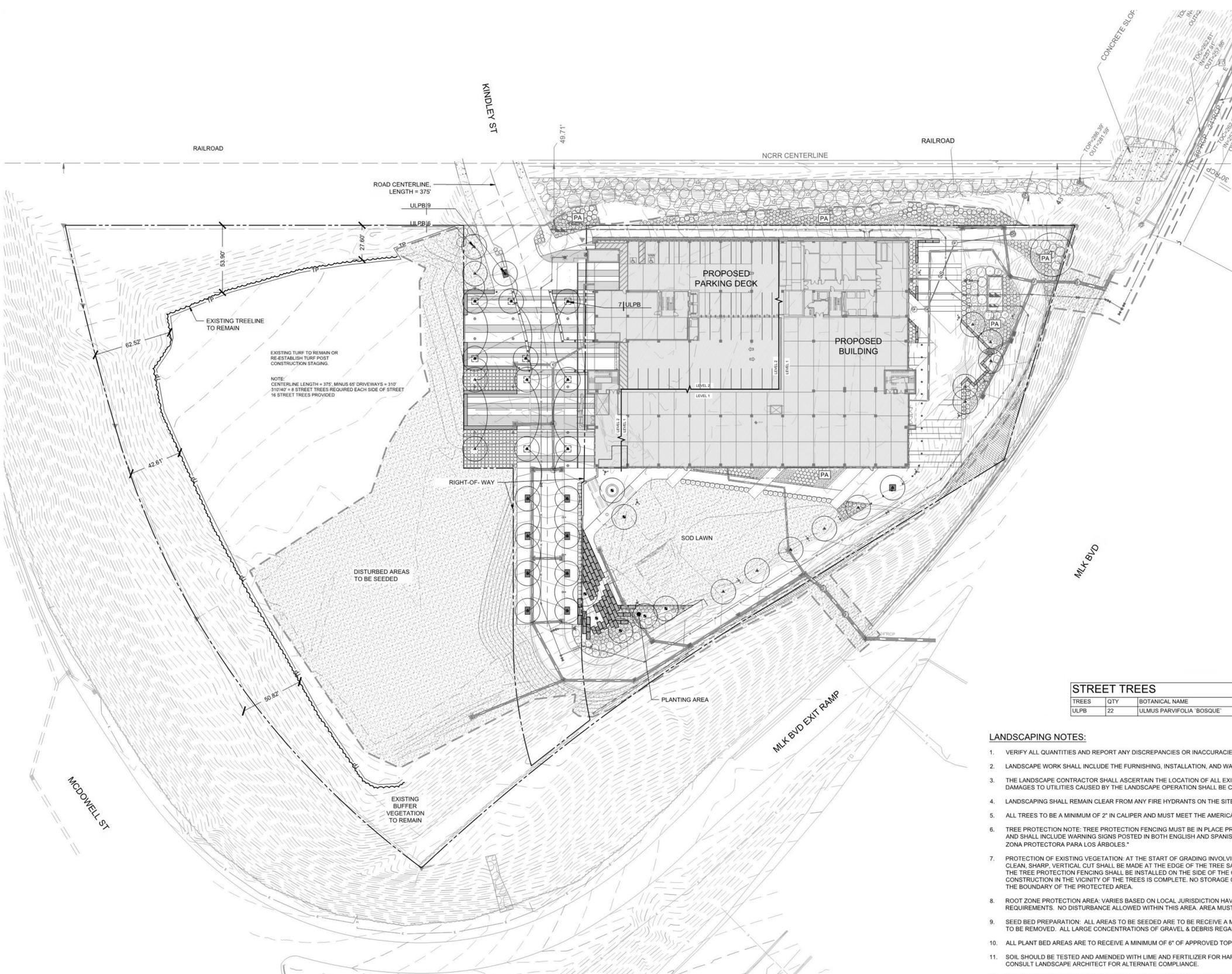
Project number: C16105 Sheet:

Date: 12.12.2017

Drawn by: MNE

Approved by: CJM

L-2.00



PLANT LEGEND

PA	PLANTING AREA
(circle with dot)	TREES
(circle with cross)	SHRUBS
(stippled area)	SOD/SEED

STREET TREES

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
ULPB	22	ULMUS PARVIFOLIA 'BOSQUE'	BOSQUE ELM	B & B	3.5" CAL		

LANDSCAPING NOTES:

1. VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES OR INACCURACIES IN THE PLANS TO THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
2. LANDSCAPE WORK SHALL INCLUDE THE FURNISHING, INSTALLATION, AND WARRANTY OF ALL PLANTING MATERIALS WITHIN THE PROJECT AREA.
3. THE LANDSCAPE CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL EXISTING AND NEW UNDERGROUND UTILITIES PRIOR TO EXCAVATION FOR PLANTING. DAMAGES TO UTILITIES CAUSED BY THE LANDSCAPE OPERATION SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
4. LANDSCAPING SHALL REMAIN CLEAR FROM ANY FIRE HYDRANTS ON THE SITE.
5. ALL TREES TO BE A MINIMUM OF 2" IN CALIPER AND MUST MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
6. TREE PROTECTION NOTE: TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY DEMOLITION, LAND DISTURBANCE OR ISSUANCE OF A GRADING PERMIT AND SHALL INCLUDE WARNING SIGNS POSTED IN BOTH ENGLISH AND SPANISH, AS FOLLOWS: "NO TRESPASSING/TREE PROTECTION AREA/PROHIBIDO ENTRAR / ZONA PROTECTORA PARA LOS ARBOLES."
7. PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE LOWERING OF EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA.
8. ROOT ZONE PROTECTION AREA: VARIES BASED ON LOCAL JURISDICTION HAVING AUTHORITY. CONTRACTOR SHALL COMPLY WITH LOCAL JURISDICTIONAL REQUIREMENTS. NO DISTURBANCE ALLOWED WITHIN THIS AREA. AREA MUST BE PROTECTED WITH BOTH TREE PROTECTION FENCING AND WARNING SIGNS.
9. SEED BED PREPARATION: ALL AREAS TO BE SEEDED ARE TO RECEIVE A MINIMUM OF 2" OF APPROVED TOPSOIL. ALL DEBRIS, ROCKS, ETC. LARGER THAN 5" ARE TO BE REMOVED. ALL LARGE CONCENTRATIONS OF GRAVEL & DEBRIS REGARDLESS OF SIZE ARE TO BE REMOVED PRIOR TO SEEDING OR PLANTING.
10. ALL PLANT BED AREAS ARE TO RECEIVE A MINIMUM OF 6" OF APPROVED TOPSOIL.
11. SOIL SHOULD BE TESTED AND AMENDED WITH LIME AND FERTILIZER FOR HARDWOOD TREES ACCORDING TO NCDA PROCEDURES. SCARIFY PLANT PIT WALLS. CONSULT LANDSCAPE ARCHITECT FOR ALTERNATE COMPLIANCE.
12. SHREDDED HARDWOOD MULCH 3" DEEP EXCEPT AT CROWN OF PLANT UNLESS OTHERWISE NOTED. FLARE AT CROWN SHOULD BE REVEALED. BACKFILL CONSISTS OF THOROUGHLY BROKEN UP NATIVE SOIL. TOTAL VOLUME OF BACKFILL SHOULD BE AMENDED WITH UP TO ONE THIRD PINE BARK MULCH. PIECES SHOULD BE NO LARGER THAN WHAT PASSES THROUGH A ONE INCH SCREEN. IF ADDITIONAL SOIL IS REQUIRED FOR BACKFILL DUE TO DETRIMENTAL SUBSOIL DRAINAGE CONDITIONS, USE SOIL SIMILAR TO EXISTING NATIVE SOIL. ADDITIONAL SOIL TO BE APPROVED BY LANDSCAPE ARCHITECT. MAXIMUM SAUCER HEIGHT IS 6 INCHES.
13. TOP OF ROOTBALL TO BE RAISED 2-3 INCHES ABOVE EXISTING GRADE.
14. FOR B&B PLANTS, NATURAL FIBER BURLAP SHOULD BE TURNED DOWN BY 1/3 TOTAL HEIGHT OF ROOT BALL. PLASTIC FIBER BURLAP AND WIRE BASKETS SHOULD BE REMOVED TO 2/3'S OF TOTAL HEIGHT OF ROOT BALL.
15. CONTRACTOR IS RESPONSIBLE FOR KEEPING THE TREE UPRIGHT AND PLUMB THROUGHOUT THE WARRANTY PERIOD. IF STABILIZATION IS NECESSARY SEE STAKING IN TREE DETAIL. ORANGE FLAGGING TAPE SHOULD BE ATTACHED TO SUPPORT WIRE. STAKING SHOULD BE REMOVED BY CONTRACTOR AT END OF ONE YEAR WARRANTY PERIOD OR AS DIRECTED BY GROUNDS MANAGEMENT.
16. USE STANDARD "GATOR" BAGS FOR WATERING TREES IN AREAS NOT UNDER IRRIGATION. INCORPORATE TERRA-SORB (OR EQUAL) AS PER MANUFACTURERS RECOMMENDATIONS, FOR AREAS NOT UNDER IRRIGATION.
17. USE "BIO-BARRIER" OR EQUIVALENT ACCORDING TO MANUFACTURER'S RECOMMENDATION FOR TREES THAT WILL BE PLANTED WITHIN 10' OF PAVEMENT
18. LANDSCAPING/C.O. STANDARDS NOTE: ALL LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF COMPLIANCE.

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