



# Administrative Approval Action

Case File / Name: SR-103-18 Jolie  
Transaction # 575148, AA # 3942

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the east side of N Person Street and south side of Pace Street. The site is addressed at 618 N Person St, which is inside City corporate limits.

**REQUEST:** Change of use on a 0.13-acre tract zoned NX-3-SH; the lot contains a multi-tenant commercial building. A 1,360 sq ft tenant space is changing from personal service to an eating establishment.

**DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** Design Adjustment DA-130-2018 has been approved granting relief from right-of-way dedication requirements (UDO Section 8.5.1 B. 1. a) and modification of required streetscape improvements (UDO Section 8.5.3.B).

Two variances were approved for this project by the Board of Adjustment:  
**A-99-18** – complete relief from outdoor amenity area requirement (UDO 3.2.6.A3)  
**A-7-19** – relief, with conditions, from Neighborhood Transition requirement (UDO 3.5)

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 3/13/2019 by *Louis Cherry Architecture*.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME** – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

**CONCURRENT SITE REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

**BUILDING PERMITS** – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.



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***The following items must be approved prior to the issuance of building permits:***

## **General**

1. Comply with all conditions of A-99-18 and A-7-19.
2. Provide fire flow analysis.

## **Engineering**

3. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
4. An encroachment agreement for the grease trap within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.
5. The bike racks shall be installed per City of Raleigh Standard Detail B-20.01 for Bicycle Facilities.
6. A right-of-way permit for the handicapped ramp upfit at the intersection of Pace Street and North Person Street will be necessary.
7. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

## **Stormwater**

8. Site plan showing compliance with UDO 9.2.2.A must be provided at time of building permit submittal.

## **Urban Forestry**

9. A tree impact permit must be obtained for the installation of tree protection fences around existing street trees on Person St. and Pace St.

***The following are required prior to issuance of building occupancy permit:***

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. All street lights and street signs required as part of the development approval are installed.
4. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.



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5. Final inspection of all tree protection fences and street trees by Urban Forestry Staff.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 3-27-2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

**Signed:**(Development Services Dir./Designee) *Austin Billy Zea* Date: 3/27/2019

**Staff Coordinator:** Ryan Boivin

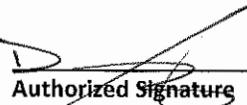
# Design Adjustment Staff Response



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

<b>PROJECT</b>	<b>Project Name</b>	Jolie Restaurant/Bar	
	<b>Development Case Number</b>	SR-103-18	
	<b>Transaction Number</b>	575148	
	<b>Design Adjustment Number</b>	DA - 130 - 2018	
<b>Staff recommendation based upon the findings in the applicable code(s):</b>			
<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access		<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	
<input type="checkbox"/> UDO Art. 8.4 New Streets		<input type="checkbox"/> Raleigh Street Design Manual	
Staff <b>SUPPORTS</b> <input checked="" type="checkbox"/> <b>DOES NOT SUPPORT</b> <input type="checkbox"/> the design adjustment request.			
<b>DEPARTMENTS</b>			
<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning	
<input checked="" type="checkbox"/> Development Engineering		<input type="checkbox"/> Transportation	
<input type="checkbox"/> Engineering Services		<input type="checkbox"/> Parks & Recreation and Cult. Res.	
<input type="checkbox"/> Public Utilities			
<b>STAFF RESPONSE</b>	<b>CONDITIONS:</b>		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			



**DANIEL G. KING, PE**  
 ENGINEERING REVIEW MANAGER
 

 3/26/19  
 Date

\*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

# Staff Response

## Article 8.5 Existing Streets



DEVELOPMENT  
SERVICES  
DEPARTMENT

- A. The requested design adjustment meets the intent of this Article;  
YES  NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;  
YES  NO
- C. The requested design adjustment does not increase congestion or compromise safety;  
YES  NO
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and  
YES  NO
- E. The requested design adjustment has been designed and certified by a Professional Engineer.  
YES  NO

### STAFF FINDINGS

Person Street is designated as an Avenue 4-Lane Parallel Parking. The required right-of-way width is 77 feet as it is a one-way street. This requires dedication of 1/2 - 77' right-of-way along the frontage of N. Person Street. (RSDM 3.2.4 A, UDO 8.5.1 B.1.a).

Pace Street is designated as a Neighborhood Yield Street. The required right-of-way width is 55 feet. This requires dedication of 1/2 - 55' right-of-way along the frontage of N. Person Street. (RSDM 3.2.2 A, UDO 8.5.1 B.1.a).

The building at 620 N. Person Street is an existing building that was built in 1925 on a lot that was recorded in 1918. (LO7 THE ELLEN MORDECAI LOTS BM1918 -00081). There was no setback requirement for the building and it was constructed on a 0 lot line. Any right-of-way dedication or streetscape width alteration necessary would require demolishing the building.

The client has applied for this design adjustment and the standards are modified according to Section 8.5.3.B (Nonconforming Streetscapes) in the UDO:

1. Reduce or eliminate the planting area.  
The tree pits are existing and no reduction was necessary.
2. If necessary, replace large canopy trees with small trees that are more appropriate for the reduced area. If the planting zone is eliminated, create a bumpout to provide for tree planting.  
This was not necessary.
3. Reduce the sidewalk to the minimum width necessary to accommodate ADA accessibility.  
The sidewalk is kept intact and exceeds the minimum width necessary.

12/14/18  
Alkesh & Susan Shah  
P.O. Box 10403, Raleigh, NC 27605

Dear Neighbor,

We have applied to the City of Raleigh for a design adjustment near property that you own. The subject property is identified by the following address and property identification number: 620 N. Person St. / 1704-82-5233.

Attached is the application for our design adjustment as well as a preliminary plan showing our proposal. Specifically, this proposal is to help us get an exemption from City of Raleigh provisions related to the road and sidewalk width.

Issue #1: Both Person and Pace St. are narrower than their designated public right of way widths of 77' and 55' respectively. Since this is an existing building in an existing block, we have no individual power to bring this road into compliance; therefore, we are asking for an exemption from this UDO provision.

Issue #2: The City of Raleigh Unified Development Ordinance specifies that a Shopfront in a Mixed Use District is required to provide a 10' minimum sidewalk and a 6' planting area. However, Person and Pace St. existing sidewalks are only 12'-3" and 10'-7" wide respectively and we do not have enough space to provide a full 6' planting area. Therefore, we are asking for an exemption from this provision to leave the sidewalk as is.

The associated Site Review case number assigned by the City of Raleigh is DA-130-2018.

A copy of the complete site plan filed with the City of Raleigh is available for public review in the Department of City Planning located on the third floor of 1 Exchange Plaza in Downtown Raleigh. In addition, plans may be viewed on the City's website at the following address: <http://www.raleighnc.gov>. Upon accessing the site search for "Current Development Activity" and then access the file by case number.

The coordinating Engineering Reviewer for the Development Services Department for this particular application is William Schumaker, who can be reached at (919) 996-6804.

We welcome any questions or comments on the plan. If you wish to contact us, please call our representatives at Louis Cherry Architecture (919) 971-2299 and ask for Louis Cherry. You can also email them at [louis@louischerry.com](mailto:louis@louischerry.com).

Sincerely,

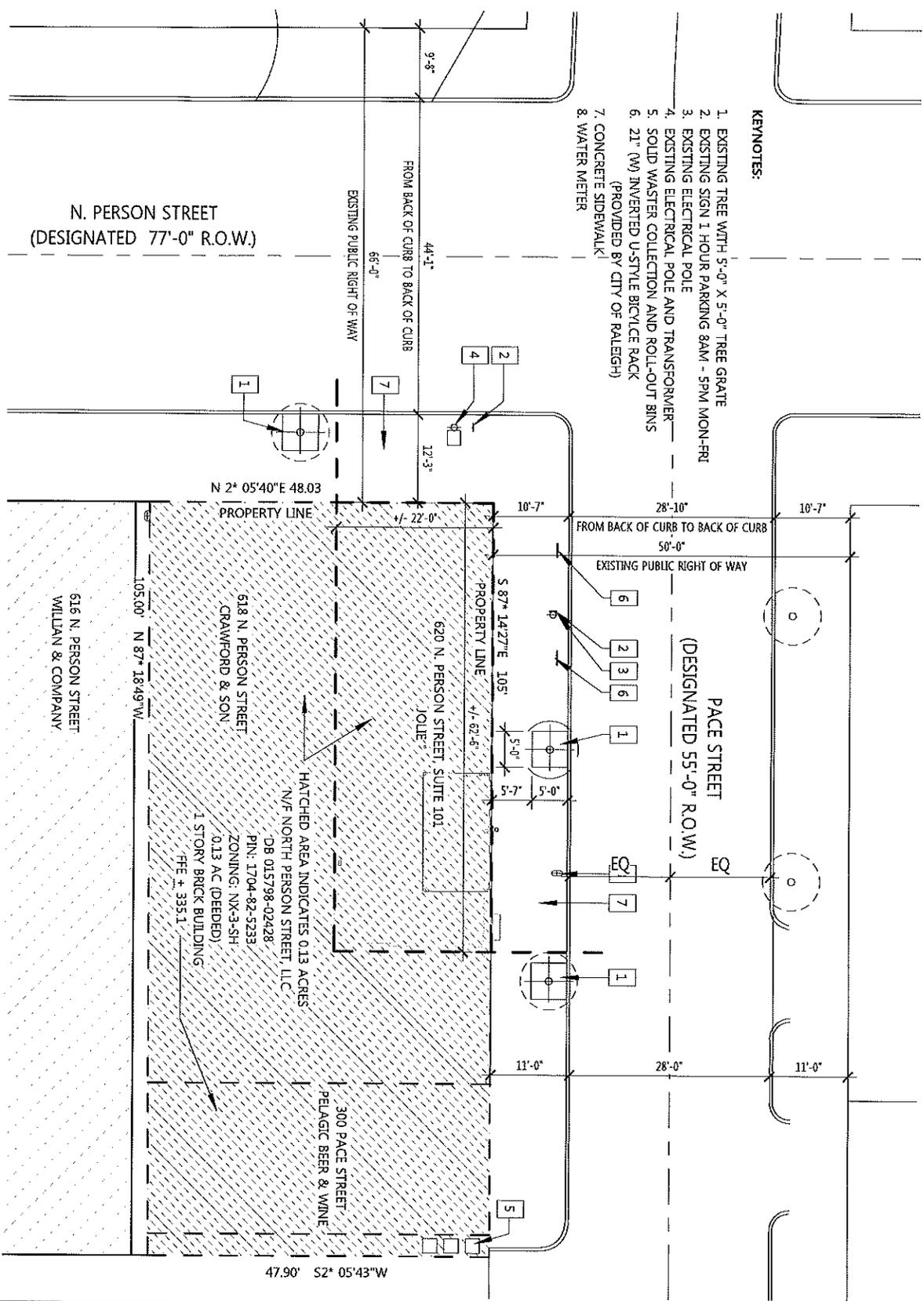
Alkesh & Susan Shah

*Building Owner – 620 N. Person St.*

1  
A-100

# SITE PLAN

1" = 20'-0"



## SITE PLAN

Project No.:	1806
Date:	12/14/18
Scale:	1" = 20'-0"

A-100



LOUIS CHERRY  
ARCHITECTURE



PERSON ST. FACADE



PACE ST. SIDEWALK (PRIOR TO NEW BIKE RACKS)



NEW CITY OF RALEIGH BIKE RACKS ALONG PACE ST.

## SITE PHOTOS

Project No.: 1806  
 Date: 12/14/18  
 Scale:

A-900



LOUIS CHERRY  
 ARCHITECTURE

# Design Adjustment Application



**DEVELOPMENT SERVICES DEPARTMENT**

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

<b>PROJECT</b>	<b>Project Name</b> Jolie Restaurant / Bar		
	<b>Case Number</b> SR-103-18		
	<b>Transaction Number</b> 575148		
<b>OWNER</b>	<b>Name</b> Susan Shah		
	<b>Address</b> P.O. Box 10403		<b>City</b> Raleigh
	<b>State</b> NC	<b>Zip Code</b> 27605	<b>Phone</b> 919-605-7036
<b>CONTACT</b>	<b>Name</b> Alison Croop		<b>Firm</b> Louis Cherry Architecture
	<b>Address</b> 222 N. Bloodworth St.		<b>City</b> Raleigh
	<b>State</b> NC	<b>Zip Code</b> 27601	<b>Phone</b> 803-741-4190
<b>REQUEST</b>	<b>I am seeking a Design Adjustment from the requirements set forth in the following:</b>		
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings	
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings	
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings	
	<b>Provide details about the request; (please attach a memorandum if additional space is needed):</b>		
1) The existing streets adjacent to the property, Pace and Person St., do not meet right-of-way width dedications of 55' and 77', respectively. Widening the street would require demolish of the existing building.			
2) The UDO streetscape design guidelines for an SH frontage specifies a 10' sidewalk and a 6' planting area. The existing sidewalk along Person St. is 12-3" wide from back of curb to face of building. We cannot provide a 6' planting area without eliminating sidewalk area or demolishing the building.			

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

  
 Owner/Owner's Representative Signature 12/14/18  
Date

CHECKLIST	
Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input checked="" type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to [designadjustments@raleighnc.gov](mailto:designadjustments@raleighnc.gov).

**Deliver the addressed envelopes and letters to:**  
 Development Services, Development Engineering  
 One Exchange Plaza, Suite 500  
 Raleigh NC, 27601

<b>For Office Use Only</b>	<b>RECEIVED DATE:</b>	DA - -
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# Article 8.5 Existing Streets

## Administrative Design Adjustment Findings



DEVELOPMENT  
SERVICES  
DEPARTMENT

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The Development Services Director may in accordance with *Sec. 10.2.18*. approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;

**Yes - Even by excluding the planting area requirement for a -SH streetscape, the existing trees and long both roads will satisfy the intent of the UDO Sec. 8.5.1.A.a & 2 to "reflect the character and context of the area in the City." Leaving the sidewalk "as is" will also certainly "provide adequate travel lanes for vehicles, cyclists, and pedestrians."**

- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;

**The requested design adjustment conforms with the City of Raleigh UDO by providing a minimum 10 FT sidewalk along Person St.**

- C. The requested design adjustment does not increase congestion or compromise safety;

**The exemption from these UDO provisions will not increase congestions or compromise safety.**

- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and

**There are not changes to the streetscape; therefore, it will not create additional maintenance responsibilities of the City.**

- E. The requested design adjustment has been designed and certified by a Professional Engineer.

**Yes - Louis Cherry - L#: 4582**

Susan Bane Shah

# Individual Acknowledgement



DEVELOPMENT SERVICES DEPARTMENT

STATE OF NORTH CAROLINA

INDIVIDUAL

COUNTY OF Wake

I, April K. Fennell, a Notary Public do hereby certify that SUSAN B. SHAH personally appeared before me this day and acknowledged the due execution of the forgoing instrument.

This the 14<sup>th</sup> day of December, 2018.

(SEAL)

**APRIL FENNEL**  
Notary Public  
Wake Co., North Carolina  
My Commission Expires Sept. 20, 2022

Notary Public

My Commission Expires: 09-20-2022

# JOLIE

RALEIGH, NORTH CAROLINA

## PACKAGE: ADMINISTRATIVE SITE REVIEW

CASE FILE SR-103-18

TRANSACTION# 575148



### CODE REVIEW NOTES

- THERE IS NO GRADING TAKING PLACE WITH THIS SITE.
- ROOF-MOUNTED EQUIPMENT WILL BE SCREENED WITH A WOOD SLAT WALL PER UDO SECTION 7.2.5.D.2.C.
- SOLID WASTE COLLECTION IS COLLECTED IN ROLL-OUT BINS AT THE BACK OF THE BUILDING ON PACE STREET. SEE A-002 SITE PLAN.
- THIS SITE WILL COMPLY WITH PARKING REGULATIONS IN UDO SECTION 7.1.2 AND PARKING REQUIREMENTS BY USE CHART AND 7.1.3.C.S. SEE G-002 CODE SUMMARY TO DETAILS.
- THIS SITE HAS BEEN REQUESTED COMPLETE RELIEF FROM THE OUTDOOR AMENITY AREA REQUIREMENTS SET FORTH IN SECTION 3.2.5.A.3 OF THE UDO AS WELL AS COMPLETE RELIEF FROM LONG-TERM BICYCLE PARKING REQUIREMENT BY SECTION 7.1.2.C OF THE UDO. SEE BOARD OF ADJUSTMENTS APPROVAL A-99-18 BELOW.
- PLEASE SEE ATTACHED EMAIL FROM KYLE MORRIS, NCDOT ASSISTANT DISTRICT ENGINEER FOR APPROVED RELIEF FROM NCDOT REGARDING MAJOR ENCRoACHMENT OF DOOR AND WINDOW SWING INTO THE RIGHT OF WAY.

### BOARD OF ADJUSTMENTS CASE NUMBER: A-99-18

A-99-18 – 10/8/18

Decision: Approved as requested.

WHEREAS Alkesh Shah, property owner, requests complete relief from the outdoor amenity area requirements set forth in Section 3.2.5.A.3. of the Unified Development Ordinance as well as complete relief from the long-term bicycle parking required by Section 7.1.2.C. of the Unified Development Ordinance in order to permit a change of use to the existing general building to allow a restaurant use on a .13 acre parcel zoned Neighborhood Mixed Use-3-Shopfront and located at 620 North Person Street.

#### Major Encroachment - 620 N. Person Street, Suite 101

Morris, Kyle D <kdmorris1@ncdot.gov> Mon, Oct 29, 2018 at 2:54 PM  
 To: Bhavneet Birdi <bhavneet@louischerry.com>  
 Cc: "Wheeler, Millard S" <mhwheeler@ncdot.gov>, "Brennan, Sean P" <spbrennan@ncdot.gov>

Bhavneet,

After having some internal discussions with the NCDOT Division Office and City of Raleigh, NCDOT is not going to require a formal encroachment agreement for the outswinging doors and windows. Additionally, the proposed bike racks are on Pace Street, a City of Raleigh roadway. Therefore, no NCDOT encroachment agreement will be required for the bike racks either.

This email shall serve as approval for the proposed outswinging door and windows (see attached). Please let me know if you need anything else or have questions.

Thanks!

Kyle Morris  
 Assistant District Engineer  
 Division 5/District 1  
 Department of Transportation

919-733-3213 office  
 kdmorris1@ncdot.gov

4009 District Drive (Physical Address)  
 Raleigh, NC 27607

1575 Mail Service Center (Mailing Address)  
 Raleigh, NC 27699-1575



### Administrative Site Review Application (for UDO Districts only)

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | cfax 919-996-1831  
 Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot
Transaction Number	
Assigned Project Coordinator	
Assigned Team Leader	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

**GENERAL INFORMATION**

Development Name: JOLIE

Zoning District: NX-3-SH Overlay District (if applicable): Inside City Limits?  Yes  No

Proposed Use: RESTAURANT

Property Address(es): 620 N. PERSON STREET, SUITE 101, RALEIGH, NC 27604 Major Street Locator:

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1704825233 P.I.N. P.I.N. P.I.N.

What is your project type?  Apartment  Elderly Facilities  Hospitals  Hotels/Motels  Office  
 Mixed Residential  Non-Residential Condo  School  Shopping Center  Banks  Industrial Building  
 Duplex  Telecommunication Tower  Religious Institutions  Residential Condo  Retail  Cottage Court  
 Other: If other, please describe: Restaurant

**WORK SCOPE** Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.  
 Please see attached summary for details.

**DESIGN ADJUSTMENT OR ADMIN ALTERNATE** Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

**CLIENT/DEVELOPER/OWNER**

Company: Name (s) ALKESH SHAH (OWNER)  
 Address: PO BOX 10403, RALEIGH 27605  
 Phone 919-818-4974 Email ALKESHSHAH99@GMAIL.COM Fax

**CONSULTANT (Contact Person for Plans)**

Company LOUIS CHERRY ARCHITECTURE Name (s) BHAVNEET BIRDI  
 Address 222 N. BLOODWORTH STREET, RALEIGH, NC 27601  
 Phone 850-980-4552 Email BHAVNEET@LOUISCHERRY.COM Fax N/A

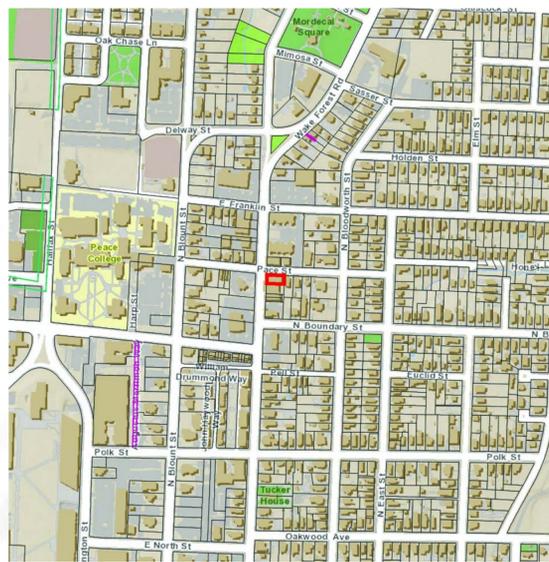
PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

**DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)**

Zoning Information		Building Information	
Zoning District(s) NX-3-SH	Proposed building use(s) Restaurant	Existing Building(s) sq. ft. gross 1,360 SQ. FT.	Proposed Building(s) sq. ft. gross 0 SQ. FT.
If more than one district, provide the acreage of each:		Total sq. ft. gross (existing & proposed) 1,360 SQ. FT.	Proposed height of building(s) Existing 16'-8" or 27'-2" roof to eave
Overlay District N/A		# of stories 1	Ceiling height of 1 <sup>st</sup> Floor 10'-6 1/2" EXISTING
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 0.13			
Off street parking: Required 0 Provided 0			
COA (Certificate of Appropriateness) case #			
BOA (Board of Adjustment) case # A-			
CUD (Conditional Use District) case # Z-			
Stormwater Information			
Existing Impervious Surface 1,360 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If Yes, please provide:	
Proposed Impervious Surface 0 acres/square feet	Alluvial Soils	Flood Study	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	FEMA Map Panel #	
FOR RESIDENTIAL DEVELOPMENTS			
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more		
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7		
3. Total Number of Hotel Units	7. Open Space (only) or Amenity		
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No		
SIGNATURE BLOCK (Applicable to all developments)			
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.			
I hereby designate LOUIS CHERRY ARCHITECTURE to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.			
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.			
Signed <i>Alkesh Shah</i>	Date 10-21-2018		
Printed Name Alkesh Shah			
Signed	Date		
Printed Name			

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

SHEET #	SHEET NAME
GENERAL	COVER, SHEET INDEX, PROJECT LOCATION
G-001	BUILDING CONTEXT DIAGRAM, RALEIGH CITY FORMS
G-002	APPEARANCE COMMISSION APPROVAL
G-003	
DEMOLITION	EXISTING PLANS AND EXTERIOR ELEVATIONS
D-101	
ARCHITECTURE	SITE PLAN
A-100	TERRACE ROOF PLAN
A-103	EXTERIOR ELEVATIONS
A-201	TREE PROTECTION DETAILS
A-501	
CIVIL	PUBLIC UTILITIES / CIVIL SITE PLAN
C-30	PUBLIC UTILITIES / CIVIL DETAILS SHEET
D-1.0	
PLUMBING	FLOOR PLAN
P.1.1	



### VICINITY MAP

SCALE: 1"=500'



### PROJECT LOCATION

SCALE: 1"=50'

## LOUIS CHERRY ARCHITECTURE

LOUIS CHERRY, FAIA  
 222 N. BLOODWORTH STREET,  
 RALEIGH, NORTH CAROLINA 27601  
 919.971.2299  
 LOUIS@LOUISCHERRY.COM



LOUIS CHERRY ARCHITECTURE  
 Registered Architectural Corporation  
 North Carolina

### OWNER

ALKESH SHAH  
 PO BOX 10403, RALEIGH, 27605  
 ALKESHSHAH99@GMAIL.COM  
 919-605-7036

### STRUCTURAL ENGINEER

LYSAGHT & ASSOCIATES  
 120 ST. MARY'S STREET,  
 RALEIGH, NC 27605  
 chuck@lysaghtassociates.com | 919-833-0495

### PME ENGINEER

DCG, PLLC  
 4671 WESTERN BLVD, RALEIGH,  
 NC 27606  
 919-859-8183 | greg@dcgraleigh.com

### CIVIL ENGINEER

-  
 -  
 -

### TENANT

SCOTT CRAWFORD  
 -

919-818-4974 | scrawford1340@gmail.com

## JOLIE

620 N PERSON STREET,  
 SUITE 101, RALEIGH,  
 NC 27604

SHEET ISSUE 12/13/18

REISSUE	DATE
1 ASR REVISION - 1	12-20-18
2 ASR REVISION - 2	01-11-19

- ASR REVISION - 1  
 1. PROVIDE CASE FILE SR-103-18 AND TRANSACTION # 575148 ON COVER SHEET  
 2. REVISE ASR APPLICATION PG. 1 +2

PHASE: ADMINISTRATIVE SITE REVIEW

DRAWN BY: BB

APPROVED BY: LC

PROJECT NO.: 1806

COVER, SHEET INDEX, PROJECT LOCATION

## G-001

# Stormwater Express Permitting Data Form



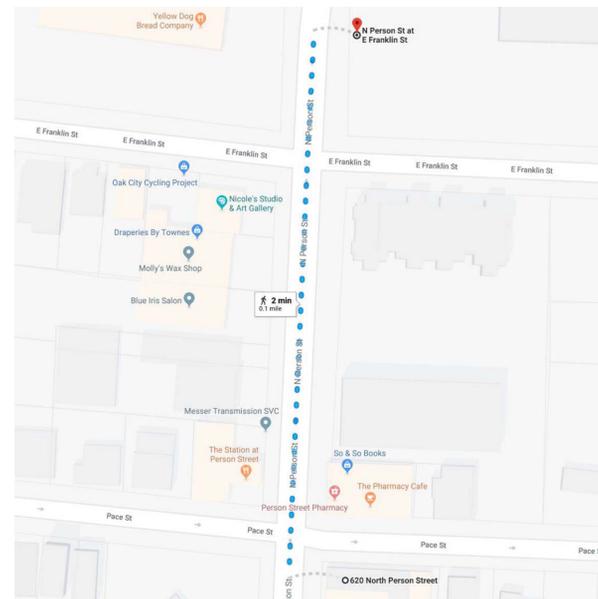
Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | cfax 919-996-1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

This form must accompany all Express Permit Applications and is required one week prior to the date of your Express Review.

Project Information	
Name of project	Jolie
Transaction Number	564277
Scheduled Express Review date:	08/16/2018 time: 9am
Is new impervious surface being added?	<input type="checkbox"/> yes <input checked="" type="checkbox"/> no Amount <input type="checkbox"/> square feet or <input type="checkbox"/> acres
* If answered Yes, Stormwater plan sheets and all quantity and quality calculations must be submitted to the Express Coordinator one week prior to the date of your Express Review.	
Will there be land disturbance?	<input type="checkbox"/> yes <input checked="" type="checkbox"/> no Amount <input type="checkbox"/> square feet or <input type="checkbox"/> acres
If disturbing over 12,000 square feet of ground (including demolition of existing impervious areas), Grading and erosion and sediment control plans sheets must be submitted to the Express Coordinator one week prior to the date of your Express Review.	
Is grading proposed within the Public Right-Of-Way?	<input type="checkbox"/> yes <input checked="" type="checkbox"/> no Is there a shared BMP facility? <input type="checkbox"/> yes <input checked="" type="checkbox"/> no
If answered Yes to either above, have Infrastructure Construction Plans been approved? <input type="checkbox"/> yes <input checked="" type="checkbox"/> no	
Have any previous permits been issued for this site?	<input checked="" type="checkbox"/> yes <input type="checkbox"/> no
List all approved transaction or permit numbers:	458720
Additional Comments:	
Any time reviewing plans prior to the day of the Express Review will be added to the time recorded on the day of the Express Review.	
Note: Incomplete data submittal will affect staff's ability to efficiently review and approve permits.	
If you have questions, please contact Lisa Booze at 919-996-3518 or lisa.booze@raleighnc.gov	

### TRANSIT INFRASTRUCTURE REQUIREMENT:

- ACCORDING TO THE UDO SECTION 8.11.1.A - IN ORDER TO MAINTAIN AND IMPROVE ACCESS TO THE LOCAL AND REGIONAL TRANSIT SYSTEMS, DEVELOPMENT SUBJECT TO SITE PLAN REVIEW SEC. 10.2.8 AND LOCATED ALONG EXISTING OR PLANNED TRANSIT ROUTES IS REQUIRED TO PROVIDE FOR NEW TRANSIT AMENITY INFRASTRUCTURE. THE REQUIRED IMPROVEMENTS MAY INCLUDE A TRANSIT EASEMENT, SHELTER, BENCH OR OTHER AMENITIES AS DESCRIBED IN SEC. 8.11.3.
- EXCEPTION:** PER UDO SECTION 8.11.2.B - A NEW TRANSIT STOP SHALL NOT BE REQUIRED IF AN EXISTING TRANSIT STOP IS WITHIN A WALKING DISTANCE OF 1,320 FEET AND LOCATED ON THE SAME SIDE OF THE STREET WITH THE SAME FACILITIES THAT A NEW TRANSIT STOP WOULD BE REQUIRED TO PROVIDE. THIS EXEMPTION SHALL NOT BE ALLOWED FOR SITE PLANS THAT SERVE A HOSPITAL, SENIOR HOUSING, LIFE CARE COMMUNITY OF CONGREGATE CARE FACILITY.
- THERE IS A BUS STOP LOCATED ON N. PERSON STREET AT E. FRANKLIN STREET ON GORALEIGH ROUTE 1 - CAPITAL. IT IS LOCATED ON THE SAME SIDE OF THE STREET AS 620 N. PERSON STREET AND IS LOCATED 528 FEET AWAY. PLEASE REFERENCE IMAGES BELOW.



BUS STOP MAP



BUS STOP AT N. PERSON STREET AND E. FRANKLIN STREET

### PARKING CALCULATIONS 620 N. PERSON ST. ZONED NX-3-SH

#### 1. EXISTING USE: BARBERSHOP

PER UDO SECTION 7.1.2  
COMMERCIAL - PERSONAL SERVICE SPACE  
\*PERSONAL SERVICE REQUIRES 1 SPACE PER 400 S.F. GROSS FLOOR AREA.

AREA CALCULATION: GROUND: 1,360 GSF  
TOTAL: 1360 / 400 = 3.4 = 3 SPACES

#### 2. NEW USE: JOLIE RESTAURANT/BAR

PER UDO SECTION 7.1.2  
COMMERCIAL - RESTAURANT/BAR  
\*1 SPACE PER 150 SF OF GROSS FLOOR AREA OR 1 SPACE PER 5 SEATS, WHICHEVER IS GREATER\*

AREA CALCULATION: GROUND: 1,360 GSF  
TOTAL: 1360 / 150 GSF = 9.08 = 9 SPACES

SEATING CALCULATION: GROUND: 30  
ROOF TERRACE: 28  
TOTAL: 58 / 5 SEATS = 11.6 = 12 SPACES (GREATER)

#### PER UDO SECTION 7.1.3.C.5.

\*RESTAURANTS (REGARDLESS OF SIZE) WITHIN 100 FEET OF A RESIDENTIAL DISTRICT, WITH HOURS OF OPERATION EXTENDING PAST 11PM, MUST PROVIDE PARKING FOR THE ENTIRE FLOOR AREA DEVOTED TO THE RESTAURANT AT A RATE OF 1 PARKING SPACE PER 150 SQUARE FEET OF GROSS FLOOR AREA OR 1 SPACE PER 5 SEATS, WHICHEVER IS GREATER.\*

THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SEC. 7.1.3.C.5 BECAUSE THE OPERATING HOURS DO NOT EXCEED 11PM.

#### 3. DETERMINING PARKING INCREASE

FOR AN ASR, ALL GROSS FLOOR AREA MUST BE ACCOUNTED FOR ON THE LOT, AS A SITE IS DEFINED AS "ANY LOT OR GROUP OF CONTIGUOUS LOTS." (UDO 1.5.1.A)

\*PARKING EXEMPTIONS ARE NOT CONSIDERED WHEN DETERMINING PARKING INCREASES FOR AN ADMINISTRATIVE SITE REVIEW

PARKING CALCS - PER UDO SEC. 7.1.2.C.		
TENANT	EXIST REQUIRED	NEW REQUIRED
620 N. PERSON	3	12
618 N. PERSON	17	17
300 PACE	3	3
TOTAL	23	32
+ 9 PARKING SPACES OR 40% INCREASE TRIGGERS ADMINISTRATIVE SITE REVIEW AND 7.1.1.C		

PARKING CALCS - WITH EXEMPTIONS PER UDO SEC. 7.1.3.C.3		
TENANT	EXIST REQUIRED	NEW REQUIRED
620 N. PERSON	3	3
618 N. PERSON	6	6
300 PACE	2	2
TOTAL	10	10
+ NO INCREASE IN PARKING		

#### 4. PARKING EXEMPTIONS

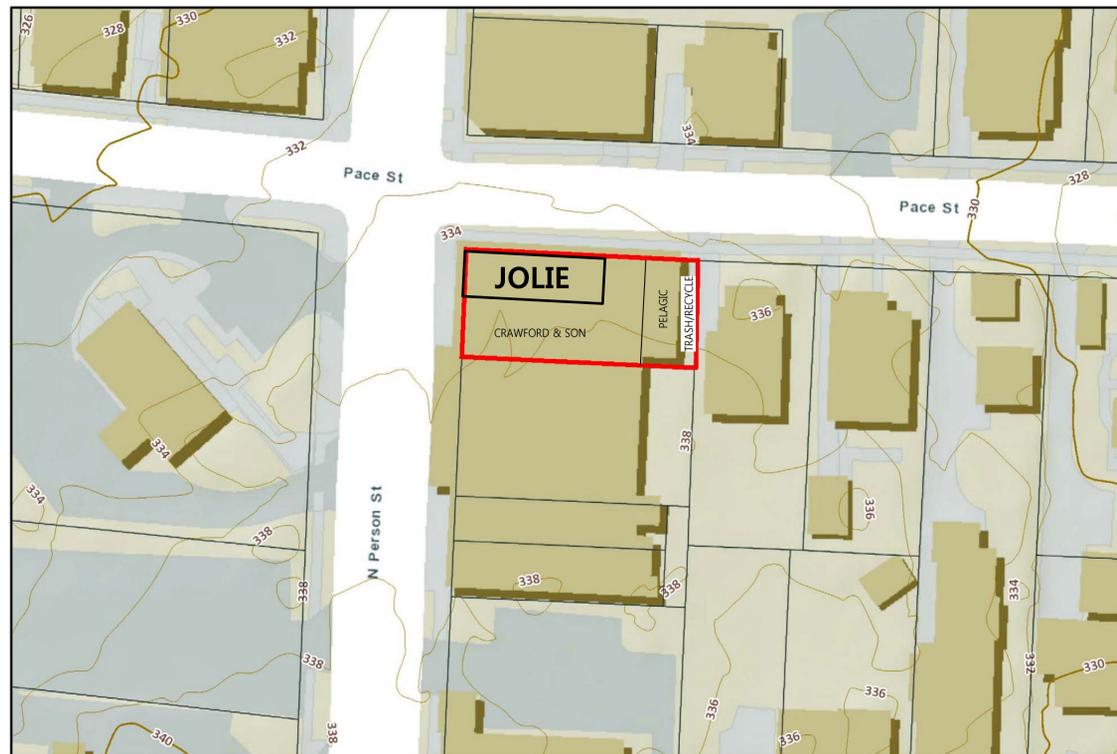
PER UDO 7.1.3.C.3 URBAN FRONTAGE (-GR, -UL, -UG, -SH)  
\*ONE PARKING SPACE PER 500 SQUARE FEET IS REQUIRED FOR ALL NONRESIDENTIAL GROSS FLOOR AREA OR THE MINIMUM NUMBER OF PARKING SPACES SET FORTH IN SEC. 7.1.2.C, WHICHEVER IS LESS.\*

CALCULATION: 620 N. PERSON STREET (A-2) = 1,360 GSF / 500 SF = 2.72 = 3 SPACES  
618 N. PERSON STREET (A-2) = 2,560 GSF / 500 SF = 5.09 = 6 SPACES  
300 PACE STREET (M) = 880 GSF / 500 SF = 1.60 = 2 SPACES

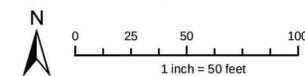
#### PER UDO SEC. 7.1.1.C.3

\*WHERE REQUIRED PARKING SPACES FOR THE NEW USE EXCEED 125% OF THE REQUIRED PARKING SPACES FOR THE EXISTING USE, ADDITIONAL PARKING SHALL ONLY BE REQUIRED FOR THE DIFFERENCE BETWEEN THE CURRENT PARKING SPACES REQUIRED AND THE PARKING SPACES REQUIRED FOR THE NEW USE.\*

ONCE THE EXEMPTIONS ARE APPLIED TO THE PARKING CALCULATIONS, THE DIFFERENCE BETWEEN THE NUMBER OF REQUIRED EXISTING AND NEW PARKING IS 0 PARKING SPACES



BUILDING CONTEXT DIAGRAM



**Disclaimer**  
Maps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.

# LOUIS CHERRY ARCHITECTURE

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222 N. BLOODWORTH STREET,  
RALEIGH, NORTH CAROLINA 27601  
919.971.2299  
LOUIS@LOUISCHERRY.COM



LOUIS CHERRY ARCHITECTURE  
Registered Architectural Corporation  
North Carolina

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ALKESHSHAH99@GMAIL.COM  
919-605-7036

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chuck@lysaghtassociates.com | 919-833-0495

#### PME ENGINEER

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#### CIVIL ENGINEER

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SCOTT CRAWFORD  
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# JOLIE

620 N PERSON STREET,  
SUITE 101, RALEIGH,  
NC 27604

SHEET ISSUE 12/13/18

REISSUE 1 ASR REVISION - 1 12-20-18

PHASE: ADMINSTRATIVE SITE REVIEW

DRAWN BY: BB

APPROVED BY: LC

PROJECT NO.: 1806

BUILDING CONTEXT DIAGRAM, RALEIGH CITY FORMS

G-002

### Responsibility for Utility



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | cfax 919-996-1831

Please Print	
In order to obtain permits for the address below, the City of Raleigh requires the following information:	
Date 8/8/18	Transaction Number 564277
Property Address 620 N Person St Raleigh, NC 27604	Suite
Who will pay for water bill?	<input type="checkbox"/> Owner <input checked="" type="checkbox"/> Tenant
Payor Name Scott Crawford	
Payor Phone # 919-818-4974	
Existing Utility Water and Sewer	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If no, complete below:	
Type of service	<input type="checkbox"/> Water <input type="checkbox"/> Sewer <input type="checkbox"/> Irrigation
Water Tap Size	
Irrigation Tap Size	
Sewer Tap Size	
Water Meter Size	
Irrigation Meter Size	
Tap to be installed by (contractor)	
Owner/Agent Signature	Date 8/8/18

- GENERAL DEMOLITION NOTES**
- A GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL GENERAL CONSTRUCTION DEMOLITION. MECHANICAL CONTRACTOR IS RESPONSIBLE FOR MECHANICAL DEMOLITION. PLUMBING CONTRACTOR IS RESPONSIBLE FOR PLUMBING DEMOLITION. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ELECTRICAL DEMOLITION, UNLESS OTHERWISE NOTED.
  - B ALL TRENCHING, CORING, ETC. IS TO BE DONE BY THE CONTRACTOR OF THE RESPECTIVE TRADE INVOLVED. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR HIS OWN NEW PENETRATIONS, AND FOR PATCHING ANY NEW HOLES HE MAKES.
  - C THE TERM "REMOVED" SHALL BE DEFINED TO MEAN REMOVE AND DISPOSE OF OFFSITE IN A LEGAL, ENVIRONMENTALLY RESPONSIBLE MANNER.
  - D WHERE WALLS, FLOORS, EQUIPMENT, ETC. ARE NOTED AS BEING REMOVED AND THIS CREATES VOID OR DAMAGE IN EXISTING WALLS OR FLOORS, GENERAL CONTRACTOR IS RESPONSIBLE FOR REPAIRING WALL OR FLOOR WITH SIMILAR MATERIALS AND FINISHES AS ADJACENT CONSTRUCTION AS REQUIRED TO RESTORE FIRE RATINGS AND RECEIVE NEW FINISHES AS INDICATED ON FINISH PLANS.
  - E EACH CONTRACTOR IS RESPONSIBLE FOR RELOCATING OR REPLACING HIS UTILITIES LOCATED WITHIN EXISTING CONSTRUCTION THAT SHALL BE REMOVED. (I.E. PLUMBING CONTRACTOR IS RESPONSIBLE FOR RELOCATING PLUMBING VENTS AND ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR RELOCATING DEVICES, RACEWAY, CONDUIT, ETC.)
  - F LEAVE FLOORS, CEILINGS, AND OTHER WALLS WITH A SMOOTH AND FINISHED APPEARANCE WHERE WALLS HAVE BEEN REMOVED.
  - G THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR SAW CUTTING ANY CONCRETE FOR NEW PLUMBING AND REPAIRING THE FLOOR THEREAFTER.
  - H ALL PIPING AND CONDUIT SHALL BE CAPPED BELOW FLOOR SURFACES OR INSIDE WALLS. GENERAL CONTRACTOR SHALL PATCH ALL EXPOSED AREAS TO PROVIDE SMOOTH LEVEL SURFACES WITH NO PROTRUSIONS.
  - I EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTING WORK TO MAINTAIN THE CONDITION IN WHICH IT WAS FOUND.
  - J REMOVE ALL EXISTING WINDOW BLINDS, UNLESS OTHERWISE NOTED.
  - K NOISE AND DEBRIS FROM DEMOLITION WORK MUST BE CONTROLLED. TEMPORARY BARRIERS MUST BE INSTALLED TO COMPLETELY ISOLATE THE NOISE, DUST, AND DEBRIS FROM DEMOLITION ACTIVITIES TO PREVENT THEM FROM AFFECTING OCCUPIED AREAS.

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**JOLIE**

620 N PERSON STREET,  
 SUITE 101, RALEIGH,  
 NC 27604

SHEET ISSUE 10/31/2018  
 REISSUE

PHASE: ADMINISTRATIVE SITE REVIEW

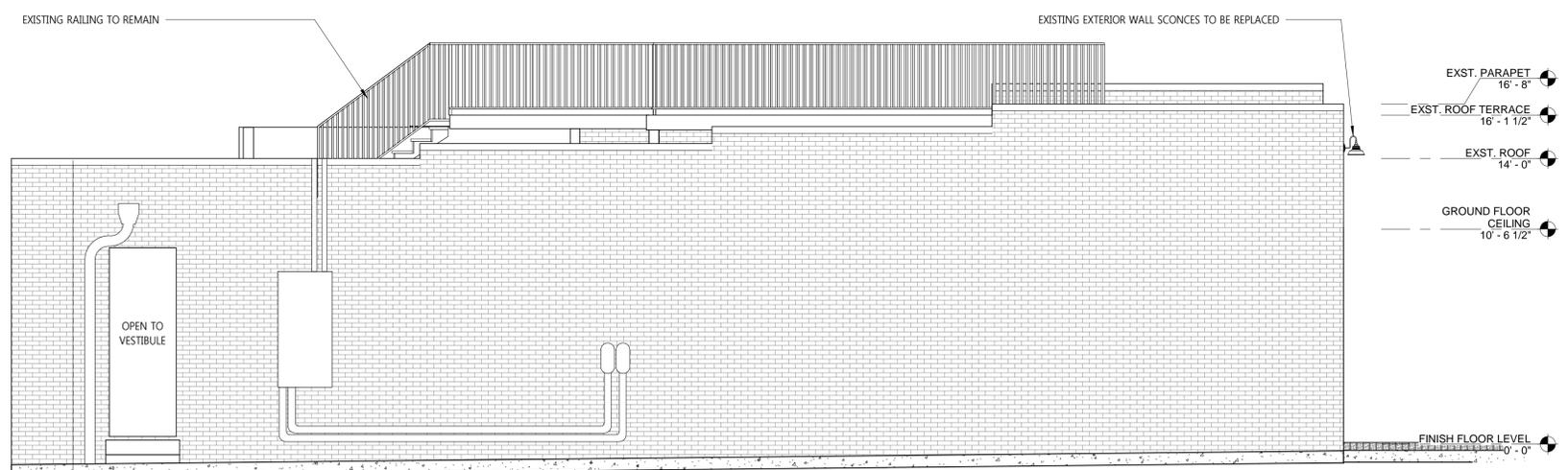
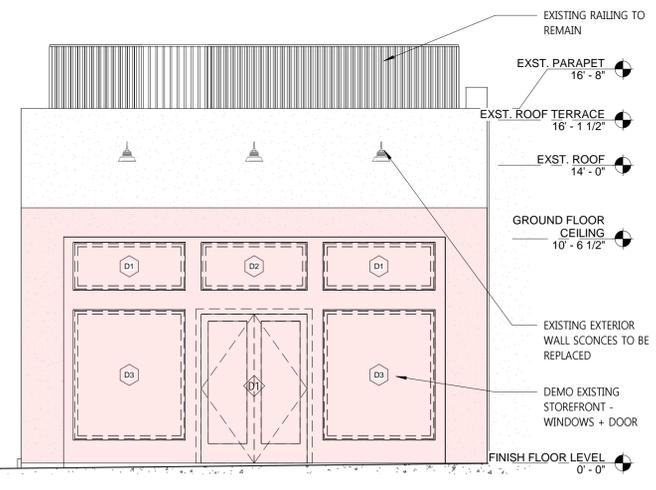
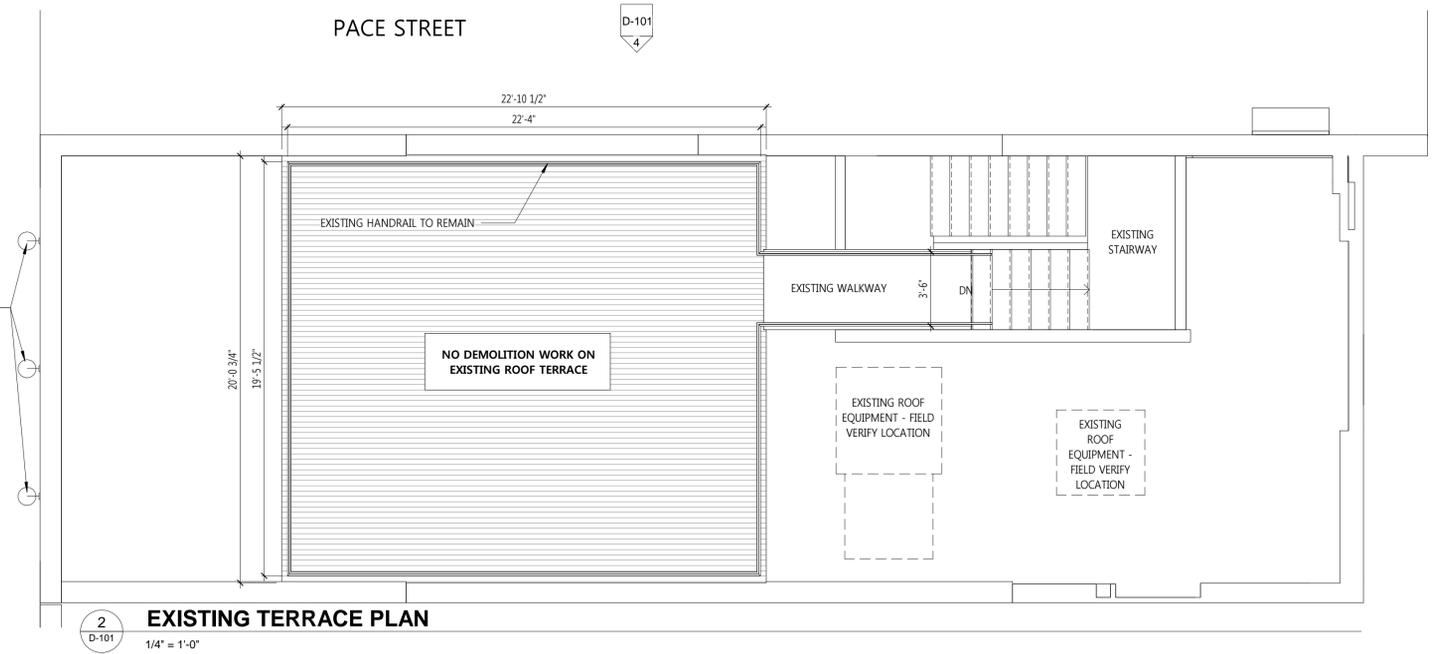
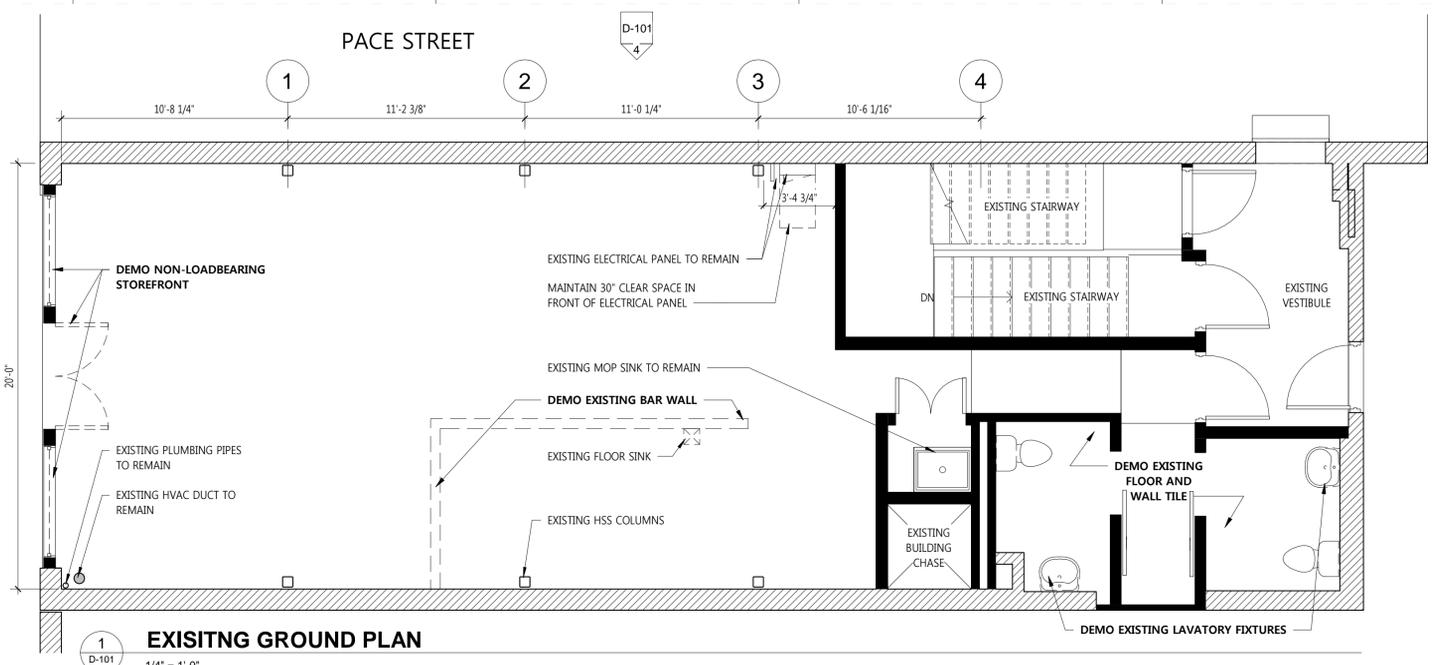
DRAWN BY: BB

APPROVED BY: LC

PROJECT NO.: 1806

EXISTING PLANS AND EXTERIOR ELEVATIONS

**D-101**



**3**  
 D-101  
 1/4" = 1'-0"

**4**  
 D-101  
 1/4" = 1'-0"

**Boivin, Ryan**  
to Justin, re, Louis  
Good Morning Alison,

Apologies for the delayed response. City staff has confirmed that publicly provided infrastructure cannot be used to meet private development requirements established by the UDO. This development plan will need to provide 4 short-term bike racks, meeting the design standards of UDO 7.1.8.

In the discussions concerning this issue, it was also confirmed that bike racks installed for private development in the r/w on a City maintained street, that meet the City's standard detail for a bike U-rack, do not need to obtain an encroachment.

Let me know if you have any additional questions concerning this matter.

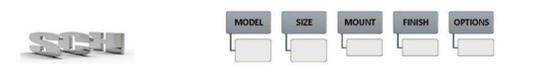
Respectfully,  
Ryan

**Ryan Boivin**  
Senior Planner [Team 2]  
City of Raleigh Development Services  
Phone: 919-996-2601  
Email: ryan.boivin@raleighnc.com  
One Exchange Plaza, 5th Floor  
Raleigh, NC 27601

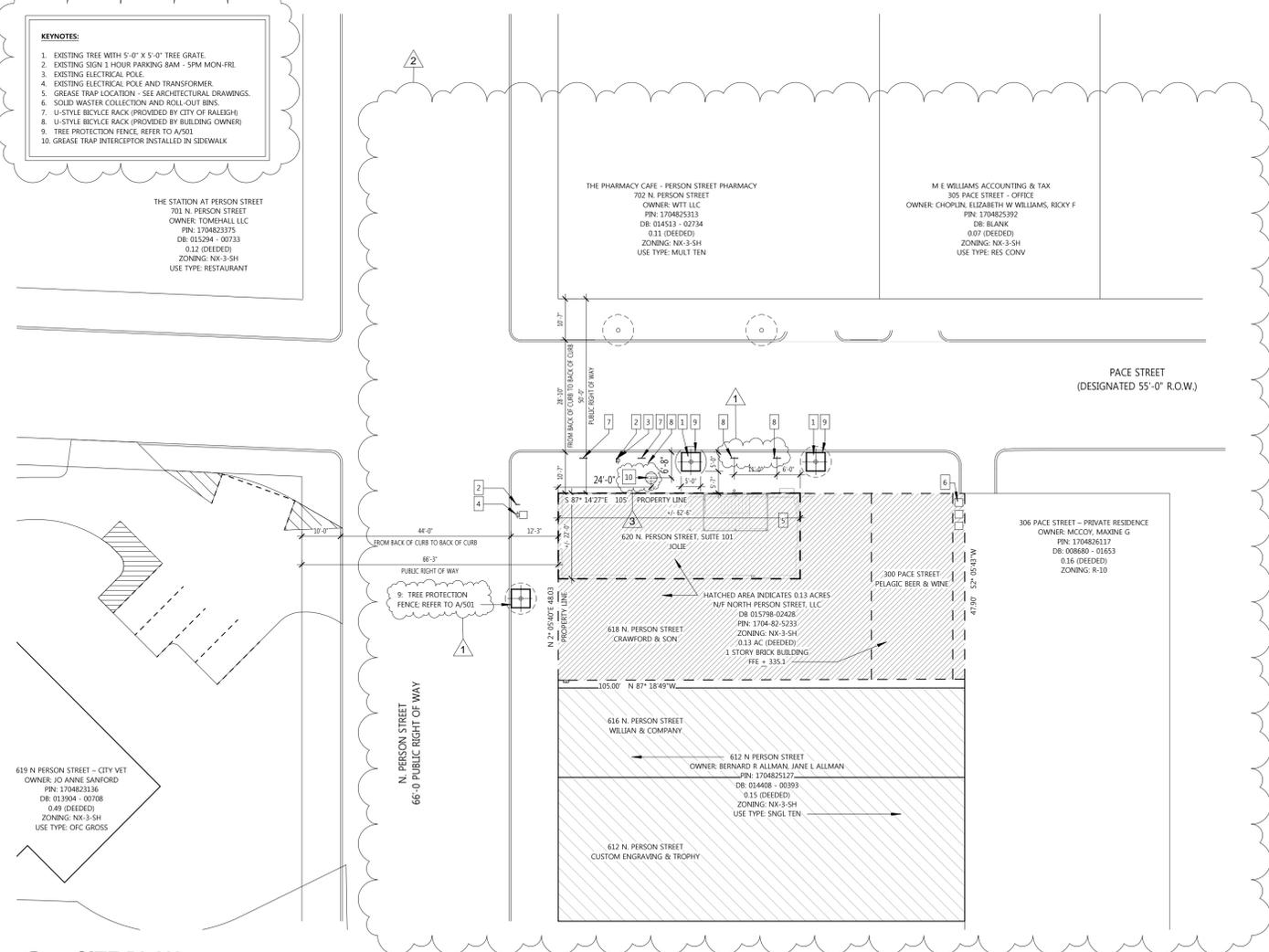


**INVERTED U BIKE RACK: SU**

- MODEL**
- Inverted U: SU Series Bike Rack, 9 3/8" Radius Bend, 2 Bike Capacity
- SIZE & MATERIAL**
- Inverted SU 20 SERIES 2" I.D., Schedule 40 steel pipe (2 3/8" O.D.) Designate: SU-20
  - Inverted SU 15 SERIES 1 1/2" I.D., Schedule 40 Steel Pipe (1.9" O.D.) Designate: SU-15
  - Inverted SUSG 2 SERIES 2" square steel tube. Designate: -SUSG,2-
- MOUNTING OPTIONS**
- Embedded (In-Ground mount) Designate: -E-
  - Flanged (surface mount) Designate: -F-
- FINISH OPTIONS**
- Hot-dipped galvanized Designate: -G-
  - Polyester powder coated Designate: -P-
  - Thermoplastic powder coat Designate: -T-
  - Stainless steel with a #4 satin finish, Standard 304 Stainless Designate: -S-
- OTHER OPTIONS**
- Optional cross bar Designate: -CB-
- DIMENSIONS** 36" x 21" W



- KEYNOTES:**
- EXISTING TREE WITH 5'-0" X 5'-0" TREE GRATE.
  - EXISTING SIGN HOUR PARKING 8AM - 5PM MON-FRI.
  - EXISTING ELECTRICAL POLE.
  - EXISTING ELECTRICAL POLE AND TRANSFORMER.
  - GREASE TRAP LOCATION - SEE ARCHITECTURAL DRAWINGS.
  - SOLID WASTE COLLECTION AND ROLL-OUT BINS.
  - U-STYLE BICYCLE RACK (PROVIDED BY CITY OF RALEIGH)
  - U-STYLE BICYCLE RACK (PROVIDED BY BUILDING OWNER)
  - TREE PROTECTION FENCE, REFER TO A/501
  - GREASE TRAP INTERCEPTOR INSTALLED IN SIDEWALK



**SITE PLAN**  
1  
A-100  
1" = 20'-0"

**SITE PLAN NOTES**

- REFERENCE ARCHITECTURAL PLANS FOR DETAILS ON EXISTING SINGLE-STORY MASONRY BUILDING.
- GREASE TRAP TO BE INSTALLED IN EXISTING EXTERIOR VESTIBULE.
- CITY OF RALEIGH TREE CONSERVATION REGULATIONS DO NOT APPLY TO THIS PROJECT PER U.D.O. SEC. 91.2. THIS PROPERTY IS LESS THAN 2 ACRES.
- LOCATED IN NK-3-SH ZONE.
- THERE IS NO GRADING TAKING PLACE ON THE SITE.
- THERE IS NO BUILDING FOOTPRINT EXPANSION.



JOLIE - PERSON STREET FACADE



JOLIE - INTERSECTION OF PERSON AND PACE STREET



EXISTING PERSON STREET FACADE



EXISTING INTERSECTION OF PERSON AND PACE STREET

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SHEET ISSUE 12/13/18

REISSUE		
1	ASR REVISION - 1	12-20-18
2	ASR REVISION - 2	01-11-19
3	ASR REVISION - 3 (GREASE TRAP)	02-25-19

(01/09/19) ASR REVISION - 2  
- REMOVE ALL REFERENCES TO UTILITIES ON ARCHITECTURE SITE PLAN

(02/25/19) ASR REVISION - 3  
- ADD GREASE TRAP INTERCEPTOR TO PUBLIC RIGHT OF WAY AND SHOW LOCATION ON ARCH SITE PLAN

PHASE:

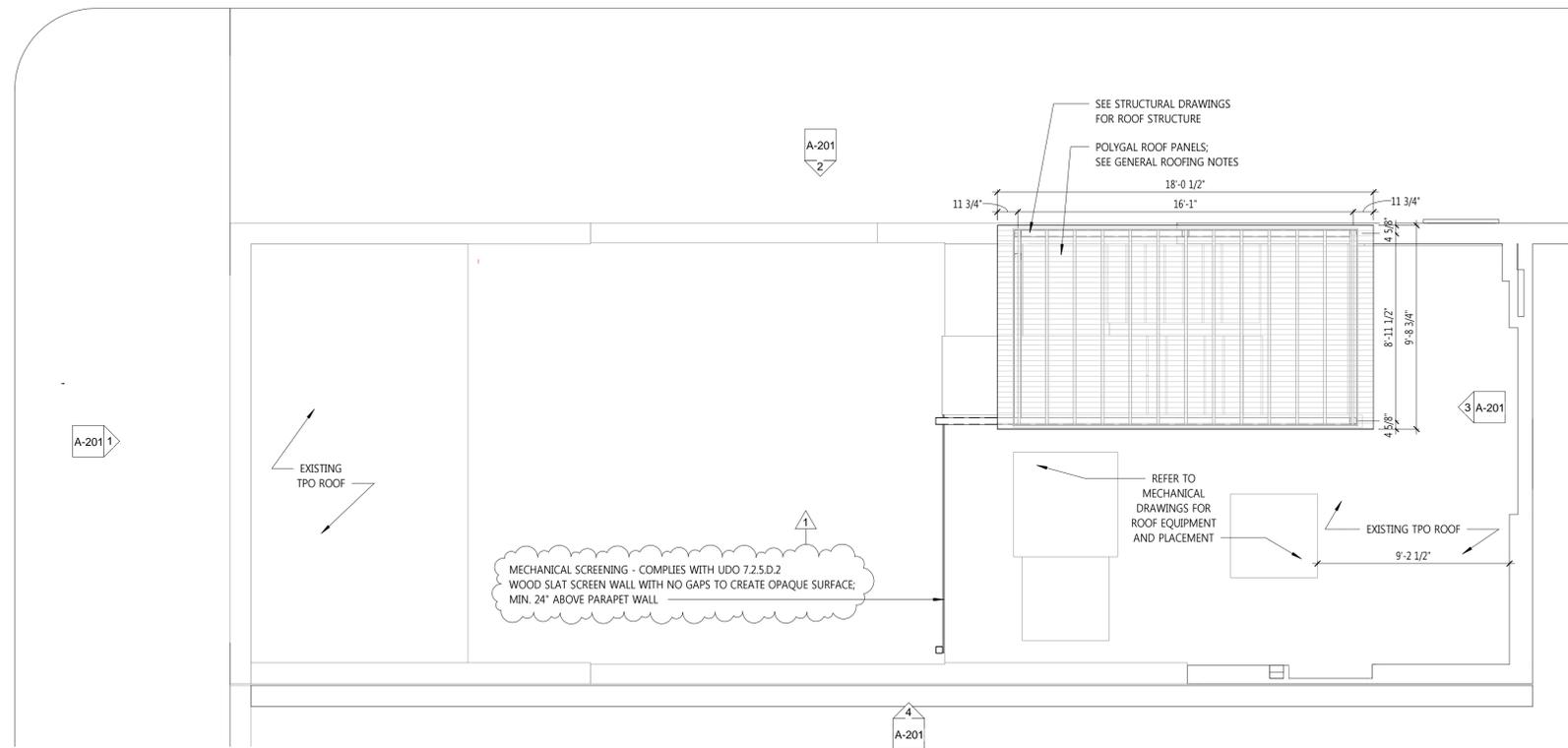
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APPROVED BY:

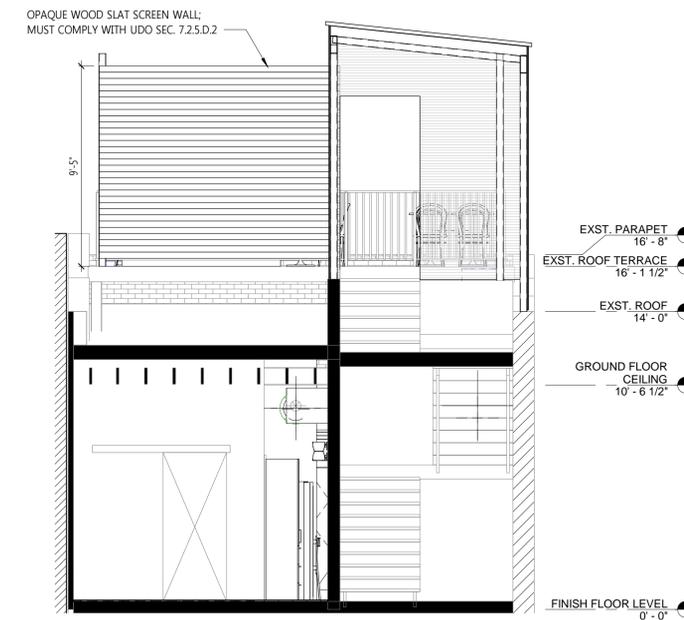
PROJECT NO.: 1806

SITE PLAN

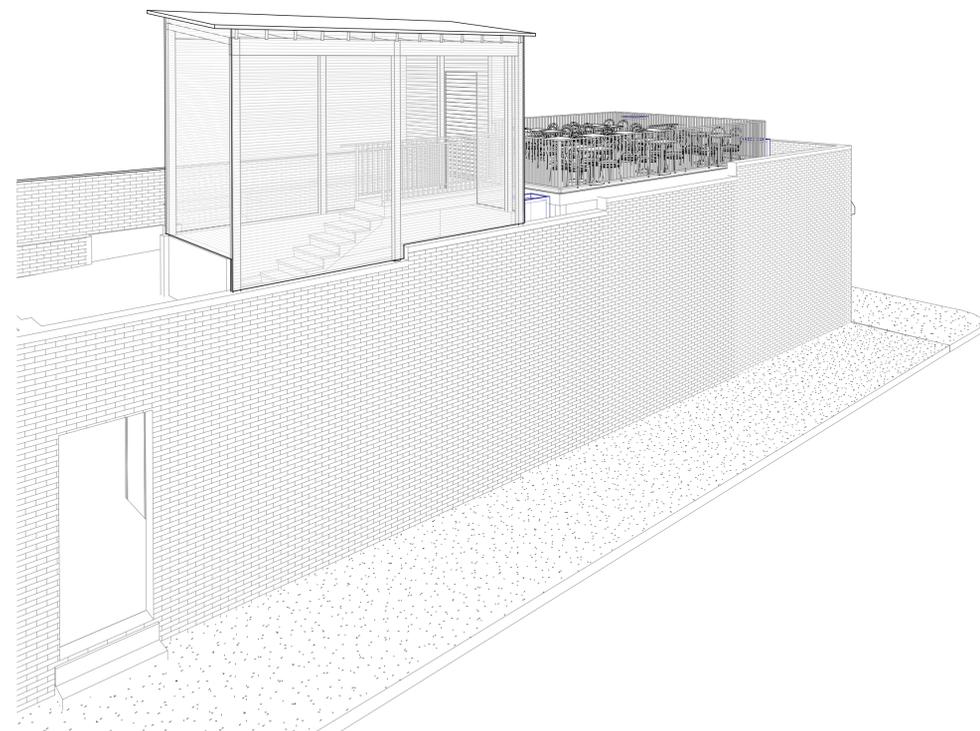
**A-100**



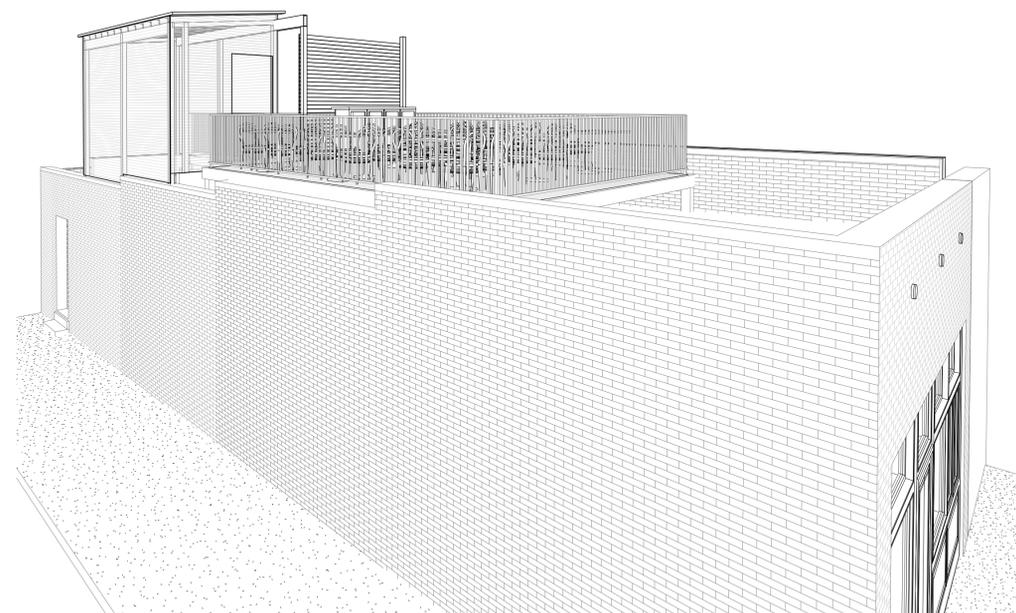
1  
A-103  
TERRACE ROOF PLAN  
1/4" = 1'-0"



2  
A-103  
NORTH - SOUTH BLDG SECTION 3  
1/4" = 1'-0"



3  
A-103  
PERSPECTIVE FROM PACE STREET



4  
A-103  
PERSPECTIVE FROM CORNER OF PERSON - PACE STREET

**GENERAL ROOFING NOTES**

- A THESE GENERAL NOTES APPLY TO ROOF DRAWINGS.
- B VERIFY SIZE, LOCATION AND NUMBER OF ROOF PENETRATIONS INCLUDING VENTS, PIPES, CURBS, ROOF DRAINS, CONDUITS, ETC. PROVIDE NEW FLASHING AND SEAL PENETRATIONS WHETHER OR NOT INDICATED ON THE DRAWINGS.
- C COMPLETE WORK ABOVE ROOF, SUCH AS MASONRY, WELDING, MASONRY RESTORATION, ETC., PRIOR TO STARTING ROOFING WORK.
- D VERIFY AND MAINTAIN ROOF SLOPES AND DRAINAGE PATTERNS. TEST FOR AND CORRECT ANY PONDING CONDITIONS.
- E REPAIR AND REPLACE ROOFING SYSTEM OR STRUCTURE DAMAGED BY IMPROPER STORAGE, CONSTRUCTION ACTIVITIES, OR LACK OF ADEQUATE TEMPORARY PROTECTION. THIS ALSO INCLUDES INTERIOR DAMAGE TO FINISHES, EQUIPMENT, FURNISHINGS, ETC., RESULTING FROM LEAKS.
- F NEW BLOCKING SHALL BE PRESERVATIVE-TREATED WOOD.
- G PAINT EXTERIOR LADDERS, BRACKETS, ETC., UNLESS NOTED OTHERWISE.
- H CAP FASTENERS THAT PENETRATE ROOF DECK IN AREAS NOT CONCEALED BY CEILING WITH WIRE NUTS OR OTHER MEANS ACCEPTABLE TO ARCHITECT UNLESS OTHERWISE INDICATED. AREAS SUCH AS JANITOR CLOSETS, STORAGE ROOMS, MECHANICAL AND ELECTRICAL EQUIPMENT ROOMS, ETC., ARE EXEMPT FROM THIS REQUIREMENT UNLESS OTHERWISE INDICATED.
- I REFER TO WALL SECTIONS NOTED ON ROOF PLANS FOR INFORMATION.
- J ALL DIMENSIONS TO BE FIELD VERIFIED.
- K POLY GAL ROOF PANEL SPEC:  
MANUFACTURER: PLAZIT POLY GAL STANDARD GRADE  
SIZE: 16MM THICKNESS X 72 INCH WIDTH X 26'-6" LENGTH.  
COLOR: CLEAR
- L ALL MECHANICAL EQUIPMENT ON ROOF MUST BE SCREENED IN ACCORDANCE TO UDO SEC. 7.2.5.D.

**LOUIS CHERRY ARCHITECTURE**

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**JOLIE**

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SHEET ISSUE 12/13/18

REISSUE

1 ASR REVISION - 1 12-20-18

ASR REVISIONS -  
1. ADD DETAILED NOTE TO SPECIFY MECHANICAL EQUIPMENT SCREENING

PHASE: ADMINISTRATIVE SITE REVIEW

DRAWN BY: BB

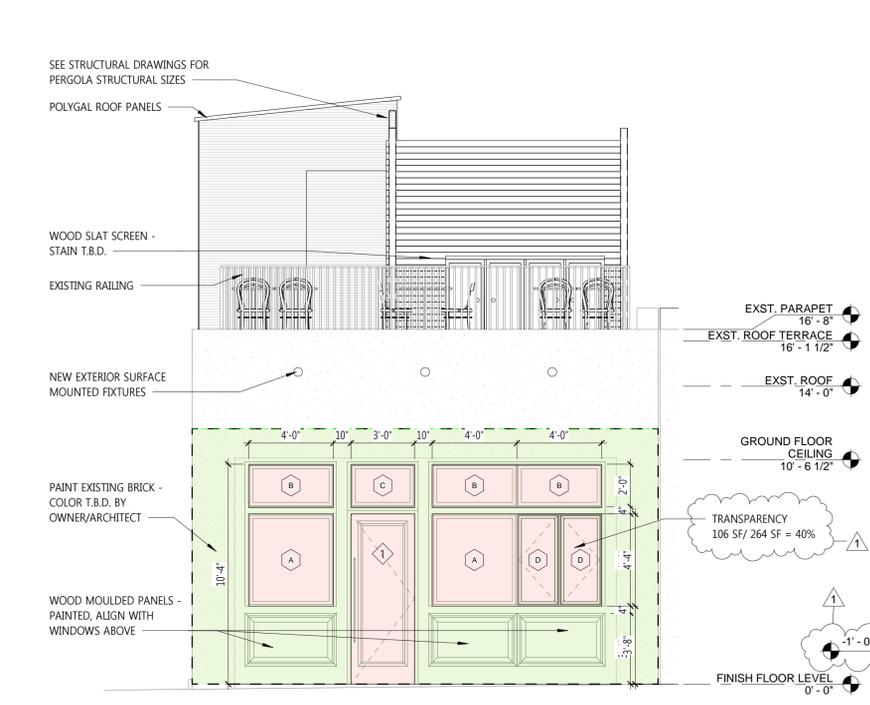
APPROVED BY: LC

PROJECT NO.: 1806

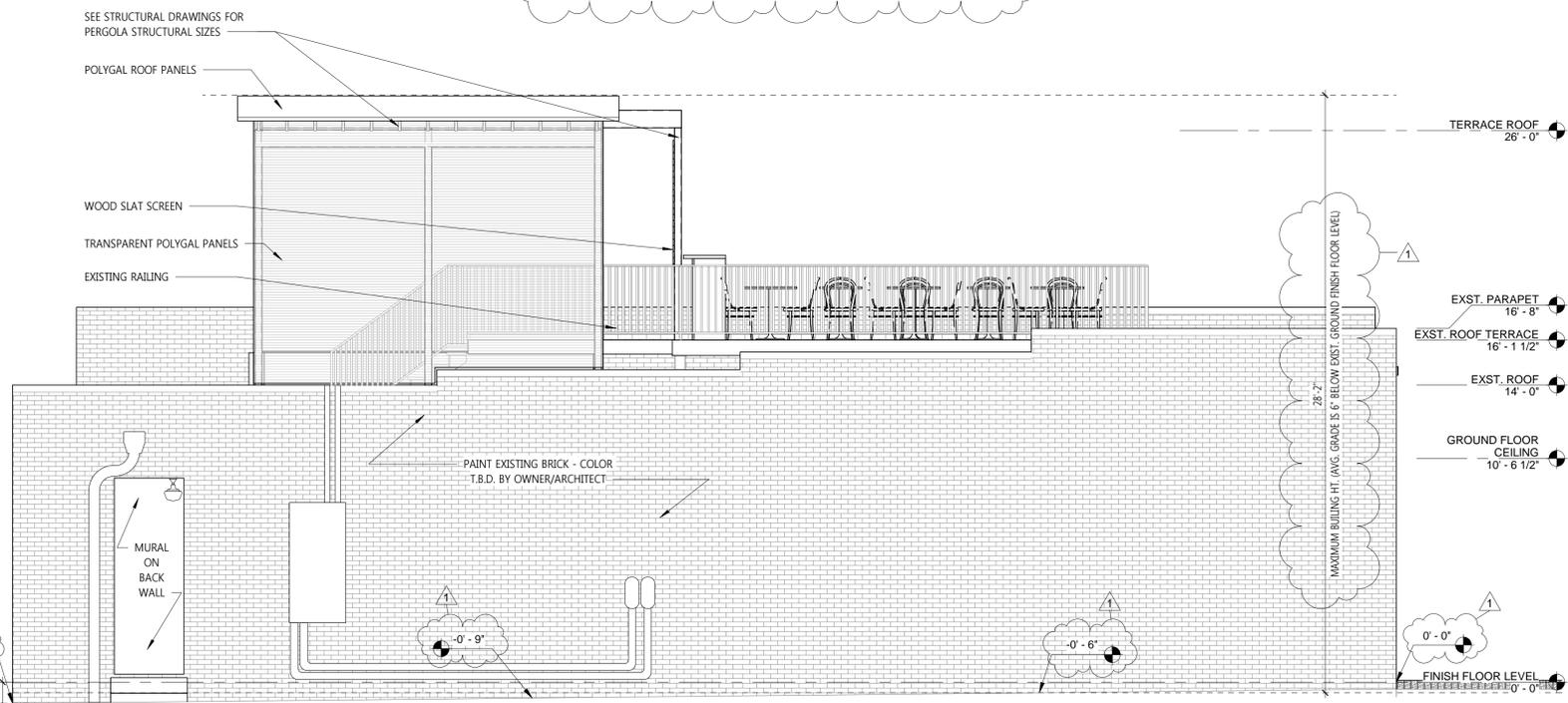
TERRACE ROOF PLAN

**EXTERIOR ELEVATION NOTES**

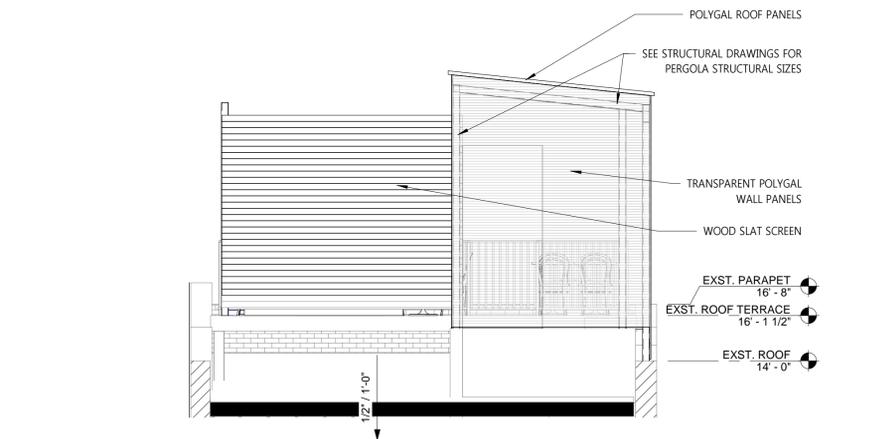
1. ALL HEIGHTS TO BE FIELD VERIFIED.
2. ALL BRICK TO BE PAINTED, COLOR TO BE DETERMINED BY OWNER/ARCHITECT.
3. REFER TO STRUCTURAL DRAWINGS FOR ROOF TERRACE STRUCTURE.
4. ALL EXISTING RAILING TO REMAIN.
5. REPAIR ALL BRICK WORK AFTER INSTALLATION OF NEW STOREFRONT.
6. **PER RALEIGH UDO SECTION 1.5.9.B:**  
THE MINIMUM PERCENTAGE OF WINDOWS AND DOORS THAT MUST COVER A GROUND STORY FACADE IS MEASURED BETWEEN 0 AND 12 FEET ABOVE THE ADJACENT SIDEWALK. MORE THAN 50% OF THE REQUIRED TRANSPARENCY MUST BE LOCATED BETWEEN 3 AND 8 FEET OF THE BUILDING FACADE.
7. **PER RALEIGH UDO SECTION 1.5.9.B.3:**  
IN A MIXED USE BUILDING, OR GENERAL BUILDING WHERE AN URBAN FRONTAGE IS APPLIED, A MINIMUM OF 60% OF THE STREET-FACING, STREET-LEVEL WINDOW PANE SURFACE AREA MUST ALLOW VIEWS INTO THE GROUND STORY USE FOR A DEPTH OF AT LEAST 8 FEET. WINDOWS SHALL NOT BE MADE OPAQUE BY NON-OPERABLE WINDOW TREATMENTS (EXCEPT CURTAINS, BLINDS OR SHADES WITH THE CONDITIONED SPACE).
8. **PER RALEIGH UDO SECTION 3.2.5.F:**  
A BUILDING IN A NX- ZONE MUST HAVE A % TRANSPARENCY AT THE GROUND STORY.
9. **PER RALEIGH UDO SECTION 1.5.9.C:**  
THE PLANNING AND DEVELOPMENT OFFICER MAY IN ACCORDANCE WITH SEC. 10.2.17 REDUCE THE REQUIRED TRANSPARENCY, SUBJECT TO ALL OF THE FOLLOWING FINDINGS:
  1. THE APPROVED ALTERNATE MEETS THE INTENT OF THE TRANSPARENCY REQUIREMENTS;
  2. THE APPROVED ALTERNATE CONFORMS WITH THE COMPREHENSIVE PLAN AND ADOPTED CITY PLANS; AND
  3. THE STREET-FACING BUILDING FACADE UTILIZES OTHER ARCHITECTURAL TREATMENTS TO CREATE VISUAL INTEREST TO OFFSET THE REDUCTION IN TRANSPARENCY.
10. **EXISTING FACADE AREA BELOW 12':** 264 SF  
**EXISTING FENESTRATION TRANSPARENCY:** 121 SF/ 264 SF = 46% TRANSPARENCY  
**NEW FENESTRATION TRANSPARENCY:** 106 SF/ 264 SF = 40% TRANSPARENCY  
REQUESTING ADMINISTRATIVE ALTERNATE FOR REDUCED TRANSPARENCY.
- 11.



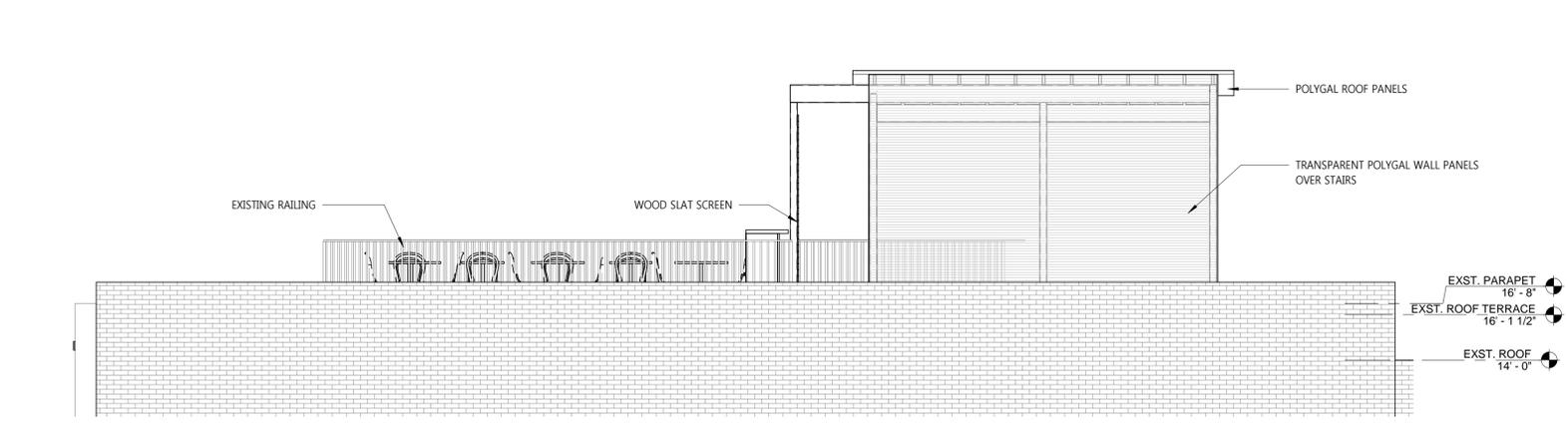
**1 WEST ELEVATION**  
1/4" = 1'-0"



**2 NORTH ELEVATION**  
1/4" = 1'-0"



**3 EAST ELEVATION**  
1/4" = 1'-0"



**4 SOUTH ELEVATION**  
1/4" = 1'-0"



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REISSUE 1 ASR REVISION - 1 12-20-18

ASR REVISION - 1  
1. REVISE TRANSPARENCY CALCULATIONS (A-201/1)  
2. SHOW BUILDING HEIGHT ABOVE AVERAGE GRADE  
- PROPERTY EVENLY SLOPES AWAY FROM HIGHEST POINT AT FACADE ALONG PERSON ST. TO -1'-0" AT THE BACK OF THE TENANT SPACE ALONG PACE ST.

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EXTERIOR ELEVATIONS



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TREE PROTECTION DETAILS

A-501

