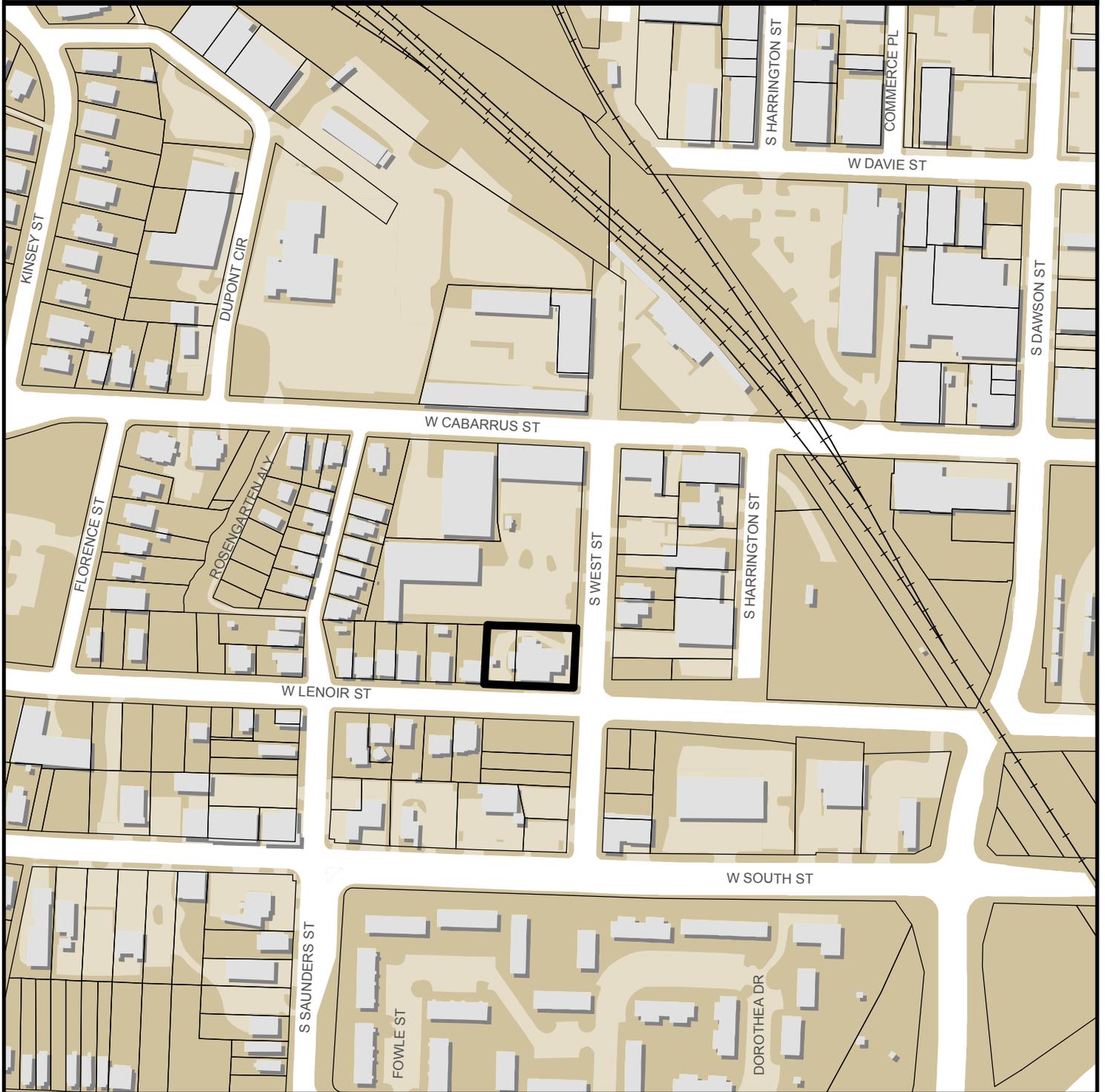


502 W. LENOIR STREET SR-103-2016



0 300 600 Feet

Zoning: **IX-4-UL-CU**
CAC: **Central**
Drainage Basin: **Rocky Branch**
Acreage: **0.37**
Sq. ft.: **4,583**

Planner: **Michael Walters**
Phone: **(919) 996-2636**
Applicant: **Silverplate Properties, LLC**
Phone: **919-821-1350**





Administrative Action Administrative Site Review

City of Raleigh
Development Plans Review Center
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
www.raleighnc.gov

Case File / Name: SR-103-16 / 502 W. Lenoir Street

General Location: This site is located on the northwest corner of the intersection of S., West Street, and W. Lenoir Street and zoned IX-4-UL CU.

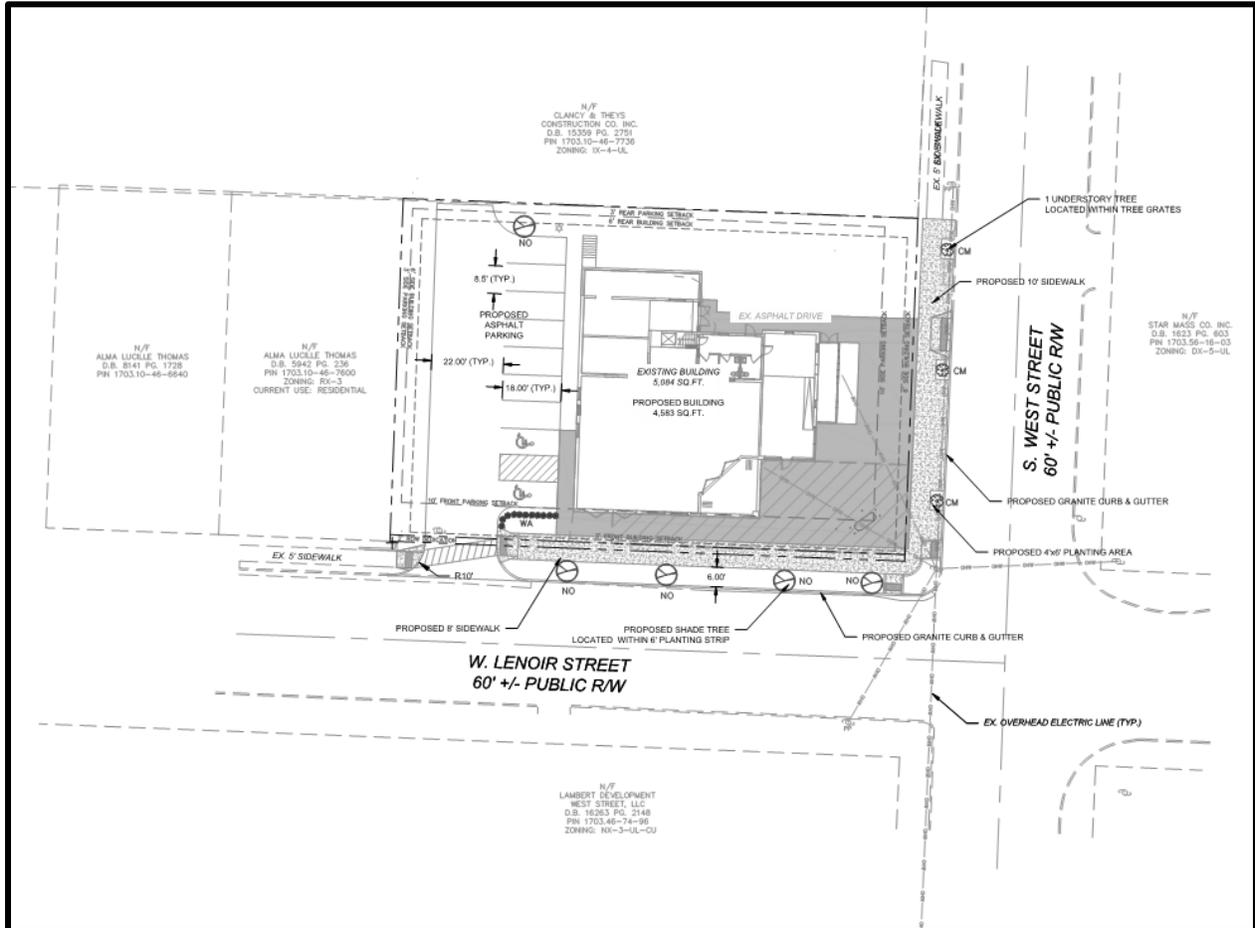
CAC: Central

Request: Development (Change of use) from an existing 5,084 sf garage to a 5,336 sf restaurant, all on a .25 acre tract zoned IX-4-UL CU. The additional 252 square feet is to be added to the back rear of the existing structure.

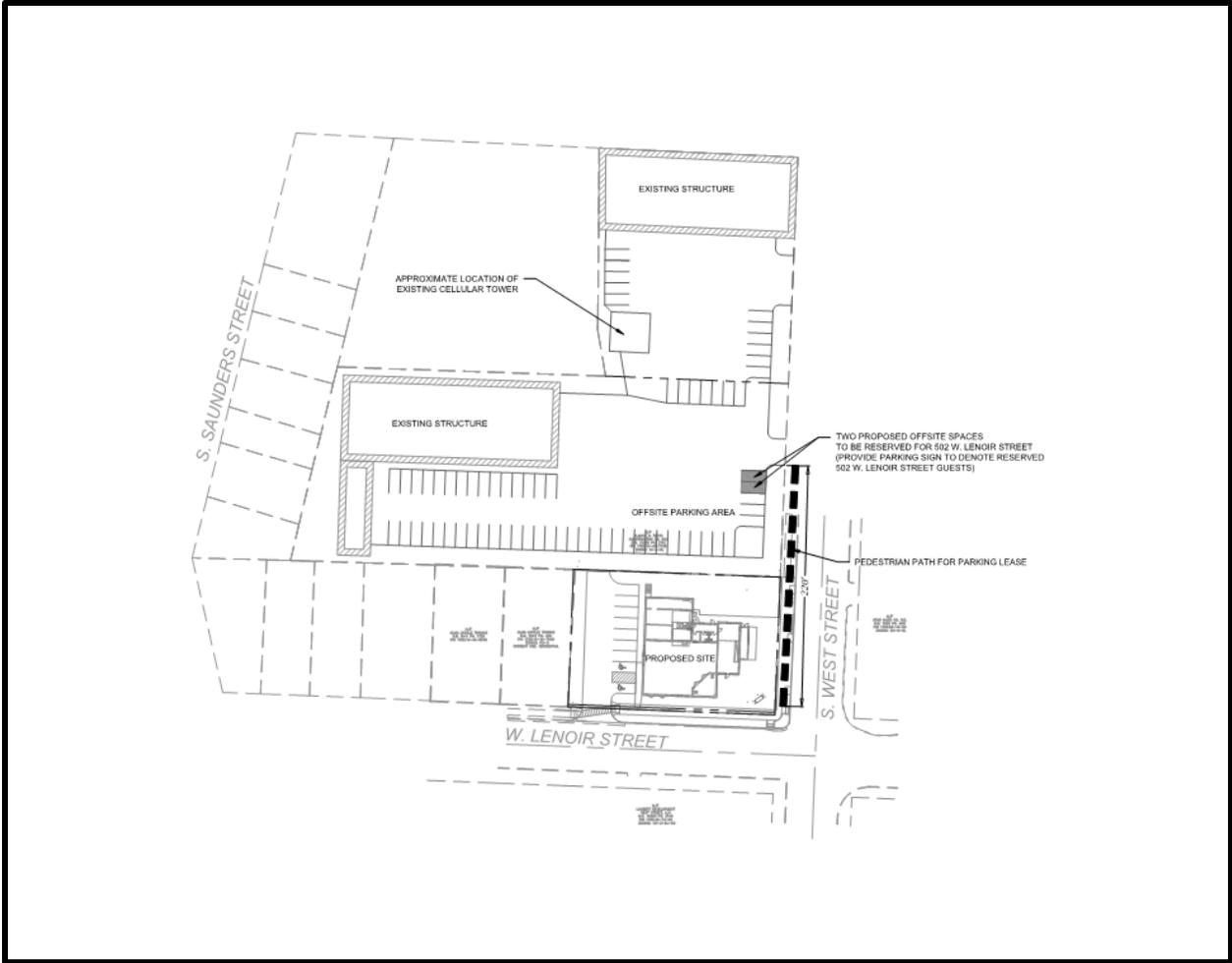
Cross-Reference: Z- 46-15, TR# 498027



SR-103-16 Location Map



SR-103-16 Preliminary Site Plan



SR-103-16 Preliminary Site Plan – Shared Parking

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	502 W. Lenoir St.	Date completed Application received	3/7/2017
	Case Number	S-103-16 <i>SR</i>	Transaction Number	498027

DEPARTMENT RESPONSE/RECOMMENDATION	Staff <u>SUPPORTS</u> the Design Adjustment based upon the findings in these applicable code:																						
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input checked="" type="checkbox"/> UDO Art. 8.4 New Streets																					
	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	<input type="checkbox"/> Raleigh Street Design Manual	<input type="checkbox"/> Other																				
	<table border="1"> <thead> <tr> <th>DEPARTMENT</th> <th>REPRESENTATIVE SIGNATURE</th> <th>DEPARTMENT</th> <th>REPRESENTATIVE SIGNATURE</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Dev. Services Planner</td> <td></td> <td><input type="checkbox"/> City Planning</td> <td></td> </tr> <tr> <td><input checked="" type="checkbox"/> Development Engineering</td> <td>Daniel G. King, PE <i>DGK</i></td> <td><input type="checkbox"/> Transportation</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Engineering Services</td> <td></td> <td><input type="checkbox"/> PRCR</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Public Utilities</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>				DEPARTMENT	REPRESENTATIVE SIGNATURE	DEPARTMENT	REPRESENTATIVE SIGNATURE	<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning		<input checked="" type="checkbox"/> Development Engineering	Daniel G. King, PE <i>DGK</i>	<input type="checkbox"/> Transportation		<input type="checkbox"/> Engineering Services		<input type="checkbox"/> PRCR		<input type="checkbox"/> Public Utilities		
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<input type="checkbox"/> Engineering Services		<input type="checkbox"/> PRCR																					
<input type="checkbox"/> Public Utilities																							
Findings: Based on precedence set within the William Christmas boundary of the City of Raleigh staff supports the request not to dedicate right-of-way along the West St. frontage of this project.																							

Development Services Director or Designee Action: Approve Approval with Conditions Deny

[Signature]
 Authorized Signature KEAMOTH W. RITCHIE, PE Date 3/9/2017
 DEVELOPMENT REVIEW MANAGER

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.

CONDITIONS	
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Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Code Conformance:		Code Section(s)
Zoning District:	IX-4-UL CU	3.1
Overlay District:	NA	5.1
Parking:	<p>Vehicle Required = 5,336 sf/500 sf = 11 spaces Proposed = 9 (on site) + 2 (shared/off site) = 11</p> <p>Bicycle Required = 4 short term + 4 long term Proposed = 4 short term + 4 long term</p>	7.1.2
Street Type(s):	Neighborhood local, Avenue 2-Lane, divided, etc. Include design adjustment waiving the additional right of way dedication.	8.4
Streetscape:	W.Lenoir St.- Main Street Streetscape (UDO 8.5.2.A) S. West Street - Main Street Streetscape (UDO 8.5.2.A)	8.5
Setbacks/Frontage:	<p>Primary Street = 3' Side lot line = 0 or 6' Side street = 3' Rear = 0 or 6'</p> <p>The Build To requirement is not applicable as addition is to the rear to an existing building (3.4.2 c 2)</p>	3.2 , 3.4
Neighborhood Transitions:	NA	3.5
Transitional Protective Yards:	NA	7.2.4
Stormwater:	Site is currently showing compliance with stormwater regulations through a reduction of impervious surfaces of 17 square feet. The section is Sec.9.2.2 (A) (3) b. - Should there be an increase in impervious surfaces the impervious thresholds and associated requirements based upon zoning would apply. (Sec.9.2.2 (A) (4.)	9.2
Tree Conservation:	This site is less than two acres in size and therefore exempt from Article 9.1, Tree Conservation.	9.1
Variances, Design Adjustments, Administrative Alternates:	S.West St.is classified as a Main Street, Parallel Parking (UDO 8.4.5.D). A design adjustment per UDO 8.3.6 has been approved waving the right of way dedication along S. West Street.	

Other:	Shared remote parking (2 spaces) on adjacent lot. (7.1.5 b) Solid Waste is to be serviced by Waste Industries in (4) 96 gallon carts for trash and (2) 96 gallon carts for commingle recycle collection. Collection is to occur 3 times/week on Monday, Thursday and Saturdays. Carts may be placed out as early as 7:00 am the day of service and must be placed back in storage no later than 4:00 pm on the day of service. (COR Solid Waste agreement)	
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(Applicable Conditions of Z-45-16)

Ordinance (2016) 574 ZC 727

Effective: 4/5/16

Z-46-15 – West Lenoir Street, north side, west of its intersection with South West Street, being Wake County PINs 1703468620 and 1703467650. Approximately 0.37 acre is requested by Silverplate Properties, LLC to be rezoned from Residential Mixed Use – 3 stories (RX-3) to Industrial Mixed Use – 4 stories – Urban Limited – Conditional Use (IX-4-ULCU) in accordance with the following conditions.

Conditions dated: March 10, 2016

1.a. The Following Uses Shall be Prohibited on the Properties to be Rezoned:

- 1) all Group Living uses;
- 2) all Social Service uses;
- 3) all Public and Institutional uses (with the exception of places of worship and fire stations which shall be permitted, and a School, public or private K-12 which may be permitted as a Limited Use and subject to additional requirements and conditions outlined below in zoning condition 1.b.7));
- 4) all Major Utilities uses;
- 5) all Day Care uses;
- 6) all Telecommunication Tower (less than 250 feet) uses;
- 7) all Telecommunication Tower (250 feet and more) uses;
- 8) all Passenger Terminal uses;
- 9) the following Personal Service uses: funeral home, funeral parlor, mortuary, undertaking establishment, crematorium, and pet crematorium.
- 10) all Detention center, jail, prison uses;
- 11) all Self Service Storage uses; and
- 12) Bar, nightclub, tavern, and lounge uses.

1.b. The Following Uses Shall be Permitted on the Properties to be Rezoned as Either a Permitted Use or Limited Use as designated in the Allowed Principal Use Table set forth in Section 6.1.4 of the City of Raleigh Unified Development, upon compliance with (i) the applicable definitional terms and use standards set forth in the UDO, (ii) if applicable, zoning

conditions 2, 3, and 4 below, and (iii) upon the further satisfaction of additional requirements and conditions as to the following uses:

Proposed restaurant

1) Restaurant as defined in G.S. 18B-1000(6) and Eating Establishment (UDO § 6.4.10.C.):

- i. Hours of operation limited on Mondays through Saturdays from 7 am to 2:00 am;
- ii. Hours of operation limited on Sundays from 11 am to 2:00 am;
- iii. All garbage and recycling storage containers shall be screened from view from any adjacent property via an opaque wooden fence or such other material as may be approved in writing by the Planning Director as an acceptable substitute therefore;
- iv. No deliveries shall be scheduled or permitted by the owner of the subject property prior to 9 am or after 9 pm Mondays through Saturdays, nor prior to 1 pm or after 6 pm on Sundays;
- v. Drive-thru or drive-in facilities are not allowed; and
- vi. Indoor music or audio shall be permitted until 2:00 am Mondays through Sundays, on the condition that such music or audio shall not exceed the lowest level of urban ambient sound (which shall be defined as 40 decibels) by more than 20 decibels at the nearest property line of 516 W. Lenoir Street (PIN 1703467600; Deed Book 5924, Page 236) and 515 W. Lenoir Street (PIN 1703466493; conveyed by Will in Estate File 14-E-2698) (which properties shall hereinafter be referred to as the "Nearest Adjacent Property Zoned RX"). The complaints of two (2) or more persons, at least one (1) of whom resides in a different home from the other complaining person or persons, or the complaint of one or more persons, when combined with the complaint of a duly authorized investigating person with a documented sound level reading in excess of 60 decibels at the property line of the Nearest Adjacent Property Zoned RX shall be prima facie evidence that such indoor music or audio is a loud and annoying, frightening, loud and disturbing, unreasonably loud or unnecessary noise in violation of City Code Section 12-5009.

- *The site is not proposed to be one of the restricted uses listed for the site. The use proposed is to be a restaurant which is not listed.*
- *The proposed use of the site is to be a restaurant which is an allowable use under zoning condition 1.b.1. The site will be complying to all the rules and conditions set forth in the zoning conditions Z-46-15.*
- *The site is complying to this condition since the use is commercial and will not be required to meet the overall density for multi-unit living residential.*
- *The site is complying to this condition since the use is a restaurant and will not be required to meet the overall intensity for medical, dental office or chiropractor, osteopath, physician, medical practitioner, and medical clinic.*
- *The site is complying to this condition since the use is a restaurant and will not be required to meet the overall intensity for office space.*

OFFICIAL ACTION: Approval with conditions

**CONDITIONS OF
APPROVAL:**

Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable;

1. That elevations are to be included demonstrating conformance to maximum height standards of existing building (3.3);
2. That a tree impact permit is obtained from the urban forester in the Parks and Recreation Department for landscaping in the public right-of-way;

Prior to issuance of building permits:

3. That ½ of 64' required right of way with utility easement for W. Lenoir Street is dedicated to the City of Raleigh and recorded with the Wake County Register of Deeds;
4. That elevations are to be included demonstrating conformance to maximum height standards of existing building (3.3);
5. That a planting detail for the streetscape trees is approved in accordance with the standards set forth in the Raleigh Street Design Manual;
6. That in accordance with Part 10A Section 8.1.3, a surety equal to 125% of the cost of development related improvements, including streetscape trees, sidewalks, and curb and gutter, on both S. West Street, and W. Lenoir Street is paid to the city;
7. That a recombination map be recorded prior to or in conjunction with the recording of lots;
8. That Grease Interceptor/ Oil water separator sizing calculations and installation must be approved by CORPUD FOG program coordinator;
9. That a tree impact permit is obtained from the urban forester in the Parks and Recreation Department for landscaping in the public right-of-way;
10. That a demolition permit be issued and this building permit number be shown on all maps for recording;
11. That the applicant provide proof of an offsite parking lease or agreement to fulfill the parking requirement for this use, and the applicant shall agree in writing to provide the required off-street parking as long as the principal use shall continue and shall agree that the principal use shall be discontinued should the required off-street parking no longer be provided on these off-site parcels or their equivalent;
12. That a sidewalk deed of easement for sidewalk along W. Lenoir Street outside of the public right of way is approved by the City staff and that the location of the easement as shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat;
13. That all proposed outdoor lighting will meet the standards of Section 7.4 of the Unified Development Ordinance;

14. That all mechanical equipment must be located and shown on the plan and will meet the screening standards of section 7.2.5 of the Unified Development Ordinance;
15. That all conditions of Z-45-16 are complied with.

I hereby certify this administrative decision.

Signed: (Planning Dir.) Kenneth Boush Date: 8/7/2017

Staff Coordinator: Michael Walters

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.

FINDINGS: City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 6/13/17, submitted by Josh Crumpler, Crumpler Consulting Services, PLLC..

EXPIRATION DATES: **The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan.** If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 8/7/2020

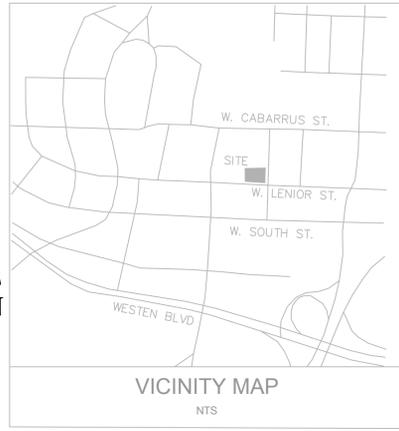
Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

WHAT NEXT?:

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.



PRELIMINARY SITE PLAN FOR 502 W. LENOIR STREET RALEIGH, NORTH CAROLINA

**Administrative Site Review Application
(for UDO Districts only)**



Development Services Customer Service Center | 1 Elizabeth Plaza, Suite 400 | Raleigh, NC 27601 | (919) 996-2405 | fax: (919) 996-1833
Litchford Satellite Office | 8730 - 130 Litchford Road | Raleigh, NC 27601 | (919) 996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input checked="" type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Transaction Number
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Assigned Project Coordinator
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot	Assigned Meter Number
<input type="checkbox"/> Townhouse		

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: 502 W. Lenoir Street
Zoning District: IX-4-UL-CU Overlay District (if applicable): Inside City Limits? Yes No
Proposed Use: Restaurant
Property Address(es): 502 W. Lenoir Street Major Street Locator:
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:
P.I.N. 1703.10-46-8620 P.I.N. 1703.10-46-7650 P.I.N. P.I.N.
What is your project type? Apartment Elderly Facilities Hospitals Hotels/Motels Office
 Mixed Residential Non-Residential Condo School Shopping Center Banks Industrial Building
 Single Telecommunication Tower Religious Institutions Residential Condo Retail Cottage Court
 Other, if other, please describe: (Structure)

WORK SCOPE
Per City Code Section 10.2.8.3.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
Change of Use and remodel of existing building from a garage to a restaurant.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE
Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE.

CLIENT/DEVELOPER/OWNER
Company: SILVERPLATE PROPERTIES, LLC Name: James Goodnight
Address: 801 Oberlin Road, Suite 335
Phone: 919-821-1350 Email: james.goodnight@sas.com Fax: 919-828-9240

CONSULTANT
(Contact Person for Plans)
Company: Crumpler Consulting Services, PLLC Name: Josh Crumpler
Address: 2308 Ridge Road, Raleigh, NC 27612
Phone: 919-413-1704 Email: josh@crumplerconsulting.com Fax:

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s): Industrial Mixed Use (IX-4-UL-CU)	Proposed building use(s): Restaurant
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross: 5,084
Overlay District:	Proposed Building(s) sq. ft. gross: 4,583
Total Site Acres: Inside City Limits: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No: .38	Total sq. ft. gross (existing & proposed): 4,583
Off street parking: Required: 31 Provided: 9	Proposed height of building(s):
COA (Certificate of Appropriateness) case #:	# of stories: 1 - 1, 2 FLOORING
SMA (Board of Adjustment) case # A:	Ceiling height of 1 st floor - garage: 8'4" - 17'0"
CUD (Conditional Use District) case # Z:	
Stormwater Information	
Existing Impervious Surface: 0.32/13907 acres/square feet	Flood Hazard Area: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface: 0.32/13890 acres/square feet	If Yes, please provide:
House River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils FEMA Map Panel # Flood Study
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate <u>Joshua Crumpler</u> to serve as my agent regarding this application, to resolve and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
Signed: <u>Joshua Crumpler</u> Date: <u>11/30/16</u>	
Printed Name: <u>James Goodnight</u>	
Signed: _____ Date: _____	
Printed Name: _____	

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

CITY OF RALEIGH FILE: S-103-16
CITY OF RALEIGH TRANSACTION #: 498027

PREPARED FOR:
SILVERPLATE PROPERTIES, LLC
801 OBERLIN ROAD, SUITE 335
RALEIGH, NC 27605

PREPARED BY:
CRUMPLER
Consulting Services, PLLC

1008 Winona Road
Raleigh, North Carolina 27609
Ph. 919-413-1704
P-1533

SITE EXEMPTION NOTES:

-THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.1.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.

-THE SITE WILL BE CONFORMING TO THE EXEMPTION OF STORMWATER CONTROL REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.2.2.A-3-B.

SHEET	DESCRIPTION
C-1	COVER
C-2	ZONING NOTES
C-3	EXISTING CONDITIONS PLAN
C-4	SITE PLAN
C-5	UTILITY PLAN
C-6	GRADING AND EROSION CONTROL PLAN
C-7	LANDSCAPING PLAN
C-8	PARKING PLAN
D-1	DETAILS
D-2	DETAILS

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

CALL 48 HOURS BEFORE YOU DIG



NORTH CAROLINA ONE-CALL CENTER
1-800-632-4949

CRUMPLER
Consulting Services, PLLC
2308 Ridge Road
Raleigh, North Carolina 27612
Ph. 919-413-1704
P-1533



REV.	DESCRIPTION	DATE
1	CITY OF RALEIGH COMMENTS	2/13/17
2	CITY OF RALEIGH COMMENTS	5/17/17
3	CITY OF RALEIGH COMMENTS	6/13/17

COVER SHEET
502 W. LENOIR STREET
RALEIGH, NORTH CAROLINA

PROJECT NO.: 501
DRAWN BY: JAC
CHECKED BY: JAC
DATE: 10/12/16
SCALE: NOT TO SCALE

C-1

1 of 10

Ordinance (2016) 574 ZC 727
Effective: 4/5/16

Z-46-15 – West Lenoir Street, north side, west of its intersection with South West Street, being Wake County PINs 1703468620 and 1703467650. Approximately 0.37 acre is requested by Silverplate Properties, LLC to be rezoned from Residential Mixed Use – 3 stories (RX-3) to Industrial Mixed Use – 4 stories – Urban Limited – Conditional Use (IX-4-UL-CU) in accordance with the following conditions.

Conditions dated: March 10, 2016

1.a. The Following Uses Shall be Prohibited on the Properties to be Rezoned:

- 1) all Group Living uses;
- 2) all Social Service uses;
- 3) all Public and Institutional uses (with the exception of places of worship and fire stations which shall be permitted, and a School, public or private K-12 which may be permitted as a Limited Use and subject to additional requirements and conditions outlined below in zoning condition 1.b.7));
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- 5) all Day Care uses;
- 6) all Telecommunication Tower (less than 250 feet) uses;
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1.b. The Following Uses Shall be Permitted on the Properties to be Rezoned as Either a Permitted Use or Limited Use as designated in the Allowed Principal Use Table set forth in Section 6.1.4 of the City of Raleigh Unified Development, upon compliance with (i) the applicable definitional terms and use standards set forth in the UDO, (ii) if applicable, zoning conditions 2, 3, and 4 below, and (iii) upon the further satisfaction of additional requirements and conditions as to the following uses:

- 1) Restaurant as defined in G.S. 18B-1000(6) and Eating Establishment (UDO § 6.4.10.C.):
 - i. Hours of operation limited on Mondays through Saturdays from 7 am to 2:00 am;
 - ii. Hours of operation limited on Sundays from 11 am to 2:00 am;
 - iii. All garbage and recycling storage containers shall be screened from view from any adjacent property via an opaque wooden fence or such other material as may be approved in writing by the Planning Director as an acceptable substitute therefore;

- iv. No deliveries shall be scheduled or permitted by the owner of the subject property prior to 9 am or after 9 pm Mondays through Saturdays, nor prior to 1 pm or after 6 pm on Sundays;
- v. Drive-thru or drive-in facilities are not allowed; and
- vi. Indoor music or audio shall be permitted until 2:00 am Mondays through Sundays, on the condition that such music or audio shall not exceed the lowest level of urban ambient sound (which shall be defined as 40 decibels) by more than 20 decibels at the nearest property line of 516 W. Lenoir Street (PIN 1703467600; Deed Book 5924, Page 236) and 515 W. Lenoir Street (PIN 1703466493; conveyed by Will in Estate File 14-E-2698) (which properties shall hereinafter be referred to as the "Nearest Adjacent Property Zoned RX"). The complaints of two (2) or more persons, at least one (1) of whom resides in a different home from the other complaining person or persons, or the complaint of one or more persons, when combined with the complaint of a duly authorized investigating person with a documented sound level reading in excess of 60 decibels at the property line of the Nearest Adjacent Property Zoned RX shall be prima facie evidence that such indoor music or audio is a loud and annoying, frightening, loud and disturbing, unreasonably loud or unnecessary noise in violation of City Code Section 12-5009.

2) Food Truck (UDO § 6.4.10.D.):

- i. No more than one (1) food truck shall be permitted to operate on the property to be rezoned at any time;
- ii. Hours of operation limited on Mondays through Saturdays from 10 am to 10 pm;
- iii. Hours of operation limited on Sundays from 11 am to 10 pm;
- iv. Any food truck shall be located no closer than 40 feet from a single family residential structure which is located on property zoned RX at the time the subject property is rezoned; and
- v. Any food truck shall be located at and adjacent to the northern lot line of the property at 514 W. Lenoir Street (PIN 1703467650; Deed Book 15666, Page 2471 (Tract 2)), provided that it shall be outside of any rear yard setback.

3) Retail Sales (UDO § 6.4.11.A. & C.):

- i. The following retail sales use shall be prohibited: fuel (including gasoline and diesel fuel).
- ii. Must be located on the ground floor of a building on the property to be rezoned;
- iii. The maximum overall intensity for any Retail Sales use shall not be in excess of a Floor Area Ratio ("FAR") equivalent of 0.604;

2

music or audio shall be permitted until 11:00 pm Mondays through Saturday, and until 7:00 pm on Sundays, on the condition that such music or audio shall not exceed the lowest level of urban ambient sound (which shall be defined as 40 decibels) by more than 20 decibels at the nearest property line of 516 W. Lenoir Street (PIN 1703467600; Deed Book 5924, Page 236) and 515 W. Lenoir Street (PIN 1703466493; conveyed by Will in Estate File 14-E-2698) (which properties shall hereinafter be referred to as the "Nearest Adjacent Property Zoned RX"). The complaints of two (2) or more persons, at least one (1) of whom resides in a different home from the other complaining person or persons, or the complaint of one or more persons, when combined with the complaint of a duly authorized investigating person with a documented sound level reading in excess of 60 decibels at the property line of the Nearest Adjacent Property Zoned RX shall be prima facie evidence that such indoor music or audio is a loud and annoying, frightening, loud and disturbing, unreasonably loud or unnecessary noise in violation of City Code Section 12-5009.

5) Light Manufacturing (UDO § 6.5.3):

- i. The maximum overall intensity for any Light Manufacturing use shall not be in excess of a FAR equivalent of 0.604;
- ii. Hours of operation limited on Mondays through Saturdays from 7 am to 11 pm;
- iii. Hours of operation limited on Sundays from 11 am to 7 pm;
- iv. All garbage and recycling storage containers shall be screened from view from any adjacent property via an opaque wooden fence or such other material as may be approved in writing by the Planning Director as an acceptable substitute therefore;
- v. No deliveries shall be scheduled or permitted by the owner of the subject property prior to 9 am or after 9 pm Mondays through Saturdays, nor prior to 1 pm or after 6 pm on Sundays; and
- vi. Indoor music or audio shall be permitted until 11:00 pm Mondays through Saturday, and until 7:00 pm on Sundays, on the condition that such music or audio shall not exceed the lowest level of urban ambient sound (which shall be defined as 40 decibels) by more than 20 decibels at the nearest property line of 516 W. Lenoir Street (PIN 1703467600; Deed Book 5924, Page 236) and 515 W. Lenoir Street (PIN 1703466493; conveyed by Will in Estate File 14-E-2698) (which properties shall hereinafter be referred to as the "Nearest Adjacent Property Zoned RX"). The complaints of two (2) or more persons, at least one (1) of whom resides in a different home from the other complaining person or persons, or the complaint of one or more persons, when combined with the complaint of a duly authorized investigating person with a

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documented sound level reading in excess of 60 decibels at the property line of the Nearest Adjacent Property Zoned RX shall be prima facie evidence that such indoor music or audio is a loud and annoying, frightening, loud and disturbing, unreasonably loud or unnecessary noise in violation of City Code Section 12-5009.

6) Research and Development (UDO § 6.5.4):

- i. The maximum overall intensity for any Research & Development use shall not be in excess of a FAR equivalent of 0.604;
- ii. Hours of operation limited on Mondays through Saturdays from 7 am to 11 pm;
- iii. Hours of operation limited on Sundays from 11 am to 7 pm;
- iv. All garbage and recycling storage containers shall from view from any adjacent property via an opaque wooden fence or such other material as may be approved in writing by the Planning Director as an acceptable substitute therefore;
- v. No deliveries shall be scheduled or permitted by the owner of the subject property prior to 9 am or after 9 pm Mondays through Saturdays, nor prior to 1 pm or after 6 pm on Sundays; and
- vi. Indoor music or audio shall be permitted until 11:00 am Mondays through Saturday, and until 7:00 am on Sundays, on the condition that such music or audio shall not exceed the lowest level of urban ambient sound (which shall be defined as 40 decibels) by more than 20 decibels at the nearest property line of 516 W. Lenoir Street (PIN 1703467600; Deed Book 5924, Page 236) and 515 W. Lenoir Street (PIN 1703466493; conveyed by Will in Estate File 14-E-2698) (which properties shall hereinafter be referred to as the "Nearest Adjacent Property Zoned RX"). The complaints of two (2) or more persons, at least one (1) of whom resides in a different home from the other complaining person or persons, or the complaint of one or more persons, when combined with the complaint of a duly authorized investigating person with a documented sound level reading in excess of 60 decibels at the property line of the Nearest Adjacent Property Zoned RX shall be prima facie evidence that such indoor music or audio is a loud and annoying, frightening, loud and disturbing, unreasonably loud or unnecessary noise in violation of City Code Section 12-5009.

7) School, Public or Private (K-12) (UDO § 6.3.2.A. & E.):

- i. The maximum overall intensity for any School use shall not be in excess of a FAR equivalent of 1.21;
- ii. Hours of operation limited on Mondays through Saturdays from 7 am to 9 pm;
- iii. No hours of operation on Sundays;

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- iv. Hours of operation limited on Mondays through Saturdays from 7 am to 11 pm;
- v. Hours of operation limited on Sundays from 11 am to 7 pm;
- vi. All garbage and recycling storage containers shall be screened from view from any adjacent property via an opaque wooden fence or such other material as may be approved in writing by the Planning Director as an acceptable substitute therefore;
- vi. No deliveries shall be scheduled or permitted by the owner of the subject property prior to 9 am or after 9 pm Mondays through Saturdays, nor prior to 1 pm or after 6 pm on Sundays;
- viii. Drive-thru or drive-in facilities are not allowed; and
- ix. Indoor music or audio shall be permitted until 11:00 pm Mondays through Saturday, and until 7:00 pm on Sundays, on the condition that such music or audio shall not exceed the lowest level of urban ambient sound (which shall be defined as 40 decibels) by more than 20 decibels at the nearest property line of 516 W. Lenoir Street (PIN 1703467600; Deed Book 5924, Page 236) and 515 W. Lenoir Street (PIN 1703466493; conveyed by Will in Estate File 14-E-2698) (which properties shall hereinafter be referred to as the "Nearest Adjacent Property Zoned RX"). The complaints of two (2) or more persons, at least one (1) of whom resides in a different home from the other complaining person or persons, or the complaint of one or more persons, when combined with the complaint of a duly authorized investigating person with a documented sound level reading in excess of 60 decibels at the property line of the Nearest Adjacent Property Zoned RX shall be prima facie evidence that such indoor music or audio is a loud and annoying, frightening, loud and disturbing, unreasonably loud or unnecessary noise in violation of City Code Section 12-5009.

4) Light Industrial:

- i. The following light industrial use shall be prohibited: bus or rail transit vehicle maintenance or storage facility.
- ii. The maximum overall intensity for any Light Industrial use shall not be in excess of a FAR equivalent of 0.604;
- iii. Hours of operation limited on Mondays through Saturdays from 7 am to 11 pm;
- iv. Hours of operation limited on Sundays from 11 am to 7 pm;
- v. All garbage and recycling storage containers shall be screened from view from any adjacent property via an opaque wooden fence or such other material as may be approved in writing by the Planning Director as an acceptable substitute therefore;
- vi. No deliveries shall be scheduled or permitted by the owner of the subject property prior to 9 am or after 9 pm Mondays through Saturdays, nor prior to 1 pm or after 6 pm on Sundays; and indoor

3

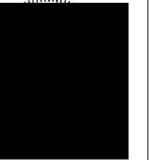
- iv. All garbage and recycling storage containers shall screened from view from any adjacent property via an opaque wooden fence or such other material as may be approved in writing by the Planning Director as an acceptable substitute therefore;
- v. No outdoor playground or other outdoor equipment shall be located closer than 50' from any property zoned R-2 though R-20 at the time the subject property is rezoned;
- vi. No deliveries shall be scheduled or permitted by the owner of the subject property prior to 9 am or after 9 pm Mondays through Saturdays, nor prior to 1 pm or after 6 pm on Sundays; and
- vii. Indoor music or audio shall be permitted until 9:00 pm Mondays through Saturday, on the condition that such music or audio shall not exceed the lowest level of urban ambient sound (which shall be defined as 40 decibels) by more than 20 decibels at the nearest property line of 516 W. Lenoir Street (PIN 1703467600; Deed Book 5924, Page 236) and 515 W. Lenoir Street (PIN 1703466493; conveyed by Will in Estate File 14-E-2698) (which properties shall hereinafter be referred to as the "Nearest Adjacent Property Zoned RX"). The complaints of two (2) or more persons, at least one (1) of whom resides in a different home from the other complaining person or persons, or the complaint of one or more persons, when combined with the complaint of a duly authorized investigating person with a documented sound level reading in excess of 60 decibels at the property line of the Nearest Adjacent Property Zoned RX shall be prima facie evidence that such indoor music or audio is a loud and annoying, frightening, loud and disturbing, unreasonably loud or unnecessary noise in violation of City Code Section 12-5009.

2. Maximum overall density for any multi-unit living residential use shall be limited to 30 units per acre.
3. Maximum overall intensity for medical, dental office or chiropractor, osteopath, physician, medical practitioner, and medical clinic uses shall not be in excess of a FAR equivalent of 1.21.
4. Maximum overall intensity for office uses (UDO Section 6.4.4.A) shall not be in excess of a FAR equivalent of 1.21.

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CAD FILE: D:\GIS\Projects\2016\MaineRW_Lenoir (Dwg)_LAYOUT_Notes PLOTTED: 13 Jun 2017, 9:30am, jcrumpler

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2308 Ridge Road
Raleigh, North Carolina 27612
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P-1533

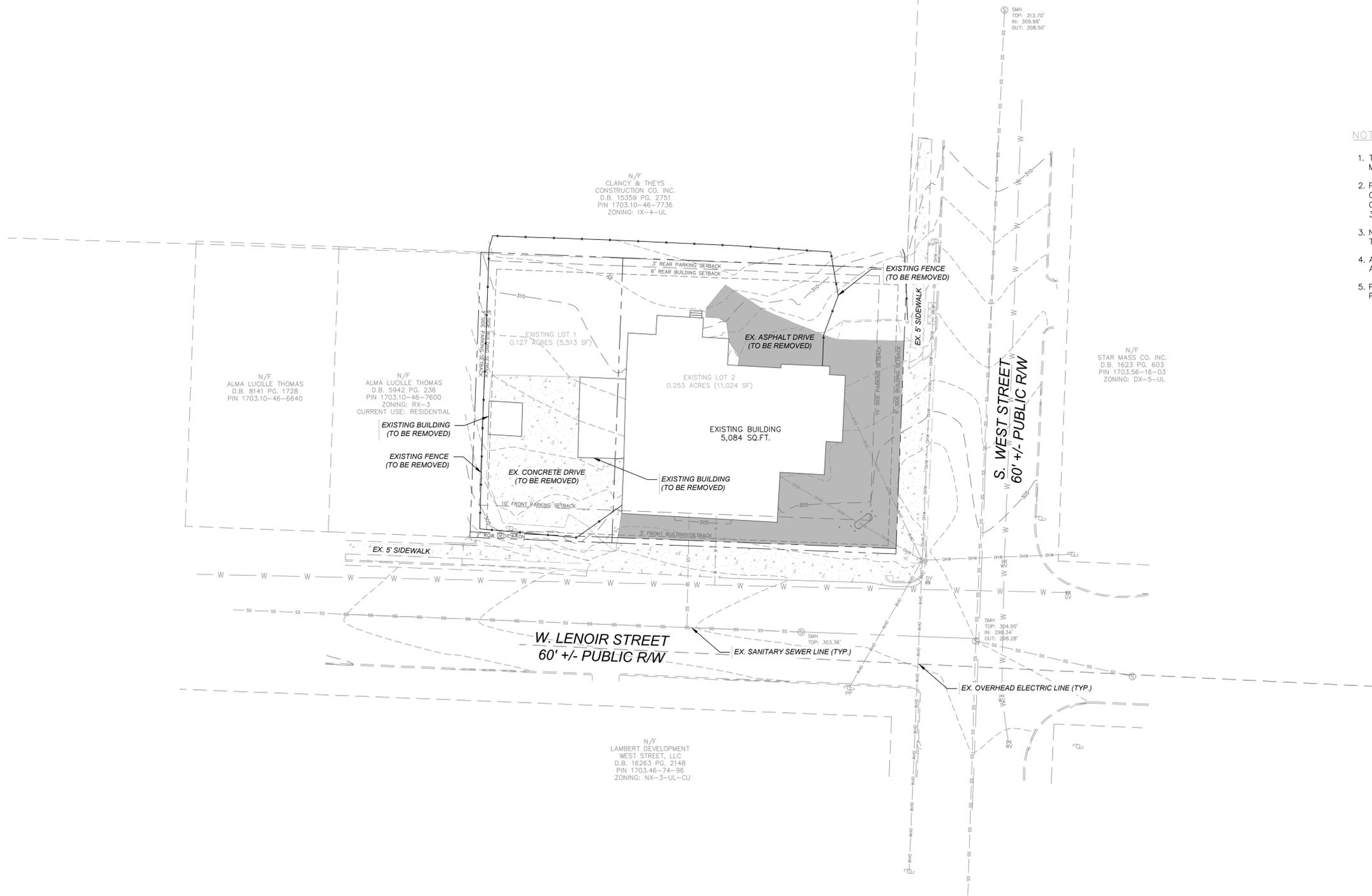


REV.	DESCRIPTION	DATE
1	CITY OF RALEIGH COMMENTS	2/13/17
2	CITY OF RALEIGH COMMENTS	5/17/17
3	CITY OF RALEIGH COMMENTS	6/13/17

ZONING NOTES
502 W. LENOIR STREET
502 W. LENOIR STREET
RALEIGH, NORTH CAROLINA

PROJECT NO.:	501
DRAWN BY:	JAC
CHECKED BY:	JAC
DATE:	10/12/16
SCALE:	NOT TO SCALE

C-2



LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING ABUTTING PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
--- OHW --- OHW --- OHW --- OHW --- OHW ---	EXISTING OVERHEAD POWER LINE
---	EXISTING ABUTTING PROPERTY LINE
---	EXISTING BUILDING SETBACK LINE
---	EXISTING PARKING SETBACK LINE
---	EXISTING EDGE OF PAVEMENT
---	EXISTING SANITARY SEWER

- NOTES**
1. TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY CAWTHORNE, MOSS, & PANCIERA, DATED 05-03-2016.
 2. PROPERTY IS LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 3720170300J DATED MAY 2, 2006.
 3. NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
 4. A DEMOLITION PLAN WILL BE REQUIRED AS A CONDITION OF APPROVAL
 5. PARCELS WILL BE RECOMBINED PRIOR TO ISSUANCE OF BUILDING PERMITS.

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Consulting Services, PLLC

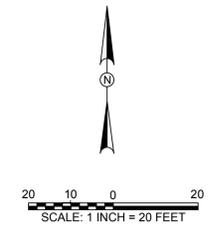
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Raleigh, North Carolina 27612
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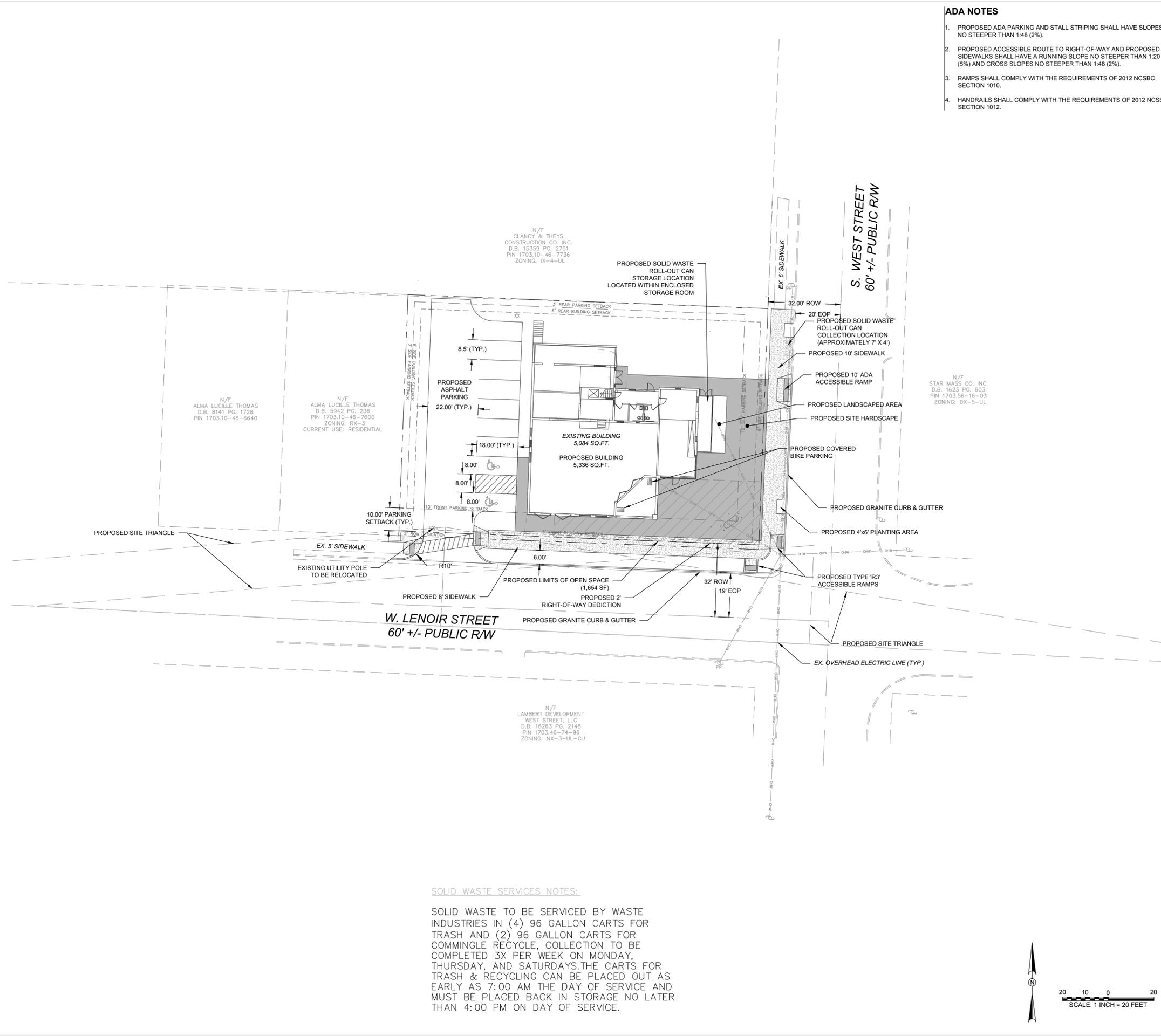
REV.	DESCRIPTION	DATE
1	CITY OF RALEIGH COMMENTS	2/13/17
2	CITY OF RALEIGH COMMENTS	5/17/17
3	CITY OF RALEIGH COMMENTS	6/13/17

EXISTING CONDITIONS
502 W. LENOIR STREET
502 W. LENOIR STREET
RALEIGH, NORTH CAROLINA

PROJECT NO.: 501
DRAWN BY: JAC
CHECKED BY: JAC
DATE: 10/12/16
SCALE: 1" = 20'



CAD FILE: D:\CSD\Projects\2016\Main\W. Lenoir (Daisy). LAYOUT: Site Plan PLOTTED: 13 Jun 2017, 9:31am, jcrumpler



- ADA NOTES**
1. PROPOSED ADA PARKING AND STALL STRIPING SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%).
 2. PROPOSED ACCESSIBLE ROUTE TO RIGHT-OF-WAY AND PROPOSED SIDEWALKS SHALL HAVE A RUNNING SLOPE NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%).
 3. RAMPS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSBC SECTION 1010.
 4. HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSBC SECTION 1012.

- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING ABUTTING PROPERTY LINE
 - EXISTING RIGHT-OF-WAY
 - EXISTING OVERHEAD POWER LINE
 - EXISTING ABUTTING PROPERTY LINE
 - EXISTING BUILDING SETBACK LINE
 - EXISTING PARKING SETBACK LINE
 - EXISTING EDGE OF PAVEMENT
 - EXISTING SANITARY SEWER
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED SITE HARDSCAPE
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED OUTDOOR AMENITY AREA

SUMMARY INFORMATION

DEVELOPMENT NAME: 502 W. LENOIR STREET
SITE ADDRESS: 502 W. LENOIR STREET, RALEIGH, NORTH CAROLINA 27601
PIN NUMBER: 1703.10-46-8620
 1703.10-46-7650
TOTAL ACREAGE: 0.38 ACRES (16,538SF)
JURISDICTION: CITY OF RALEIGH
CURRENT ZONING DISTRICT: IX-4-UL-CU
EXISTING USE: AUTO SHOP/GARAGE
PROPOSED USE: RESTAURANT

BUILDING SETBACKS:
 FRONT: 3'
 SIDE STREET: 3'
 SIDE: 6'
 REAR: 6'

PARKING SETBACKS:
 FRONT: 10'
 SIDE STREET: 10'
 SIDE: 3'
 REAR: 3'

REQUIRED OUTDOOR AMENITY AREA: 1,654 SF
PROVIDED OUTDOOR AMENITY AREA: 1,654 SF

PRE DEVELOPMENT IMPERVIOUS AREA (AC): 0.32 AC
POST DEVELOPMENT IMPERVIOUS AREA (AC): 0.31 AC

PARKING CALCULATIONS:
 PARKING = 1 SPACE PER 500 SF GROSS FLOOR AREA
 5,336 SF / 500 SF = 11 SPACES

EXISTING PARKING:
 0 PARKING SPACES (0 ADA ACCESSIBLE, 0 VAN ACCESSIBLE)

ONSITE PROPOSED PARKING:
 9 PARKING SPACES (2 ADA ACCESSIBLE, 0 VAN ACCESSIBLE)

OFFSITE PROPOSED PARKING:
 2 PARKING SPACES

BIKE PARKING REQUIRED: 4 SHORT TERM, 4 LONG TERM
BIKE PARKING PROVIDED: 4 SHORT TERM, 4 LONG TERM

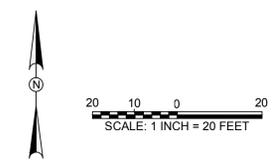
OWNER/DEVELOPER:
 SILVERPLATE PROPERTIES, LLC
 801 OBERLIN ROAD, SUITE 335
 RALEIGH, NC 27605

ENGINEER:
 CRUMPLER CONSULTING SERVICES, PLLC
 CONTACT: JOSH CRUMPLER, PE
 2308 RIDGE ROAD
 RALEIGH, NC 27612
 (919) 413-1704

- NOTES**
1. TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY CAWTHORNE, MOSS, & PANCIERA, DATED 05-03-2016.
 2. PROPERTY IS LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 3720170300J DATED MAY 2, 2006.
 3. NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
 4. THIS DRAWING IS NOT FOR RECORDATION.
 5. IN NO CASE SHALL ALCOHOL SALES EXCEED 70% OF ANNUAL BUSINESS SALES.
 6. A DEMOLITION PLAN WILL BE REQUIRED AS A CONDITION OF APPROVAL
 7. PARCELS WILL BE RECOMBINED PRIOR TO ISSUANCE OF BUILDING PERMITS.
 8. NO PARKING IS ALLOWED OR PROPOSED IN THE SITE HARDSCAPE AREA BETWEEN BUILDING AND STREET.

SOLID WASTE SERVICES NOTES:

SOLID WASTE TO BE SERVICED BY WASTE INDUSTRIES IN (4) 96 GALLON CARTS FOR TRASH AND (2) 96 GALLON CARTS FOR COMMINGLE RECYCLE, COLLECTION TO BE COMPLETED 3X PER WEEK ON MONDAY, THURSDAY, AND SATURDAYS. THE CARTS FOR TRASH & RECYCLING CAN BE PLACED OUT AS EARLY AS 7:00 AM THE DAY OF SERVICE AND MUST BE PLACED BACK IN STORAGE NO LATER THAN 4:00 PM ON DAY OF SERVICE.



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2	CITY OF RALEIGH COMMENTS	5/17/17
3	CITY OF RALEIGH COMMENTS	6/13/17

SITE PLAN

502 W. LENOIR STREET
 502 W. LENOIR STREET
 RALEIGH, NORTH CAROLINA

PROJECT NO.: 501
 DRAWN BY: JAC
 CHECKED BY: JAC
 DATE: 10/12/16
 SCALE: 1" = 20'

C-4

4 of 10

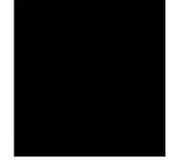
LEGEND	
	EXISTING PROPERTY LINE
	EXISTING ABUTTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING OVERHEAD POWER LINE
	EXISTING ABUTTING PROPERTY LINE
	EXISTING BUILDING SETBACK LINE
	EXISTING PARKING SETBACK LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	PROPOSED EDGE OF PAVEMENT
	PROPOSED SANITARY SEWER SERVICE
	PROPOSED WATER SERVICE

CITY OF RALEIGH UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER & RCP SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE.
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- ABANDON AND REMOVE EXISTING WATER AND SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF SITE AS DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR timothy.beasley@raleighnc.gov FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR joanie.hartley@raleighnc.gov FOR MORE INFORMATION

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UTILITY PLAN
502 W. LENOIR STREET
RALEIGH, NORTH CAROLINA

PROJECT NO.:	501
DRAWN BY:	JAC
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DATE:	10/12/16
SCALE:	1" = 20'

