

# THE LEARNING EXPERIENCE DAYCARE SR-104-2017



Zoning: **CX-4-CU**  
CAC: **Northeast**

Drainage Basin: **Perry Creek**  
Acreage: **4.47**  
Sq. Ft.: **10,000**

Planner: **Daniel Stegall**  
Phone: **(919) 996-2712**

Applicant: **David Blevins**  
Phone: **(919) 847-8300**





# Administrative Approval Action

The Learning Experience Daycare at Target Side Drive / SR-104-17  
Transaction# 538144, AA# 3768

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located at the southwest corner of the intersection of Old Wake Forest Road and Fox Road. The address is 8050 Target Side Drive and the PIN is 1727808635. The site is proposed lot 11 of recently approved subdivision case S-44-17 (Transaction # 520810).

**REQUEST:** Development of a 1.70 acre tract zone Commercial Mixed Use (CX-4-CU). The applicant is proposing a 9,996 square foot daycare with amenity area and parking. The site zoning conditions may be referenced under Z-5-01.

**REFERENCES:** Z-5-01, S-44-17 (Transaction # 520810)

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by David H. Blevin of Development Engineering, Inc.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

**Note:** *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

**Stormwater:** The Learning Center will comply with the stormwater impervious surface allocations set forth in the current subdivision conditions for that parcel (S-44-17). At this point in time that subdivision has not been recorded and legal documents have not been approved [both items which must occur prior to permitting for this site]. The stormwater management facility was approved under T#508254.

### **PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:**

#### **ENGINEERING**

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

#### **STORMWATER**

2. Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.



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## PRIOR TO ISSUANCE OF BUILDING PERMITS:

### GENERAL

1. Comply with all conditions of Z-5-01
2. All conditions of approval of Subdivision Case S-44-17 shall be met and a subdivision map shall be recorded prior to issuance of a building permit.
3. Provide fire flow analysis.

### ENGINEERING

4. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering.
5. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

### PUBLIC UTILITIES

6. A final plat must be recorded at the Wake County Register of Deeds office for the subdivision, CORWLE dedication for the water stub (on lot 12) & CORWLE dedication for the water meters

### STORMWATER

7. Next Step: All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.

## PRIOR TO ISSUANCE OF BUILDING OCCUPANCY PERMIT:

8. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
9. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
10. Next Step: All street lights and street signs required as part of the development approval are installed.
11. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
12. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
13. Next Step: Final inspection of all required right of way trees by Urban Forestry Staff.



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**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 3-7-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

A handwritten signature in black ink, appearing to read "Justin K. White", written over a horizontal line.

Date: 3/7/18

Staff Coordinator: Daniel L. Stegall

**Administrative Site Review Application  
(for UDO Districts only)**



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831  
Litchford Satellite Office | 8520 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot
	Transaction Number
	Assigned Project Coordinator
	Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

**GENERAL INFORMATION**

Development Name **THE LEARNING EXPERIENCE DAYCARE**

Zoning District **CX-4-CU** Overlay District (if applicable) **N/A** Inside City Limits?  Yes  No

Proposed Use **DAYCARE**

Property Address(es) **8050 TARGET SIDE DRIVE** Major Street Locator: **WAKE FOREST ROAD**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. **1727808635** P.I.N. P.I.N. P.I.N.

What is your project type?  Apartment  Elderly Facilities  Hospitals  Hotels/Motels  Office  
 Mixed Residential  Non-Residential Condo  School  Shopping Center  Banks  Industrial Building  
 Duplex  Telecommunication Tower  Religious Institutions  Residential Condo  Retail  Cottage Court  
 Other: if other, please describe: **DAYCARE**

**WORK SCOPE**  
Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.  
**CONSTRUCTION OF A 9,996 S.F. DAYCARE BUILDING, PLAYGROUND AND 43 PARKING SPACES ON A VACANT OUTPARCEL PAD.**

**DESIGN ADJUSTMENT OR ADMIN ALTERNATE**  
Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

**CLIENT/DEVELOPER/OWNER**  
Company **HARBCO DEVELOPMENT, LLC** Name (s) **A. TOM HARB, P.E., PRESIDENT**  
Address **3700 34TH STREET, STE 300 ORLANDO, NC 32805**  
Phone OFFICE: 407-422-4272 Email **tomharb@harbco.com** Fax 407-422-9664

**CONSULTANT (Contact Person for Plans)**  
Company **DEVELOPMENT ENGINEERING, INC.** Name (s) **DAVID H. BLEVINS, P.E.**  
Address **244 W. MILLBROOK ROAD, RALEIGH, NC 27609**  
Phone OFFICE: 919-847-8300 Email **David@d-e-inc.com** Fax 919-847-2130

PAGE 1 OF 3 [WWW.RALEIGHNC.GOV](http://WWW.RALEIGHNC.GOV) REVISION 05.13.16

**DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)**

Zoning Information	Building Information
Zoning District(s) <b>CX-4-CU</b>	Proposed building use(s) <b>DAYCARE</b>
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross <b>0</b>
Overlay District <b>N/A</b>	Proposed Building(s) sq. ft. gross <b>9,996 S.F.</b>
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) <b>9,996 S.F.</b>
Off street parking: Required <b>12</b> Provided <b>43</b>	Proposed height of building(s) <b>22'-6"</b>
COA (Certificate of Appropriateness) case # <b>N/A</b>	# of stories <b>1</b>
BOA (Board of Adjustment) case # <b>A-N/A</b>	Ceiling height of 1 <sup>st</sup> Floor <b>±10 FT.</b>
CUD (Conditional Use District) case # <b>Z-05-01</b>	

Stormwater Information	
Existing Impervious Surface <b>0.22 / 9,640</b> acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface <b>0.91 / 39,831</b> acres/square feet	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils FEMA Map Panel #
Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Flood Study

FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**SIGNATURE BLOCK (Applicable to all developments)**

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **DAVID H. BLEVINS, P.E.** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed *Dilip Gandhi* Date **February, 14th 2018**

Printed Name **DILIP GANDHI**

Signed \_\_\_\_\_ Date \_\_\_\_\_

Printed Name \_\_\_\_\_

PAGE 2 OF 3 [WWW.RALEIGHNC.GOV](http://WWW.RALEIGHNC.GOV) REVISION 05.13.16

**REVISIONS**

- 01-23-18 REVISED PER 1st CITY OF RALEIGH REVIEW COMMENTS.
- 02-14-18 REVISED PER 2nd CITY OF RALEIGH REVIEW COMMENTS.



SCALE: 1" = 40'  
 ORIGINAL DATE: 12-04-17  
 LATEST REVISION DATE: 02-14-18  
 PROJECT NO.: 17-141

**SR-104-17 TRN# 538144**

**COVER SHEET**

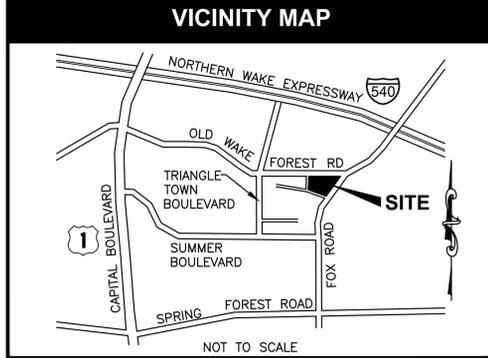
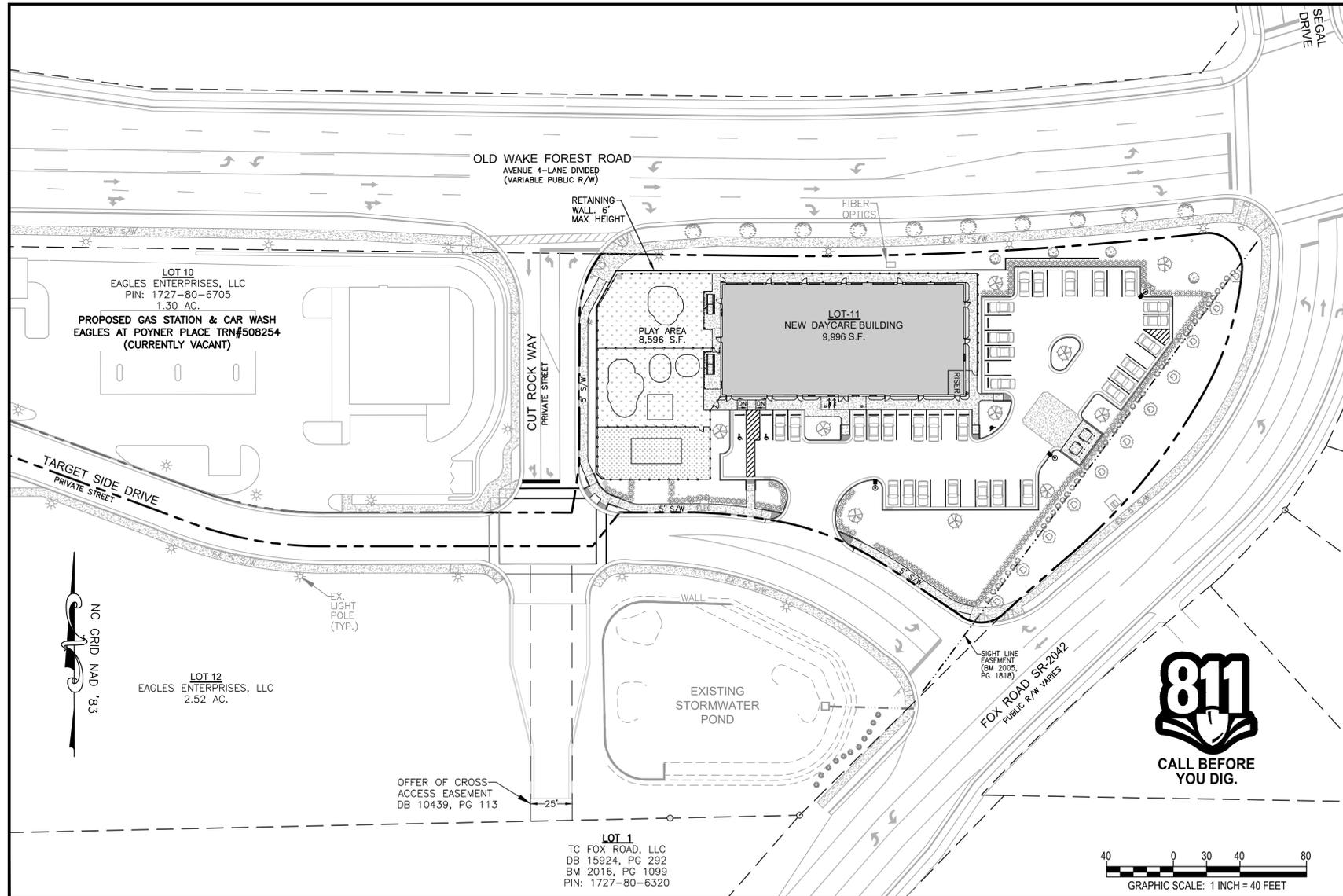
**DEVELOPMENT ENGINEERING, INC.**  
 Professional Engineering Consultants  
 244 West Millbrook Road, Raleigh, NC 27609  
 P. O. Box 17705, Raleigh, NC 27619  
 Phone: 919-847-8300  
 Fax: 919-847-2130  
 E-mail: Office@d-e-inc.com

**SHEET NO. 1 OF 7**

**ADMINISTRATIVE SITE REVIEW APPLICATION**

**THE LEARNING EXPERIENCE DAYCARE  
ACADEMY OF EARLY EDUCATION**

**8050 TARGET SIDE DRIVE, RALEIGH, NORTH CAROLINA 27616**



**SITE DATA TABLE**

PREVIOUS SUBDIVISION CASE#	S-44-17
PREVIOUS ZONING CASE#	Z-5-01
OWNER:	EAGLES ENTERPRISES, LLC 9201 LEESVILLE ROAD STE 201 RALEIGH, NC 27613
WAKE COUNTY PIN #	1727-80-8635
DEED BOOK	16813, PG 428
ZONING	CX-4-CU (COMMERCIAL MIXED USE, 4 STORIES-CONDITIONS)
REFERENCE:	BM 2005 PG 2337 (LOT-11)
INSIDE CITY LIMITS:	YES
CAC:	NORTHEAST
SITE ADDRESS:	8050 TARGET SIDE DRIVE RALEIGH, NC 27616
LOT-11 AREA:	1.70 A.C. (74,101 S.F.) PER S-44-17
RIVER BASIN:	PERRY CREEK

**SURVEY INFORMATION**

SURVEY PROVIDED BY:	NEWCOMB LAND SURVEYORS LIC. (TOPOGRAPHY) 244 W MILLBROOK RD RALEIGH, NC 27609 OFFICE: 919-847-1800 FAX: 919-847-1804
CAC:	THE JOHN R. McADAMS COMPANY, INC. 2905 MERIDIAN PARKWAY DURHAM, NC 27713 OFFICE: 800-733-5646

**SHEET INDEX**

<b>CIVIL ENGINEERING</b>	
SHEET-1	COVER SHEET
SHEET-2	EXISTING CONDITIONS
SHEET-3	PROPOSED SITE & TRANSPORTATION PLAN
SHEET-4	PROPOSED GRADING & STORMWATER PLAN
SHEET-5	PROPOSED UTILITY PLAN
SHEET-6	PROPOSED LANDSCAPING PLAN
SHEET-7	PROPOSED LIGHTING PLAN
C-3	PROPOSED PRELIMINARY SUBDIVISION S-44-17
<b>ARCHITECTURAL</b>	
SA-2.2	EXTERIOR ELEVATIONS

**ZONING CONDITIONS NOTE:**  
SEE ZONING CONDITIONS CASE# Z-5-01 FOR ALL ASSOCIATED CONDITIONS AND EXHIBITS.

**CONTACTS**

<b>APPLICANT/DEVELOPER:</b> HARBCO DEVELOPMENT, LLC 3700 34TH STREET, STE 300 ORLANDO, NC 32805 OFFICE: 407-422-4272 FAX: 407-422-9664 ATTN: A. TOM HARB, PRESIDENT	<b>CIVIL ENGINEERING/LANDSCAPE DEVELOPMENT ENGINEERING, INC.</b> 244 W. MILLBROOK ROAD, RALEIGH, NC 27609 OFFICE: 919-847-8300 FAX: 919-847-2130 ATTN: DAVID H. BLEVINS, P.E.
<b>ARCHITECTURAL DESIGN:</b> JARMEL KIZEL ARCHITECTS AND ENGINEERS INC. 42 OKNER PARKWAY, LIVINGSTON, NEW JERSEY 07039 OFFICE: 973-994-9669 FAX: 973-994-4069 ATTN: CHERYL SCHWEIKER, AIA	

**SIGHT TRIANGLES NOTE:**  
NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY OBTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.

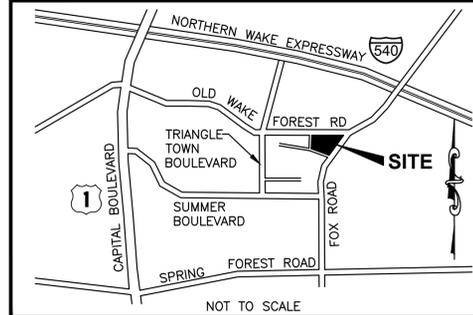
**SOLID WASTE INSPECTIONS STATEMENT:**

- THE OWNER/DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE PROPOSED DUMPSTER COLLECTION FACILITY WILL HAVE A GARBAGE & RECYCLING CONTAINER.
- ALL STORM INLETS MUST BE AT LEAST 20' AWAY FROM THE DUMPSTER PAD.

**ALL CONSTRUCTION TO CITY OF RALEIGH STANDARDS & SPECIFICATIONS**  
FINAL PLAN - NOT FOR CONSTRUCTION



VICINITY MAP



SITE DATA TABLE

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WAKE COUNTY PIN #	1727-80-8635
DEED BOOK	16813, PG 428
ZONING	CX-4-CU
REFERENCE:	BM 2005 PG 2337 (LOT-11)
INSIDE CITY LIMITS:	YES
SITE ADDRESS:	8050 TARGET SIDE DRIVE RALEIGH, NC 27616
LOT-11 AREA:	4.47 A.C.
RIVER BASIN:	PERRY CREEK
CURRENT USE:	VACANT

SURVEY INFORMATION

**BOUNDARY & TOPOGRAPHY SURVEY PROVIDED BY:**  
 NEWCOMB LAND SURVEYORS, LLC  
 244 W MILBROOK RD RALEIGH, NC 27609  
 OFFICE: 919-847-1800 FAX: 919-847-1804

**ADDITIONAL SURVEY PROVIDED BY:**  
 THE JOHN R. McADAMS COMPANY, INC.  
 2905 MERIDIAN PARKWAY  
 DURHAM, NC 27713  
 OFFICE: 800-733-5645

FEMA NOTE

1. THIS PROPERTY IS NOT LOCATED IN A FLOOD PLAIN PER FEMA MAP PANEL #3720172600J EFFECTIVE DATE MAY 2, 2006.
2. THERE ARE NO NEUSE RIPARIAN BUFFER AREAS LOCATED ON SITE.
3. THE PARCEL IS NOT LOCATED WITHIN A WATER SUPPLY PROTECTED WATERSHED AREA.

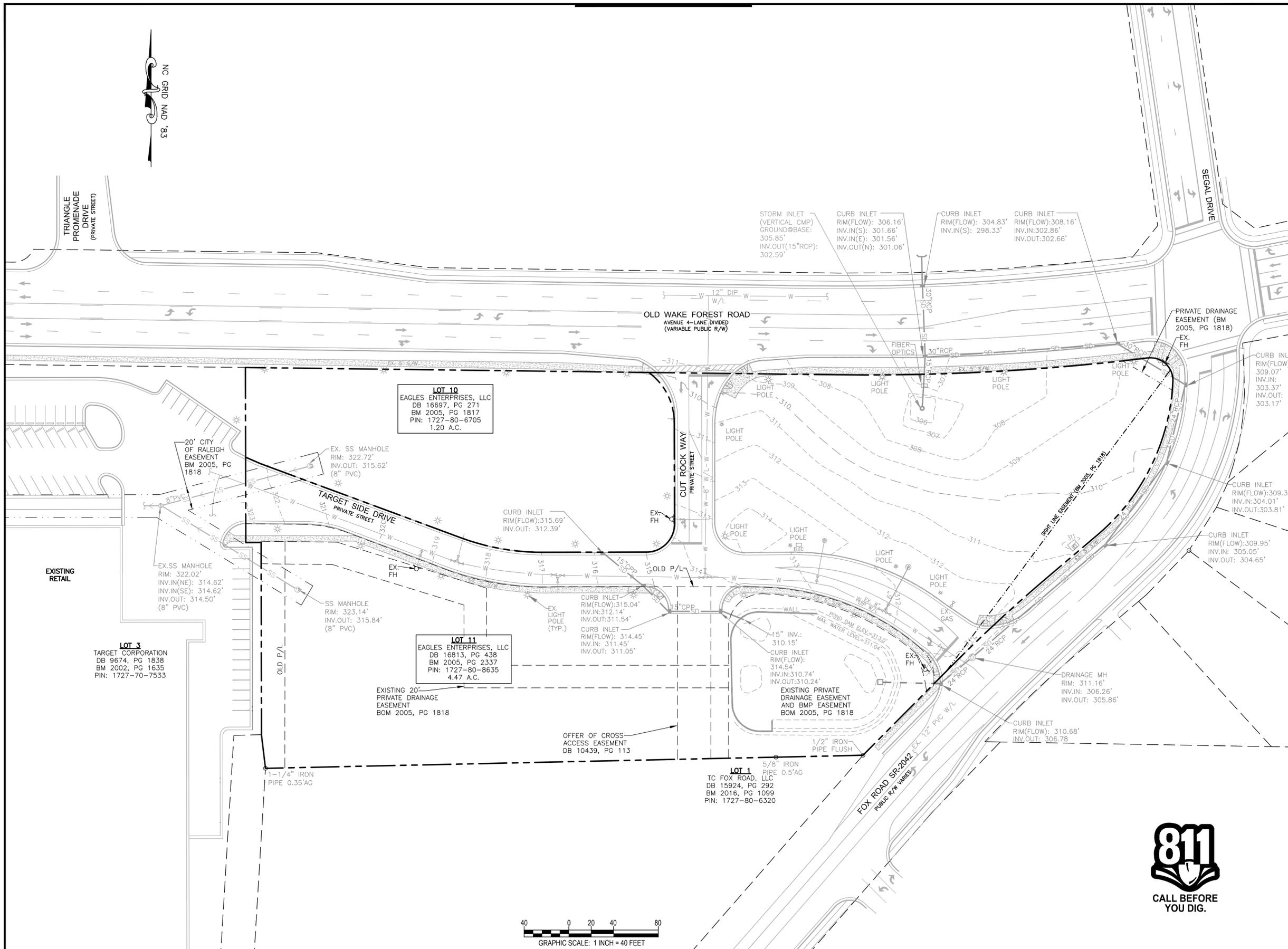
CONTRACTOR NOTES:

1. NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO, SITE LAYOUT, GRADING, UTILITIES, LANDSCAPING, OR LIGHTING SHALL BE MADE WITHOUT THE APPROVAL OF DEVELOPMENT ENGINEERING, INC.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) PRIOR TO CONSTRUCTION. ANY CONFLICTS OR RELOCATION OF UTILITIES SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY AND/OR AUTHORITY.
3. THE CONTRACTOR SHALL OBTAIN A COPY OF THE CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS TO REFER TO PRIOR TO AND DURING CONSTRUCTION OF THE PROJECT.
4. THE CONTRACTOR SHALL OBTAIN ALL APPROPRIATE PERMITS FROM THE CITY OF RALEIGH AND/OR NCDOT PRIOR WORK WITHIN THE ROW OF THE PUBLIC STREETS.
5. GC TO VERIFY RECEIPT OF FINAL PLANS WITH PROJECT ADMINISTRATOR AND CIVIL ENGINEER PRIOR TO ORDERING STORM STRUCTURES & PIPE.

LEGEND:

IPF - IRON PIPE FOUND	⊙ BOLLARD	— SIGN
IRF - IRON ROD FOUND	⊙ MH DRAINAGE	⊗ SPRINKLER HEAD
IPS - IRON PIPE SET	⊙ MH SANITARY	⊗ SPRINKLER VALVE
PT - CALCULATED POINT	⊙ MH ELECTRIC	⊙ GAS METER
CM - CONCRETE MONUMENT	⊙ MH TELEPHONE	⊙ GAS VALVE
⊙ FIRE HYDRANT	⊙ MH WATER	⊙ FLAG POLE
⊙ ELECTRIC BOX	⊙ SPRINKLER BOX	⊙ GROUND LAMP
⊙ TELEPHONE PEDESTAL	⊙ ELECTRIC METER	⊙ BOREHOLE
⊙ CABLE TV PEDESTAL	⊙ CLEAN OUT	⊙ AC UNIT
⊙ POWER POLE < GUY	⊙ WATER METER	⊙ MAILBOX
⊙ LIGHT POLE	⊙ WATER VALVE	⊙ WELL
⊙ YARD LIGHT	⊙ ROOF DRAIN	⊙ EXISTING TREE
R / W - RIGHT-OF-WAY	⊙ PG - PAGE	
P / L - PROPERTY LINE	⊙ CMP - CORRUGATED METAL PIPE	
C / L - CENTERLINE	⊙ VCP - VITRIFIED CLAY PIPE	
NTS - NOT TO SCALE	⊙ DIP - DUCTILE IRON PIPE	
GV - GAS VALVE	⊙ HDPE - HIGH DENSITY POLYETHYLENE PIPE	

ALL CONSTRUCTION TO CITY OF RALEIGH STANDARDS & SPECIFICATIONS  
 FINAL PLAN - NOT FOR CONSTRUCTION



REVISIONS

1. 01-23-18	REVISED PER 1st CITY OF RALEIGH REVIEW COMMENTS.
2. 02-14-18	REVISED PER 2nd CITY OF RALEIGH REVIEW COMMENTS.

**THE LEARNING EXPERIENCE**  
 ACADEMY OF EARLY EDUCATION  
 RALEIGH NORTH CAROLINA

SCALE: 1" = 40'

ORIGINAL DATE: 12-04-17

LATEST REVISION DATE: 02-14-18

PROJECT NO.: 17-141

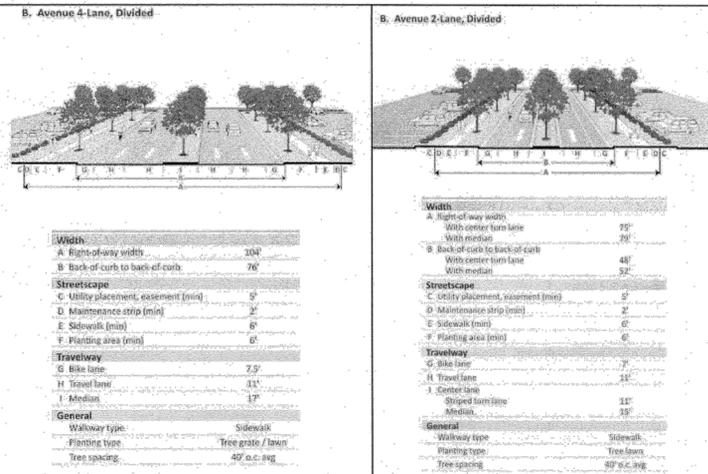
EXISTING CONDITIONS PLAN  
 (PER BM 2005 PAGE 2337)

**DEVELOPMENT ENGINEERING, INC.**  
 Professional Engineering Consultants  
 244 West Millbrook Road, Raleigh, NC 27609  
 P. O. Box 17705, Raleigh, NC 27619  
 Phone: 919-847-8300  
 Fax: 919-847-2130  
 E-mail: Office@d-e-inc.com

SHEET NO. 2 OF 7

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	50.00'	51.89'	N 22°52'34" W	49.48'
C2	134.50'	14.49'	S 66°26'19" E	14.48'
C3	209.50'	74.28'	S 79°49'13" W	73.90'
C4	25.00'	39.27'	N 45°01'24" W	35.35'

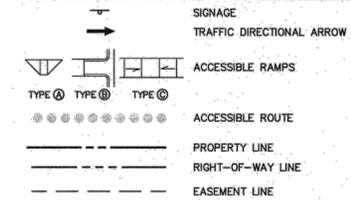
N/F  
STERLING TC PROPERTY OWNER LLC  
DB 15788, PG 2363  
PIN# 1727916527  
13.79 AC



PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HGT	REMARKS
	ABA	11	Southern Sugar Maple	Acer barbatum	3"	10'	
	UPA	10	Princeton Lacebark Elm	Ulmus parvifolia 'Princeton'	3"	10'	
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	HGT	QC	REMARKS
	IVWR	11	Winter Red Holly	Ilex verticillata 'Winter Red'	36"	72"	C2 Yard
	LOPD	42	Fringe Flower	Loropetalum chinense 'Ever Red'	36"	36"	C2 Yard

SITE LEGEND



SITE PLAN NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS: FINAL RULE 29CFR PART 1926, SUBPART 1926.1000 APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION OR TO THE SATISFACTION OF THE OWNER BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ACCESSIBLE PARKING SHALL MEET THE REQUIREMENTS OF 2012 NCS13C SECTION 1106.

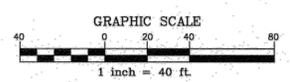
SITE DATA

OWNER	GHANDI AT POYNER PLACE LLC 9201 LEEVILLE ROAD, SUITE 201 RALEIGH, NC 27613
PARCEL	PIN:1727808635, 1727806705
EXISTING ZONING	CX-4-CU
EXISTING USE	VACANT
RIVER BASIN	NEUCANT
EXISTING PARCEL AREA	LOT 10: 1.16 AC LOT 11: 4.47 AC
PROPOSED PARCEL AREA (LESS R/W DEDICATION)	LOT 10: 1.30 AC LOT 11: 1.70 AC NEW LOT 12: 2.54 AC
TREE SAVE	REQUIRED 0.432 AC (10%) PROPOSED 0.00 AC (0%) NO TREES ON SITE

LANDSCAPE CALCULATIONS

<b>STREET TREES</b>		OLD WAKE FOREST ROAD:	384 LF
TREES REQUIRED:	10 (1/40 LF)	TREES PROVIDED:	10
<b>STREET PROTECTIVE YARD (C2)</b>		FOX ROAD:	348 LF
TREES REQUIRED:	14 (4/100 LF)	TREES PROVIDED:	14 (3 MET W/FEE-IN-LIEU)
SHRUBS REQUIRED:	53 (15/100 LF) - MIN 3" HT. AT INSTALL	SHRUBS PROVIDED:	53
AREA REQUIRED:	5,220 SF (AVERAGE 15' WIDTH)	AREA PROVIDED:	5,220 SF (SEE HATCHED AREA)

- NOTES:
- PEDESTRIAN LIGHT FIXTURES WITHIN PEDESTRIAN AREAS, I.E. ALONG SIDEWALKS SHALL BE NO HIGHER THAN 15 FEET.
  - ALONG FOX ROAD ADJACENT TO SWMF #1 A FEE-IN-LIEU FOR THE REQUIRED C-2 YARD SHALL BE PROVIDED FOR A TOTAL STREET FRONTAGE LENGTH OF 85'.
  - NO TREES SHALL BE PLANTED WITHIN 10' OF A FIRE HYDRANT (AT MATURE GROWTH).
  - NO TREES SHALL BE PLANTED WITHIN 20' OF A PARKING LOT LIGHT FIXTURE.
  - ALL TREES LOCATED WITHIN A SIGHT DISTANCE TRIANGLE SHALL BE LIMBED TO A MINIMUM 8' ABOVE FINISHED GRADE.
  - STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.



**NOTE:**  
NOT FOR REVIEW, ONLY FOR INFORMATIONAL PURPOSES

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	2066.00'	275.97'	N 86°59'28" E	275.76'
C2	20.00'	34.75'	S 47°02'49" E	30.54'
C3	190.00'	156.57'	S 26°19'58" W	152.18'
C4	1324.50'	122.70'	S 47°17'25" W	122.66'
C5	134.50'	14.49'	N 66°26'19" W	14.48'
C6	55.00'	51.93'	S 27°00'08" E	50.02'
C7	25.00'	39.27'	S 45°01'24" W	35.35'
C8	209.50'	74.28'	N 79°49'13" W	73.90'

Line #	Length	Direction
L6	43.15	N0° 16' 45.04"E
L5	40.93	N0° 05' 13.06"E
L4	30.00	N8° 39' 09.85"E
L3	56.41	S89° 58' 41.40"E
L16	33.12	S05° 55' 59.65"E
L14	44.78	N89° 54' 47.05"E
L13	25.90	N39° 01' 30.63"E
L12	162.18	S89° 58' 41.40"E
L10	197.67	S69° 39' 44.84"E

CURVE #	RADIUS	LENGTH	CHORD BEARING	CHORD LENGTH
C7	65.71'	17.42'	N93°14.92"E	17.37'
C8	58.18'	22.45'	N02°34'25.35"E	22.32'
C9	53.33'	3.74'	N08°31'20.33"E	3.74'
C10	229.50'	81.38'	S79°49'13.12"E	80.95'
C11	218.33'	141.30'	S71°54'40.07"E	138.80'
C12	20.43'	6.01'	S99°50'25.95"E	5.99'

THE JOHN R. McADAMS COMPANY, INC.  
2805 Meridian Parkway  
Durham, North Carolina 27713  
License No.: C-02938  
(800) 733-6646 • McAdamsCo.com



REVISIONS:

OWNER: GANDHI AT POYNER PLACE, LLC  
9201 LEEVILLE ROAD, SUITE 201  
RALEIGH, NORTH CAROLINA 27613

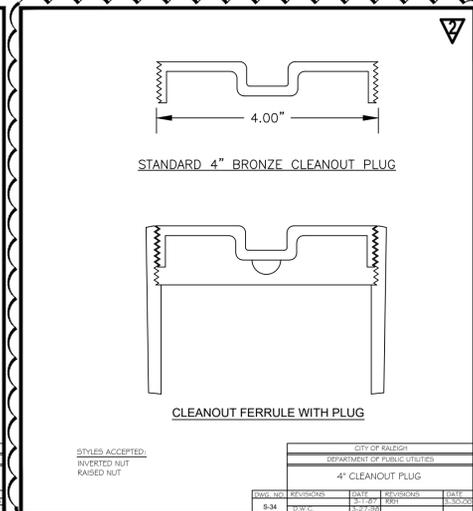
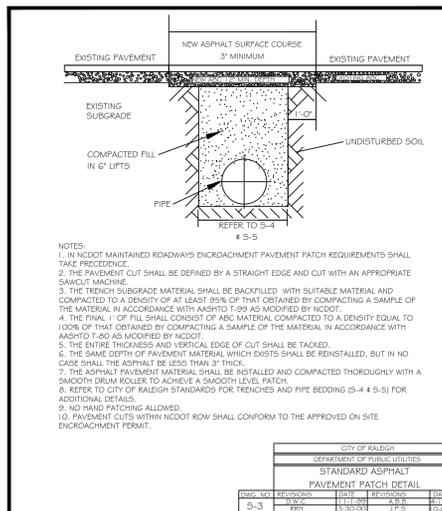
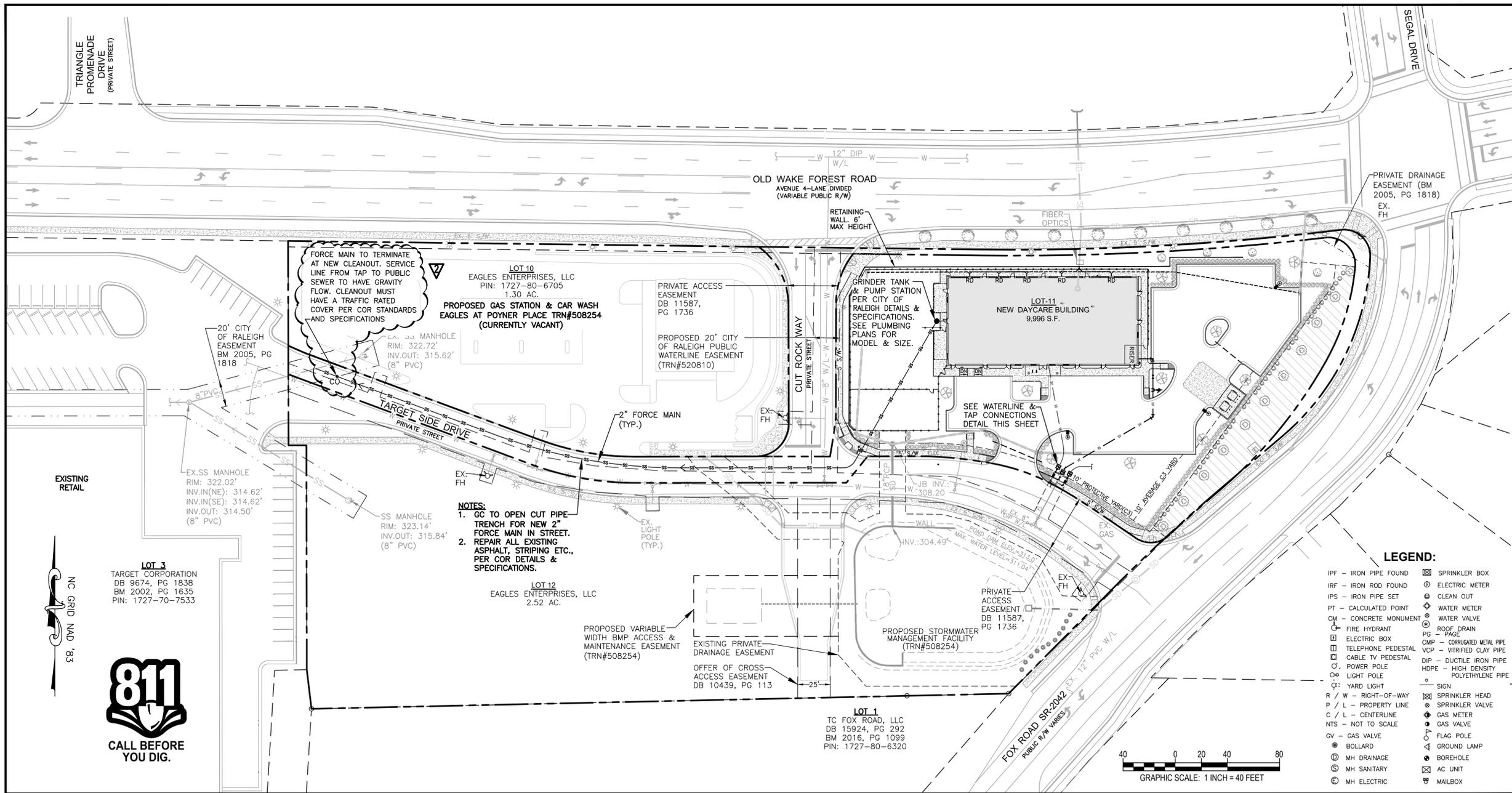
PROJECT NO: SPEC-17053  
FILENAME: SPEC17053-S1  
CHECKED BY: ARP  
DRAWN BY: JB  
SCALE: 1"=40'  
DATE: 12-19-17  
SHEET NO: C-3

POYNER PLACE  
PRELIMINARY SUBDIVISION PLAN  
SUBDIVISION AND LANDSCAPE PLAN

McAdams

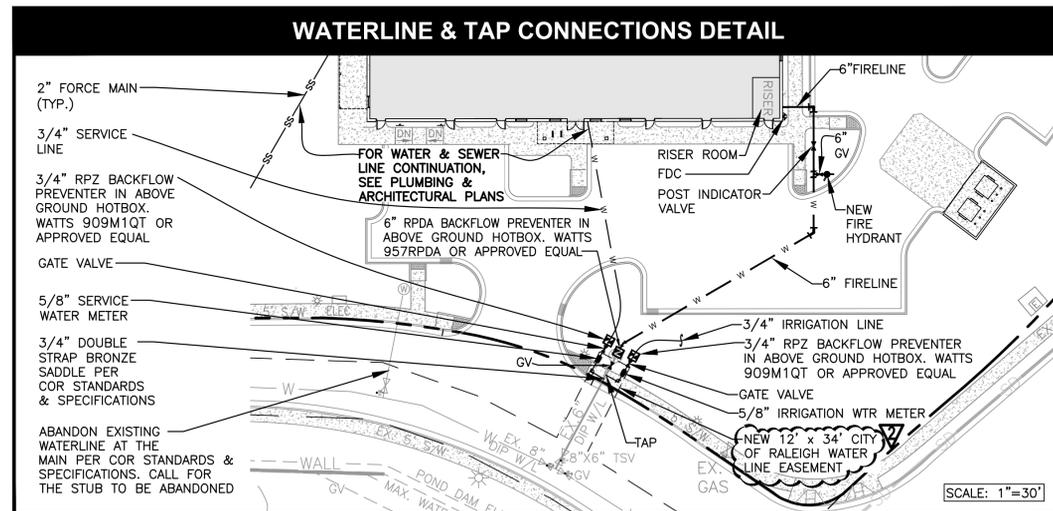
**STANDARD UTILITY NOTES (AS APPLICABLE):**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 1" & 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A WATERLINE EASEMENT AS SHOWN ON THESE PLANS. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GRASS INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGH.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGH.GOV FOR MORE INFORMATION.



**UTILITY LEGEND:**

SS	PROPOSED SAN. SEWER
W	PROPOSED WATERLINE
BFP	PROPOSED BACK FLOW PREVENTER
WM	PROPOSED WATER METER
GV	PROPOSED GATE VALVE
FH	PROPOSED FIRE HYDRANT
WMH	PROPOSED WTR MANHOLE
CO	PROPOSED S.S. CLEANOUT
MH	PROPOSED S.S. MANHOLE
W	EXISTING WATER MANHOLE
S	EXISTING S.S. MANHOLE
W	EXISTING WATERLINE
SS	EXISTING SEWER LINE



- GENERAL NOTES:**
- NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO, SITE LAYOUT, GRADING, UTILITIES, LANDSCAPING, OR LIGHTING SHALL BE MADE WITHOUT THE APPROVAL OF DEVELOPMENT ENGINEERING, INC.
  - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) PRIOR TO CONSTRUCTION. ANY CONFLICTS OR RELOCATION OF UTILITIES SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY AND/OR AUTHORITY.
  - THE CONTRACTOR SHALL OBTAIN A COPY OF THE CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS TO REFER TO PRIOR TO AND DURING CONSTRUCTION OF THE PROJECT.
  - THE CONTRACTOR SHALL OBTAIN ALL APPROPRIATE PERMITS FROM THE CITY OF RALEIGH AND/OR NCDOT PRIOR WORK WITHIN THE ROW OF THE PUBLIC STREETS.
  - GC TO VERIFY RECEIPT OF FINAL PLANS WITH PROJECT ADMINISTRATOR AND CIVIL ENGINEER PRIOR TO ORDERING STORM STRUCTURES & PIPE.
  - ALL PAINT STRIPING MEASUREMENTS FOR PARKING SPACES ARE INDICATED FROM CENTER OF PAINTED LINE TO CENTER OF PAINTED LINE.
  - ELECTRIC AND TELEPHONE UTILITIES SHALL BE UNDERGROUND.
  - THE PROPOSED BUILDING WILL HAVE A SPRINKLER SYSTEM.
  - PROVIDE ALL NECESSARY SIGNAGE FOR HANDICAP PARKING.

**REVISIONS**

1.	01-23-18	REVISED PER 1st CITY OF RALEIGH REVIEW COMMENTS.
2.	02-14-18	REVISED PER 2nd CITY OF RALEIGH REVIEW COMMENTS.

**THE LEARNING EXPERIENCE**  
ACADEMY OF EARLY EDUCATION

SCALE: 1" = 40'

ORIGINAL DATE: 12-04-17

LATEST REVISION DATE: 02-14-18

PROJECT NO.: 17-141

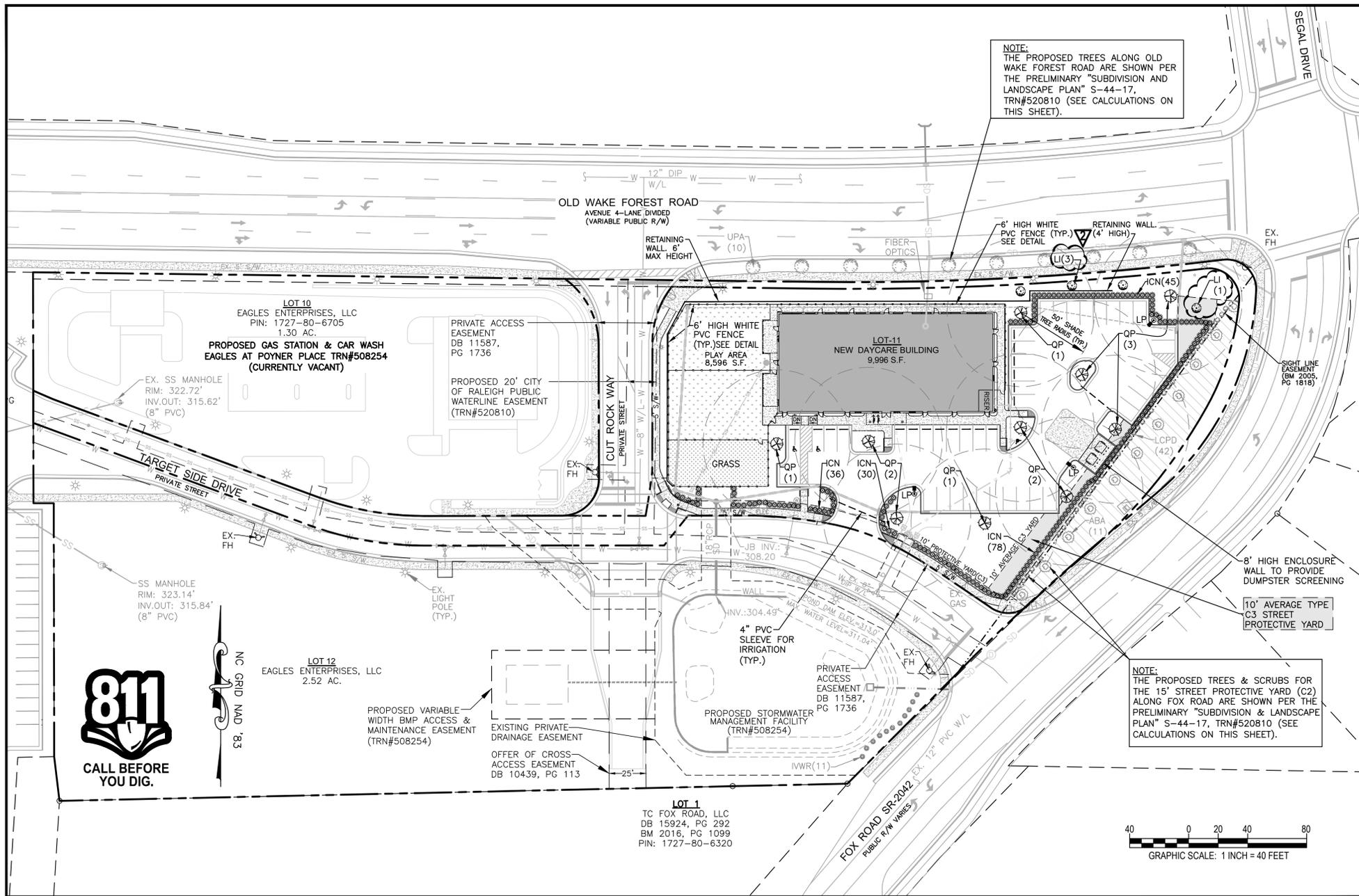
**PROPOSED UTILITY PLAN**

**DEVELOPMENT ENGINEERING, INC.**  
Professional Engineering Consultants

244 West Millbrook Road, Raleigh, NC 27609  
P. O. Box 17705, Raleigh, NC 27619  
www.d-e-inc.com

Phone: 919-847-8300  
Fax: 919-847-2130  
E-mail: Office@d-e-inc.com

**SHEET NO. 5 OF 7**



**S-44-17 LANDSCAPE CALCULATIONS:**

**LANDSCAPE CALCULATIONS**

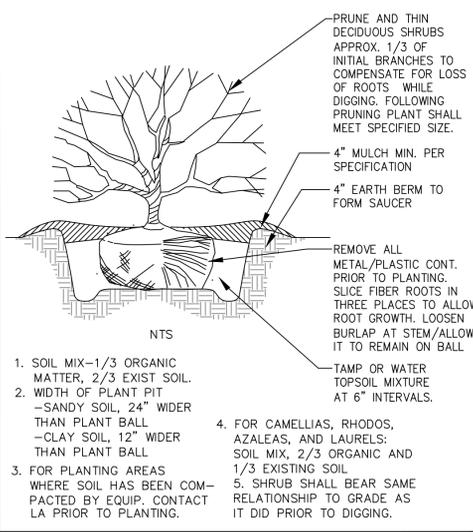
<b>STREET TREES</b>	
OLD WAKE FOREST ROAD:	384 LF
TREES REQUIRED:	10 (1/40 LF)
TREES PROVIDED:	10
<b>STREET PROTECTIVE YARD (C2)</b>	
FOX ROAD:	348 LF
TREES REQUIRED:	14 (4/100 LF)
TREES PROVIDED:	14 (3 MET W/FEE-IN-LIEU)
SHRUBS REQUIRED:	53 (15/100 LF) - MIN 3' HT. AT INSTALL
SHRUBS PROVIDED:	53
AREA REQUIRED:	5,220 SF (AVERAGE 15' WIDTH)
AREA PROVIDED:	5,220 SF (SEE HATCHED AREA)

**S-44-17 PLANT SCHEDULE:**

**PLANT SCHEDULE**

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL
	ABA	11	Southern Sugar Maple	Acer barbatum	3"
	UPA	10	Princeton Lacebark Elm	Ulmus parvifolia 'Princeton'	3"
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	HGT
	IWR	11	Winter Red Holly	Ilex verticillata 'Winter Red'	36"
	LCPD	42	Fringe Flower	Loropetalum chinense 'Ever Red'	36"

**SHRUB INSTALLATION DETAIL**



**SR-104-17 LANDSCAPE CALCULATIONS:**

**FOX ROAD - 259 LF**

10' AVERAGE TYPE C3 STREET PROTECTIVE YARD BEING PROVIDED.

**SHRUB REQUIREMENTS:**  
30 EVERGREEN SHRUBS PER 100 LF. SHRUB MATURE HEIGHT 3.5'.  
SHRUBS REQUIRED: 259 / 100 X 30 = 77.7  
SHRUBS PROVIDED: 78

AREA REQUIRED: 259' X 10' = 2,590 S.F. (AVERAGE 10' WIDTH)  
AREA REQUIRED: 2,600 S.F. (SEE HATCHED AREA)

**WAKE FOREST ROAD**

TYPE C3 BEING PROVIDED BETWEEN VEHICLE PARKING AREA & R.O.W.

**SHRUB REQUIREMENTS:**  
30 EVERGREEN SHRUBS PER 100 LF. SHRUB MATURE HEIGHT 3.5'.  
243 - 24' (DRIVEWAY) = 219'  
SHRUBS REQUIRED: 219 / 100 X 30 = 65.7  
SHRUBS PROVIDED: 66

**TARGET SIDE DRIVE**

STREET PROTECTIVE YARD-TYPE C3 BEING PROVIDED.

**SHRUB REQUIREMENTS:**  
30 EVERGREEN SHRUBS PER 100 LF. SHRUB MATURE HEIGHT 3.5'.  
243 - 24' (DRIVEWAY) = 219'  
SHRUBS REQUIRED: 219 / 100 X 30 = 65.7  
SHRUBS PROVIDED: 66

**VSA - 17,640 S.F.**

TREE REQUIREMENTS:  
1 SHADE TREE PER 2,000 S.F. OF VSA  
TREES REQUIRED: 17,422 / 2,000 = 8.7  
TREES PROVIDED: 10

**TREES TO MEET ZONING CONDITIONS Z-005-01, II-G TO SCREEN OFF STREET PARKING FROM OLD WAKE FOREST ROAD.**

4 UNDERSTORY TREES PROVIDED

**SR-104-17 PLANT SCHEDULE:**

**TREES**

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	LOCATION
QP	10	QUERCUS PHELLOS	WILLOW OAK	3" MIN.	10' MIN.	B&B	VSA
LI	4	LAGERSTROEMIA INDICA 'CHEROKEE'	CHEROKEE CRAPE MYRTLE	3" MIN.	10' MIN.	B&B	STREET TREE

**SHRUBS**

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	LOCATION
ICN	111	ILEX CORNUTA 'NEEDLEPOINT'	NEEDLEPOINT HOLLY	18"	3 GAL		STREET

**PLANTING NOTES:**

1. ALL PLANT MATERIALS TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.
2. PLANT LOCATIONS TO BE APPROVED IN FIELD PRIOR TO INSTALLATION.
3. SUBSTITUTIONS OF PLANT MATERIALS SPECIFIED CAN ONLY OCCUR WITH PRIOR APPROVAL BY LANDSCAPE DESIGNER AND CITY OF RALEIGH.
4. ESTABLISH PLANT BED CONFIGURATIONS. LANDSCAPE DESIGNER TO APPROVE BED LAYOUT IN FIELD.
5. PREPARE PLANT BEDS PER SPECIFICATIONS.
6. INSTALL PLANTS AND MULCH BEDS WITH 3" OF TRIPLE SHREDDED HARDWOOD MULCH. SUBMIT A SAMPLE PRIOR TO INSTALLATION.
7. ESTABLISH MULCH BEDS AROUND EXISTING TREES TO REMAIN.
8. LAWN AREAS TO BE SEEDED, EXCEPT AS NOTED. REFER TO SPECS.
9. LANDSCAPE CONTRACTOR TO GUARANTEE PLANT MATERIALS FOR A ONE YEAR PERIOD FOLLOWING SUBSTANTIAL COMPLETION PER SPECIFICATIONS.
10. AREAS DAMAGED FROM ACTIVITIES OF LANDSCAPE CONTRACTOR TO BE RESEDED AND ESTABLISHED AT NO ADDITIONAL COST TO THE OWNER.
11. LIGHTING FIXTURES MUST BE LOCATED AT LEAST 20' FROM A TREE, MEASURED FROM THE POLE OF THE LIGHTING FIXTURE TO THE TRUNK OF THE TREE.

**CONTRACTOR NOTES:**

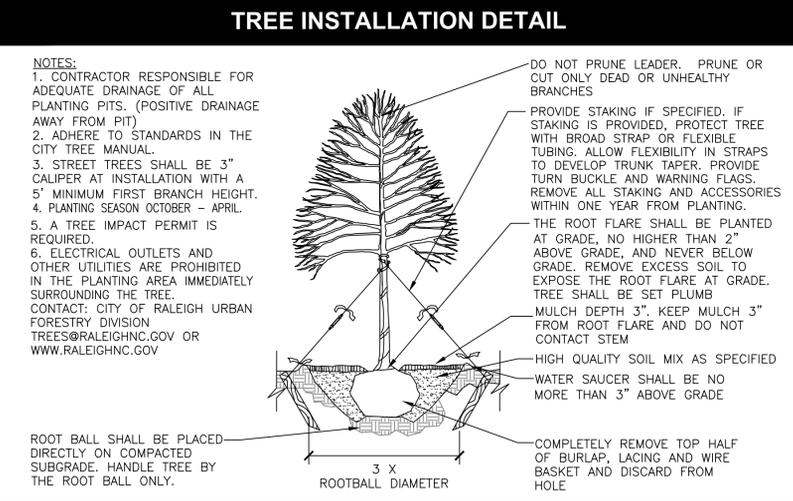
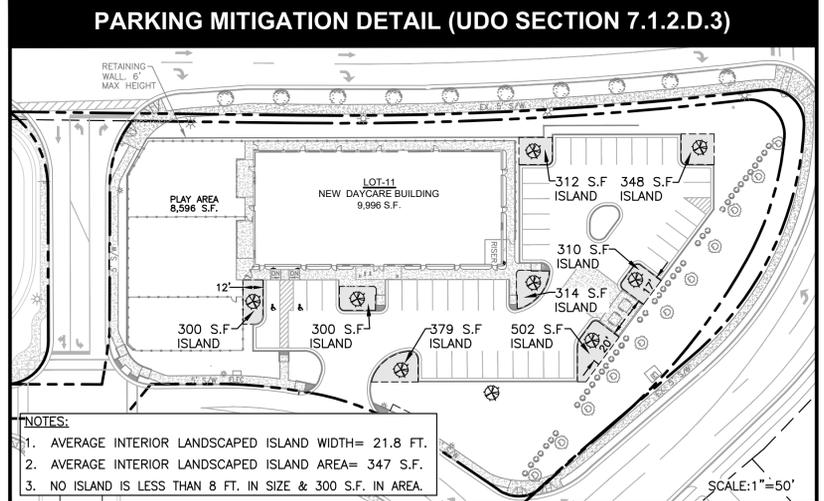
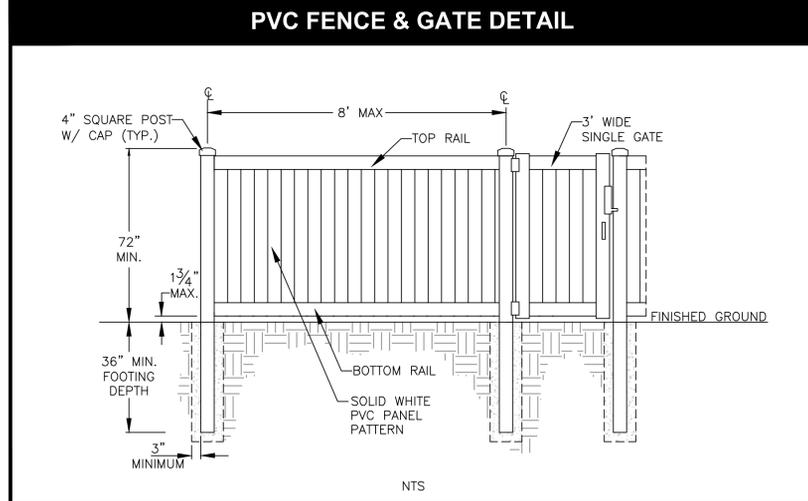
1. NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO, SITE LAYOUT, GRADING, UTILITIES, LANDSCAPING, OR LIGHTING SHALL BE MADE WITHOUT THE APPROVAL OF DEVELOPMENT ENGINEERING, INC. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) PRIOR TO CONSTRUCTION. ANY CONFLICTS OR RELOCATION OF UTILITIES SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY AND/OR AUTHORITY.
2. THE CONTRACTOR SHALL OBTAIN A COPY OF THE CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS TO REFER TO PRIOR TO AND DURING CONSTRUCTION OF THE PROJECT.
3. THE CONTRACTOR SHALL OBTAIN ALL APPROPRIATE PERMITS FROM THE CITY OF RALEIGH AND/OR NCDOT PRIOR WORK WITHIN THE ROW OF THE PUBLIC STREETS.

**LEGEND:**

IPF - IRON PIPE FOUND	⊠ SPRINKLER BOX	⊙ MH DRAINAGE
IRF - IRON ROD FOUND	⊕ ELECTRIC METER	⊙ MH SANITARY
IPS - IRON PIPE SET	⊕ CLEAN OUT	⊕ MH ELECTRIC
PT - CALCULATED POINT	⊕ WATER METER	⊕ MH TELEPHONE
CM - CONCRETE MONUMENT	⊕ WATER VALVE	⊕ MH WATER
⊕ FIRE HYDRANT	⊕ ROOF DRAIN - PAGE	⊕ BOREHOLE
⊕ ELECTRIC BOX	⊕ SIGN	⊕ AC UNIT
⊕ TELEPHONE PEDESTAL	⊕ SPRINKLER HEAD	⊕ MAILBOX
⊕ CABLE TV PEDESTAL	⊕ SPRINKLER VALVE	⊕ WELL
⊕ POWER POLE	⊕ GAS METER	⊕ EXISTING TREE
⊕ LIGHT POLE	⊕ GAS VALVE	⊕ BOLLARD
⊕ YARD LIGHT	⊕ FLAG POLE	
R / W - RIGHT-OF-WAY	⊕ GROUND LAMP	
P / L - PROPERTY LINE	⊕ CORRUGATED METAL PIPE	
C / L - CENTERLINE	⊕ VITRIFIED CLAY PIPE	
NTS - NOT TO SCALE	⊕ DUCTILE IRON PIPE	
GV - GAS VALVE	⊕ HDPE - HIGH DENSITY POLYETHYLENE PIPE	
LP - PROP. LIGHT POLE		

**ALL CONSTRUCTION TO CITY OF RALEIGH STANDARDS & SPECIFICATIONS**

FINAL PLAN - NOT FOR CONSTRUCTION



**REVISIONS**

1.	01-23-18	REVISED PER 1st CITY OF RALEIGH REVIEW COMMENTS.
2.	02-14-18	REVISED PER 2nd CITY OF RALEIGH REVIEW COMMENTS.

**THE LEARNING EXPERIENCE**  
ACADEMY OF EARLY EDUCATION

RALEIGH NORTH CAROLINA

SCALE: 1" = 40'

ORIGINAL DATE:	12-04-17
LATEST REVISION DATE:	02-14-18
PROJECT NO.:	17-141

**PROPOSED LANDSCAPE PLAN**

**DEVELOPMENT ENGINEERING, INC.**  
Professional Engineering Consultants

244 West Millbrook Road, Raleigh, NC 27609  
P. O. Box 17705, Raleigh, NC 27619  
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Phone: 919-847-8300  
Fax: 919-847-2130  
E-mail: Office@d-e-inc.com

**SHEET NO. 6 OF 7**

1. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE, AND JOB SITE SAFETY.

2. GC MUST PROVIDE & INSTALL ALL PRODUCTS PER PLANS. ONLY SUBSTITUTED PRODUCTS NEED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. UNAPPROVED SUBSTITUTIONS WILL BE REPLACED AT THE EXPENSE OF THE GC.

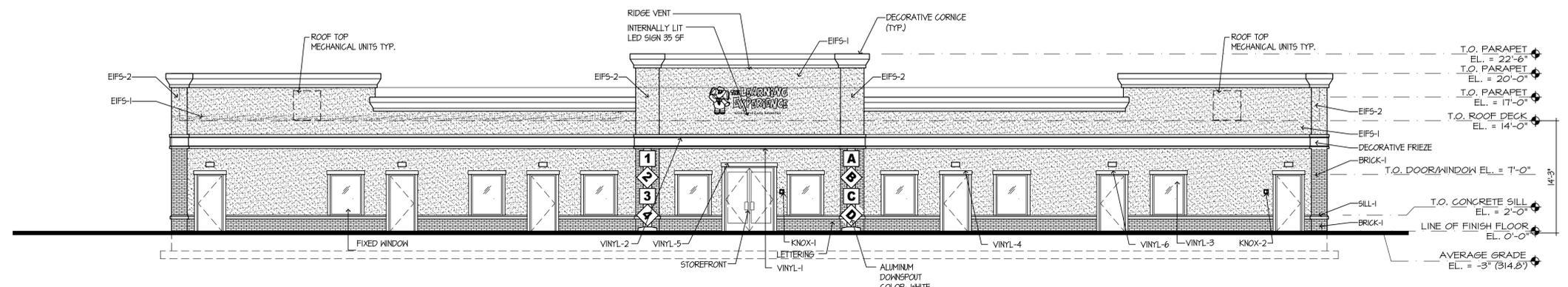
3. VERBAL REPRESENTATION HAS NO VALUE AND ALL REQUESTS TO CHANGE ANY PRODUCTS OR SPECIFICATIONS PER PLANS, MUST BE SUBMITTED IN WRITING TO THE ARCHITECT & TIE FOR APPROVAL.



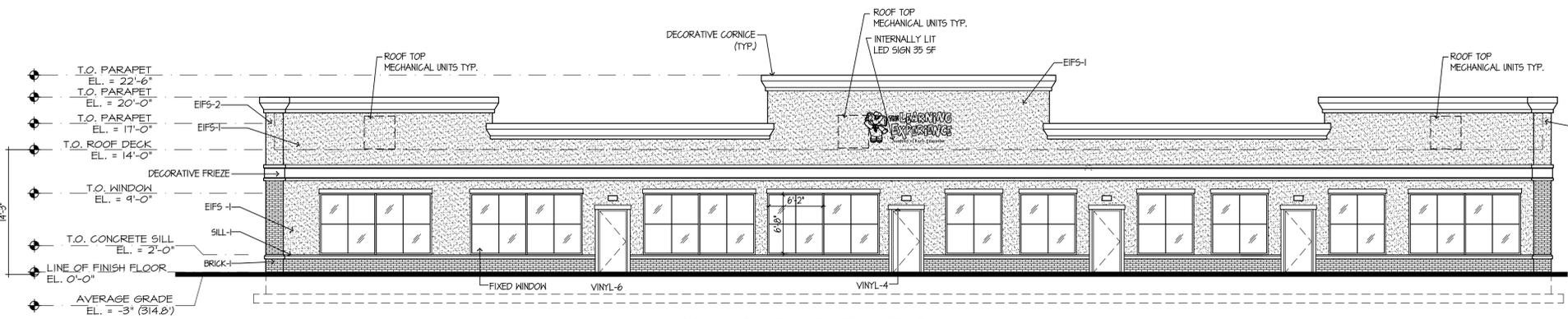
**Jarmel Kizel**  
ARCHITECTS AND ENGINEERS INC.  
42 OKNER PARKWAY  
LIVINGSTON, NEW JERSEY 07039  
TEL: 973-994-9669  
FAX: 973-994-4069  
www.jarmelkizel.com

Architect  
Engineering  
Interior Design  
Implementation Services

**THE LEARNING EXPERIENCE**  
**ACADEMY OF EARLY EDUCATION**  
FOX ROAD  
RALEIGH, NORTH CAROLINA

**1 SOUTH ELEVATION**  
scale: 1/8"=1'-0"



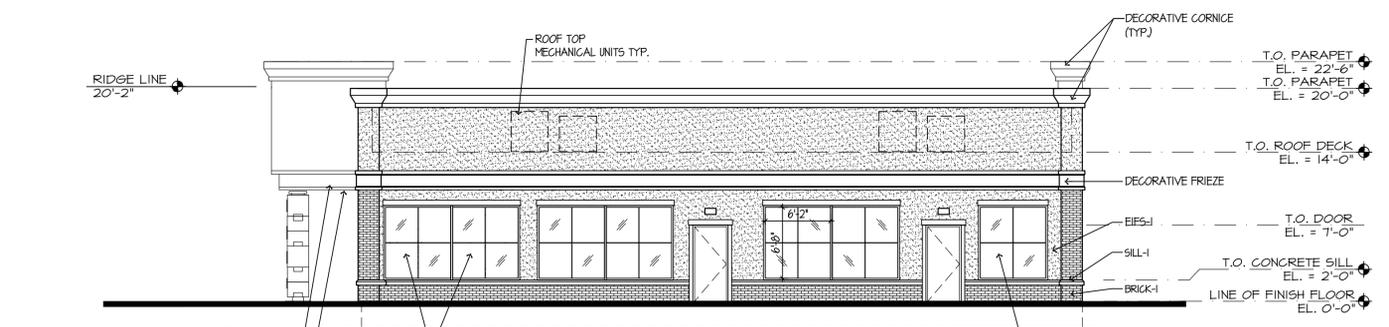
**2 NORTH ELEVATION**  
scale: 1/8"=1'-0"

**TRANSPARENCY OLD WAKE FOREST RD**

DISTRICT = CX = 33% REQUIRED TRANSPARENCY  
0'-12' AFF TOTAL AREA = 1,770 SQ FT  
1,770 SQ FT X 33% = 584 SQ FT  
584 SQ FT X 50% = 292 SQ FT OF GLASS BETWEEN 3' & 8' AFF  
615 SQ FT OF GLASS PROVIDED TOTAL  
510 SQ FT OF GLASS BETWEEN 3' & 8'

**BLANK WALL OLD WAKE FOREST RD**

DISTRICT = CX = NO MORE THAN 40% BLANK WALL  
TOTAL FACADE AREA = 2,685 SQ FT  
2,685 SQ FT X 40% = 1,074 SQ FT  
526 SQ FT BLANK WALL PROVIDED  
526 SQ FT X 1,074 SQ FT  
NO MORE THAN 30' OF UNBROKEN WALL PLAN IS PROVIDED



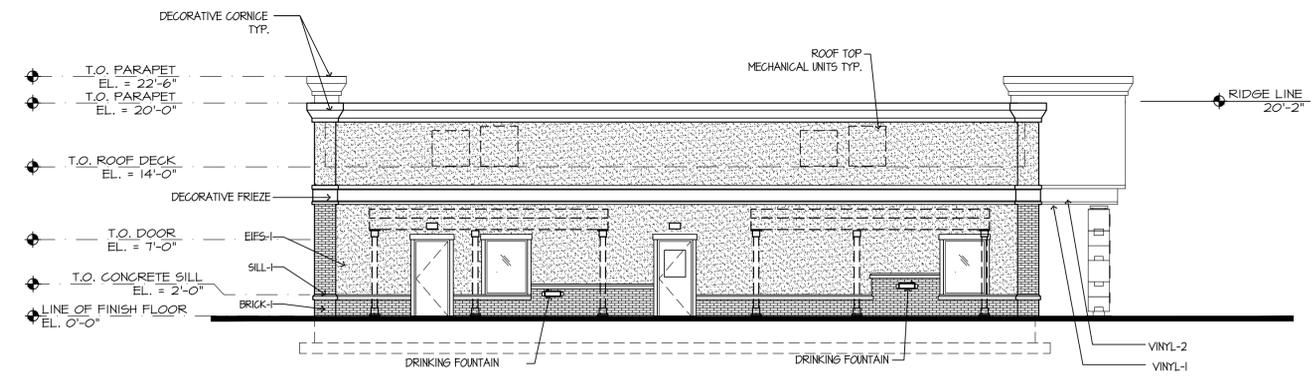
**3 EAST ELEVATION**  
scale: 1/8"=1'-0"

**TRANSPARENCY FOX ROAD**

DISTRICT = CX = 33% REQUIRED TRANSPARENCY  
0'-12' AFF TOTAL AREA = 820 SQ FT  
820 SQ FT X 33% = 271 SQ FT  
271 SQ FT X 50% = 135 SQ FT OF GLASS BETWEEN 3' & 8' AFF  
281 SQ FT OF GLASS PROVIDED TOTAL  
238 SQ FT OF GLASS BETWEEN 3' & 8'

**BLANK WALL FOX ROAD**

DISTRICT = CX = NO MORE THAN 40% BLANK WALL  
TOTAL FACADE AREA = 1,366 SQ FT  
2,685 SQ FT X 40% = 546 SQ FT  
385 SQ FT BLANK WALL PROVIDED  
385 SQ FT X 546 SQ FT  
NO MORE THAN 30' OF UNBROKEN WALL PLAN IS PROVIDED



**4 WEST ELEVATION**  
scale: 1/8"=1'-0"

**EXTERIOR MATERIAL SCHEDULE**

LABEL	MANUFACTURER	SIZE/TYPE	FINISH COLOR
STOREFRONT	KAWNEER	TRIFAB 451	BONE WHITE
DOOR	-	PER DOOR SCHEDULE	FACTORY PRIMED
FIXED WINDOW	ANDERSEN SILVERLINE 2850	PER WINDOW SCHEDULE	WHITE
BRICK-1	HANSON	LAURENCEVILLE BRICK MODULAR	COLOR: WIRECUT RED
EIFS-1	DRIVIT	-	COLOR: SANDLEWOOD BEIGE
EIFS-2	DRIVIT	-	COLOR: MATCH BRICK
SILL-1	MODERN PRECAST	3 3/4"x6" W SILL W 2" FLAT W 1/4" DRIP EDGE	COLOR: 'REGULAR' (LIGHT GREY)
VINYL-1	ROYAL BUILDING PRODUCTS	COLORSCAPES NOM. THICKNESS @.042"	TRIPLE 4 SOFFIT COLOR: WHITE PERFORATED
VINYL-2	PLASTICLAD	VINYL FRIEZE BOARD 5/4"x10' (1"x3-1/4" NET)	COLOR: WHITE
VINYL-3	FYPON	WINDOW CROSSHEAD WIDTH: 68", HEIGHT: 9"	COLOR: WHITE PRODUCT: UCH48X9N
VINYL-4	FYPON	DOOR CROSSHEAD WIDTH: 40", HEIGHT: 9"	COLOR: WHITE PRODUCT: UCH40X9N
VINYL-5	FYPON	DOOR CROSSHEAD WIDTH: 16", HEIGHT: 9"	COLOR: WHITE PRODUCT: UCH16X9N
KNOX-1	KNOX	KNOX BOX 3200 SERIES W/ RECESSED MOUNT FLANGE (REFER TO NOTE # 1 BELOW) HINGE DOOR, 4 TAMPER SWITCH	MAIN ENTRY
KNOX-2	KNOX	KNOX BOX 1650 SERIES W/ RECESSED MOUNT FLANGE (REFER TO NOTE # 1 BELOW) HINGE DOOR, 4 TAMPER SWITCH	MECHANICAL ROOM
DECORATIVE CORNICE	FYPON	DECORATIVE FOAM CORNICE	WHITE
DECORATIVE FRIEZE	FYPON	DECORATIVE FOAM FRIEZE BOARD	WHITE

FINISH SCHEDULE NOTES:  
1. GC SHALL VERIFY KNOX BOX MODEL(S) AND LOCATION(S) WITH AUTHORITY HAVING JURISDICTION PRIOR TO ORDERING/INSTALLATION.

**ISSUE**

NO.	DATE	DESCRIPTION	INT.
1	12/26/17	PLANNING DEPARTMENT	MBJ
2	2/14/17	PLANNING DEPARTMENT	MBJ

**REVISION**

NO.	DATE	DESCRIPTION	INT.

**PROFESSIONAL CERTIFICATION**  
LICENSE NUMBER: 10120  
EXPIRATION DATE: 07 JAN 2018  
MATTHEW B. JARMEL, AIA, MBA

Project Number: **TLENC-S-17-278** Scale: **AS NOTED**  
Drawn By: **JE** Approved By: **MBJ**

**EXTERIOR ELEVATIONS**

Drawing Name: **SA-2.2**  
Drawing Number: \_\_\_\_\_