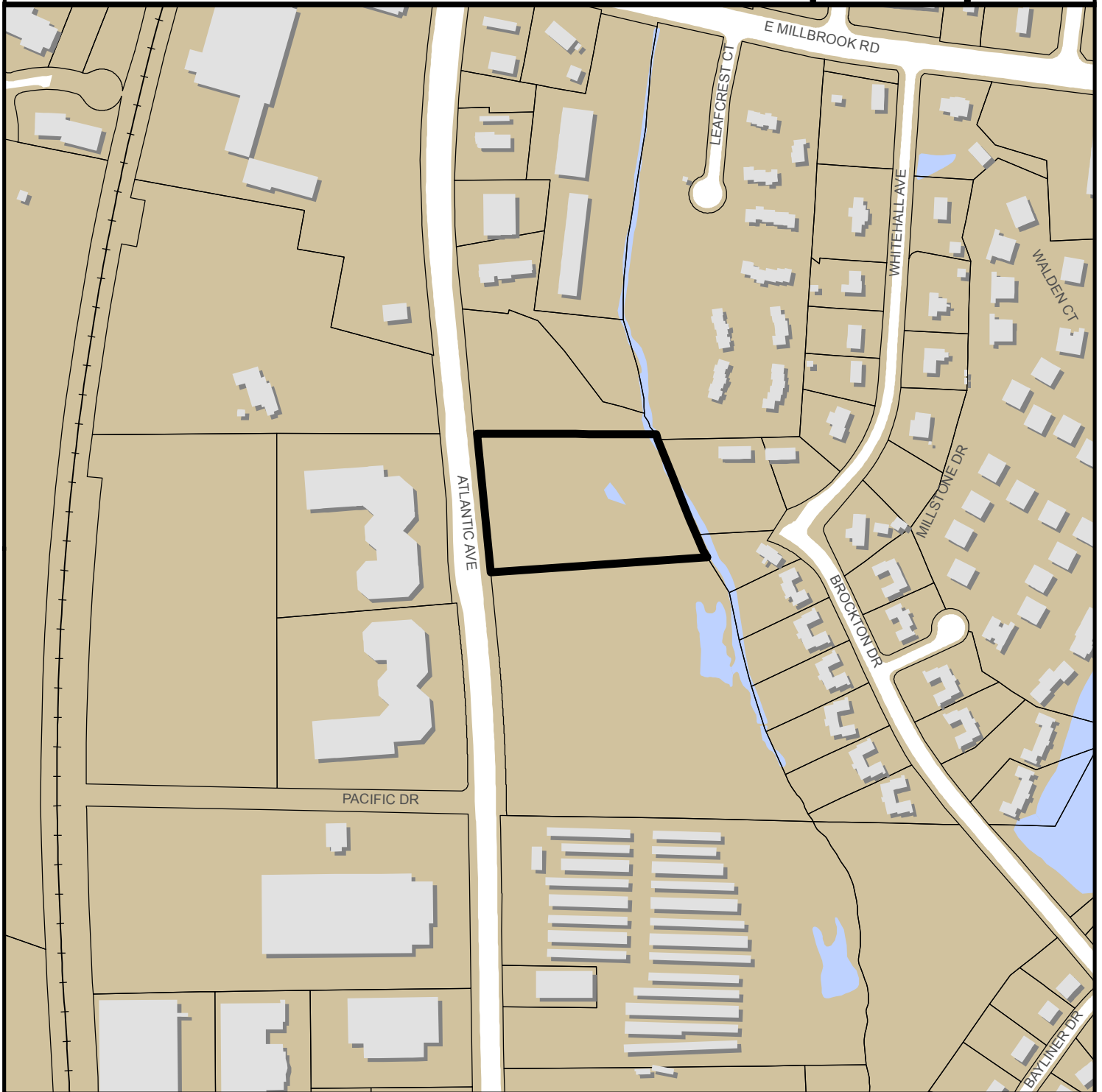


CLOSETS BY DESIGN

SR-109-2017



0 300 600 Feet

Zoning: **IX-3-PL**

CAC: **Atlantic**

Drainage Basin: **Marsh Creek**

Acreage: **4.25**

Sq. Ft.: **24,450**

Planner: **Michael Walters**

Phone: **(919) 996-2636**

Applicant: **Gary McCabe**

Phone: **(919) 779-6851**





Administrative Approval Action

AA #3792 / SR-109-17, Closets by Design
Transaction# 539567

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the east side of Atlantic Avenue, north of the intersection of Atlantic Avenue and Pacific Drive, at 4500 Atlantic Avenue.

REQUEST: Development of a 4.25 acre tract zoned IX-3-PL into a 24,450 square foot building and associated site improvements to support a light manufacturing use.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: A design adjustment has been granted providing relief from the cross-access requirements of Section 8.3.5 of the Raleigh UDO. More specifically, cross access with the adjacent parcel to the north at 4600 Atlantic Avenue. The case is DA-32-2018.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Red Line Engineering, P.C. (3/27/18)

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

PUBLIC UTILITIES

3. A Deed shall be recorded prior to concurrent approval for all necessary offsite City of Raleigh Sanitary Sewer Easements to accommodate future sewerline construction.

STORMWATER

Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

URBAN FORESTRY

4. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.



Administrative Approval Action

AA #3792 / SR-109-17, Closets by Design
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City of Raleigh
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PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

1. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Subdivisions, Recombinations, Right of Way and/or Easement Dedications, and Tree Save Areas.
2. Provide fire flow analysis.

ENGINEERING

3. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for widening of Atlantic Avenue to its ultimate section across the frontage, shall be paid to the City of Raleigh. The right-of-way dedication, slope easements and 5' utility easement were previously recorded as part of S-52-13. The fee in lieu for 1' of additional sidewalk width across the frontage was previously paid with S-52-13.
4. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering.
5. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

PUBLIC UTILITIES

6. A Final Plat must be recorded at the Wake County Register of Deeds office for all necessary Subdivisions / Recombinations, Right-of-Way, Utility / Stormwater Easement Dedications and/or Tree Save Areas

STORMWATER

19. Next Step: The flood prone areas, as approved by the City Stormwater Engineer, must be shown on the plan and shall be shown on the recorded map;

URBAN FORESTRY

20. A final inspection of required tree conservation areas by Urban Forestry staff must be completed.
21. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.



Administrative Approval Action

AA #3792 / SR-109-17, Closets by Design
Transaction# 539567

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

Prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. Next Step: All street lights and street signs required as part of the development approval are installed.
5. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
6. Next Step: Final inspection of all required Tree Conservation and right of way tree protection areas by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 5-2-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 5/2/2018

Staff Coordinator: Michael Walters

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Closets By Design
	Development Case Number	SR-109-17
	Transaction Number	539567
	Design Adjustment Number	DA - 32 - 2018
STAFF RESPONSE	Staff recommendation based upon the findings in the applicable code(s):	
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input type="checkbox"/> UDO Art. 8.5 Existing Streets
	<input type="checkbox"/> UDO Art. 8.4 New Streets	<input type="checkbox"/> Raleigh Street Design Manual
	Staff SUPPORTS <input checked="" type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.	
	DEPARTMENTS	
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning
	<input checked="" type="checkbox"/> Development Engineering <i>[Signature]</i>	<input type="checkbox"/> Transportation
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.
	<input type="checkbox"/> Public Utilities	
	CONDITIONS:	
<div style="height: 150px; border: 1px solid black;"></div>		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY		

[Signature] *DANIEL G. KULLER, PE* *5/2/18*
 Authorized Signature Senior Planning Manager Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.3 Blocks Lots, Access



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with Sec. 10.2.18. approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;
YES ☒ NO ☐
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES ☒ NO ☐
- C. The requested design adjustment does not increase congestion or compromise Safety;
YES ☒ NO ☐
- D. The requested design adjustment does not create any lots without direct street Frontage;
YES ☒ NO ☐
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- YES ☒ NO ☐

STAFF FINDINGS

There are topographical constraints in creating a cross access connection from this development associated with SR-109-17 to the adjacent lot at 4600 Atlantic Avenue. The most logical cross access connection is blocked by a recorded Tree Conservation area.

In addition, 4600 Atlantic Avenue is linked to a previously recorded subdivision (through recombination) where lots were limited driveway access due to required cross access agreements. 4600 Atlantic Avenue is isolated from those existing cross access connections due to environmental features.

When considering the 330+/- linear feet of frontage, industrial zoning and isolation from existing cross access on adjacent parcels, allowing a future driveway at 4600 Atlantic Avenue without adjacent cross access is justified in staff's opinion. These items including limitations on access points by Tree Conservation areas, staff supports a design adjustment to cross access requirements at 4500 Atlantic Avenue under case SR-109-17.

Design Adjustment Application



DEVELOPMENT
SERVICES
DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions.

This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Closets By Design		
	Case Number SR-109-17		
	Transaction Number 539567		
OWNER	Name Guy L. Lampe		
	Address P.O. Box 608		City Smithfield
	State North Carolina	Zip Code 27577	Phone
CONTACT	Name Gary J. McCabe, P.E.		Firm Red Line Engineering, P.C.
	Address 1401 Aversboro Road, Suite #210		City Garner
	State North Carolina	Zip Code 27529	Phone (919) 779-6851
REQUEST	I am seeking a Design Adjustment from the requirements set forth in the following:		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings	
	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings	
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings	
	Provide details about the request; (please attach a memorandum if additional space is needed):		
This design adjustment request is to be exempted from the cross-access requirement to the adjacent lot to the north of the property. Cross-access has been provided to the property to the south. Cross-access to the north cannot be provided due to the location of the existing Tree Conservation Area (TCA) and the steep slopes between the two properties on the northwest corner of the property, where cross-access would need to be provided.			

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request.
Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature

2-28-2018

Date

CHECKLIST	
Signed Design Adjustment Application	<input type="checkbox"/> Included
Page(s) addressing required findings	<input type="checkbox"/> Included
Plan(s) and support documentation	<input type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to
designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:

Development Services, Development Engineering
One Exchange Plaza, Suite 500
Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA -
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Article 8.3, Blocks, Lots, Access

Administrative Design Adjustment Findings



**DEVELOPMENT
SERVICES
DEPARTMENT**

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;

The project provides cross access to the lot adjacent to the south, which meets the intent of Article 8.3. However, an existing Primary Tree Conservation Area with steep topographic slopes prevents the cross-access to the north. In addition, steep slopes, greenway easements and floodplains prevent cross-access to the rear. Cross-access to the south is the only viable option.

- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;

This project has been designed to meet the Comprehensive Plan and adopted City plans, providing cross-access to the south of the proposed site. This is the only area viable for cross-access.

- C. The requested design adjustment does not increase congestion or compromise Safety;

The requested Design Adjustment does not increase congestion or compromise safety as designed because cross-access has been provided to the south. It should also be noted that driveways are spaced adequately to ensure safe ingress and egress.

- D. The requested design adjustment does not create any lots without direct street Frontage;

The proposed site and all adjacent properties all have direct street frontage on Atlantic Avenue. The design adjustment requested would not change this.

- E. The requested design adjustment is deemed reasonable due to one or more of the following:

1. Topographic changes are too steep;
2. The presence of existing buildings, stream and other natural features;
3. Site layout of developed properties;
4. Adjoining uses or their vehicles are incompatible;
5. Strict compliance would pose a safety hazard; or
6. Does not conflict with an approved or built roadway construction project
7. adjacent to or in the vicinity of the site.

An existing primary Tree Conservation Area (TCA) and steep topographic slopes prevent the cross-access to the north. Cross-access has been provided to the adjacent property to the south where no physical features prevent it. In addition, steep slopes, greenway easements and floodplains prevent cross-access to the rear. As such, cross-access to the south is the only viable option for cross-access and is already recorded.

Individual Acknowledgement



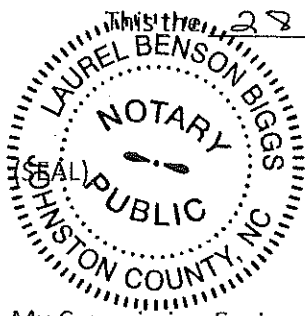
DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA

COUNTY OF Johnston

INDIVIDUAL

I, Laurel Benson Biggs, a Notary Public do hereby certify that
Guy Lampe personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.



This is the 28 day of Feb., 2018.

Notary Public

My Commission Expires: July 7, 2020

ASHLAND CONSTRUCTION CO
D.B. 9232 PG. 1770
B.M. 2002 PG. 47
PIN 1716.16-83-2003
ZONING: IX-3-PL
USE: VACANT

PROPOSED 51'10" X 600'
RIGHT OF WAY
TRIANGLE

ATLANTIC AVENUE
VARIABLE WIDTH RM

EXISTING STREET TREES
(6" SYCAMORE TO REMAIN)

PROPOSED 19'6" X 430'
RIGHT OF WAY
TRIANGLE

STREET YARD EXEMPTION: PER UDO SECTION 7.2.4.B.1.b.2, A REQUIRED STREET PROTECTIVE YARD MAY BE REPLACED WITH A TREE CONSERVATION AREA THAT MEETS THE REQUIREMENTS OF ARTICLE 9.1 TREE CONSERVATION. TREE CONSERVATION LENGTH FRONTS STREET (64' TOTAL) SHALL BE REMOVED FROM STREET TREE CALCULATIONS.

STREET TREES

REQUIRED PLANTINGS	EXISTING PLANTINGS	PROPOSED PLANTING
TCA: 368.04' - 64" = 304.04' (1 TREE/40') (304.04' = 7 TREES)	1 TREES EXISTING	6 TRIDENT MAPLES

VICINITY MAP SCALE: 1"=500'

LOCATION OF EXISTING UTILITIES AND INSTALLATION OF TREE HAS BEEN COMPLETED AND APPROVED. CONTRACTOR SHALL CALL TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK HAS BEEN COMPLETED. FENCING SHALL BE REMOVED PRIOR TO FINAL INSPECTION BY THE CITY OF RALEIGH.

SLOPES AND ALL SLOPES STEEPER THAN 3:1 SHALL BE SODDED WITH GRASS SEED (SPECIFIED BY OWNER/ENGINEER) QUANTITY OF SOD NOT SHOWN ON PLAN, BUT SHALL BE MAINTAINED UNTIL ALL SITE WORK HAS BEEN COMPLETED.

UNLESS UNAVAILABLE, AT WHICH TIME THE LANDSCAPE CONTRACTOR SHALL SUBMIT A LIST OF ANY INTENDED CHANGES OR SUBSTITUTIONS. THESE CHANGES OR SUBSTITUTIONS WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY OF RALEIGH.

CONTRACTOR SHALL BE RESPONSIBLE FOR COLLECTION, REMOVAL, AND PROPER DISPOSAL OF ANY DEBRIS FROM CONSTRUCTION AND SHALL INCLUDE SUCH COSTS IN THEIR BID FOR CONSTRUCTION.

THE EXCEPTION OF SPECIES NOTED OR TREE SAVE AREAS AS SPECIFIED ON THE PLAN SHALL BE MAINTAINED UNTIL ALL SITE WORK HAS BEEN COMPLETED.

PROPOSED PLANTING BEDS AND PLANT PITS WITH SOIL CONDITIONERS, MULCH, AND FERTILIZER SHALL BE INSTALLED PRIOR TO PLANT INSTALLATION.

NO CONSTRUCTION OR STORAGE OF VEHICLES, EQUIPMENT, OR MATERIALS SHALL BE PERMITTED WITHIN THESE AREAS WHICH MAY BE SPECIFICALLY DEFINED BY OWNER, ENGINEER OR TOWN.

CONSTRUCTION SHALL BE STAKED IN THE FIELD BY THE LANDSCAPE CONTRACTOR OR OWNER'S REPRESENTATIVE PRIOR TO PLANT INSTALLATION.

THE SPECIFIED LAYER OF MULCH TO THE DEPTH SPECIFIED ON THE PLAN SHALL BE AS SPECIFIED BY OWNER.

MAINTAIN THE SAME RELATIONSHIP TO EXISTING GRADE AS IT PREVIOUSLY WAS. MULCH SHALL BE BURLAPPED OR CONTAINER GROWN STOCK.

USE THE LATEST VERSION OF THE MINIMUM STANDARDS SET BY THE CITY OF RALEIGH, SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.

ALL PLANTINGS SHALL COMPLY WITH CITY OF RALEIGH STANDARDS, SPECIFICATIONS AND REQUIREMENTS.

ALL PLANTINGS SHALL BE MAINTAINED UNTIL ALL SITE WORK HAS BEEN COMPLETED.

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ALL PLANTINGS SHALL BE MAINTAINED UNTIL ALL SITE WORK HAS BEEN COMPLETED.

FINAL DRAWING
FOR REVIEW
PURPOSES ONLY

THIS ORIGINAL SHEET IS 30" X 42". OTHER DRAWINGS SHALL INDICATE IF HAS BEEN ALTERED. ALL INFORMATION REPRESENTED ON THIS SHEET IS THE PROPERTY OF RED LINE ENGINEERING, P.C. (C-3075). THIS INFORMATION SHALL NOT BE DUPLICATED OR REPRODUCED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM RED LINE ENGINEERING, P.C. (C-3075).

RED LINE ENGINEERING
RED LINE ENGINEERING, P.C. (C-3075)
1407 AVERA ROAD, SUITE #210
GARNER, NORTH CAROLINA 27529
PHONE: (919) 775-9851

CLOSETS BY DESIGN
4500 ATLANTIC AVENUE
RALEIGH, NORTH CAROLINA 27604

REQUIRED LANDSCAPING

REVISIONS:	DATE:
1 PER COR	2/21/18
2 PER COR	3/27/18

ISSUED FOR:	DATE:
REVIEW/PERMIT	12/15/17

PROJECT NO.: 17-010

DRAWN BY: TAL

REVIEWED BY: GJM

SHEET NUMBER:

C13

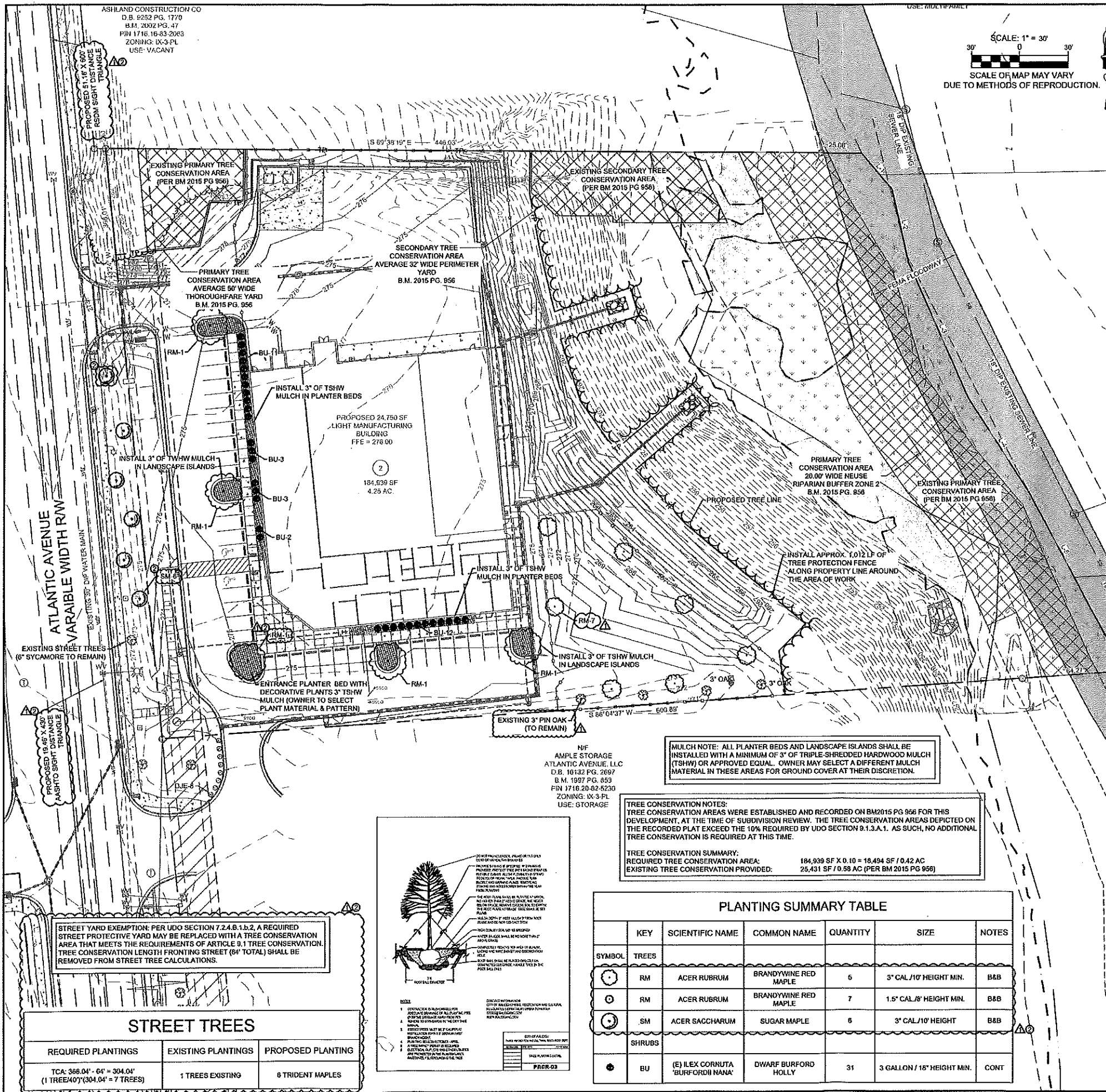
OF 14 SHEETS



Know what's below.
Call before you dig.

SHALL BE SEED, STRAW
MULCH, OR NATIVE GRASSES (I.E.
MAY BE INSTALLED AT

THIS TIME, IF AN
BE DESIGNED,



CLOSETS BY DESIGN

4500 ATLANTIC AVENUE (P.I.N. 1716-82-4702)
RALEIGH, NORTH CAROLINA 27604

ASR # SR-109-17

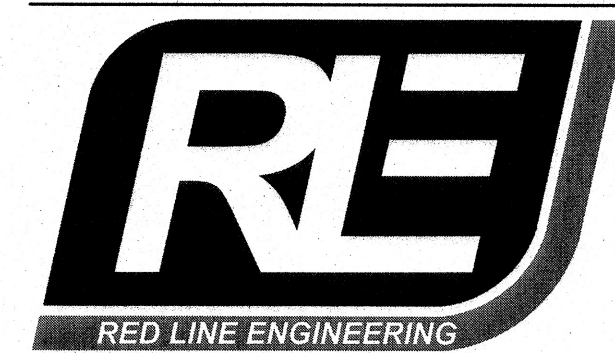
OWNER

GUY L. LAMPE
P.O. BOX 608
SMITHFIELD, NORTH CAROLINA 27577

DEVELOPER

GREGORY DEVELOPMENT, LLC.
9541 INDUSTRY DRIVE
RALEIGH, NORTH CAROLINA 27603

CIVIL ENGINEER



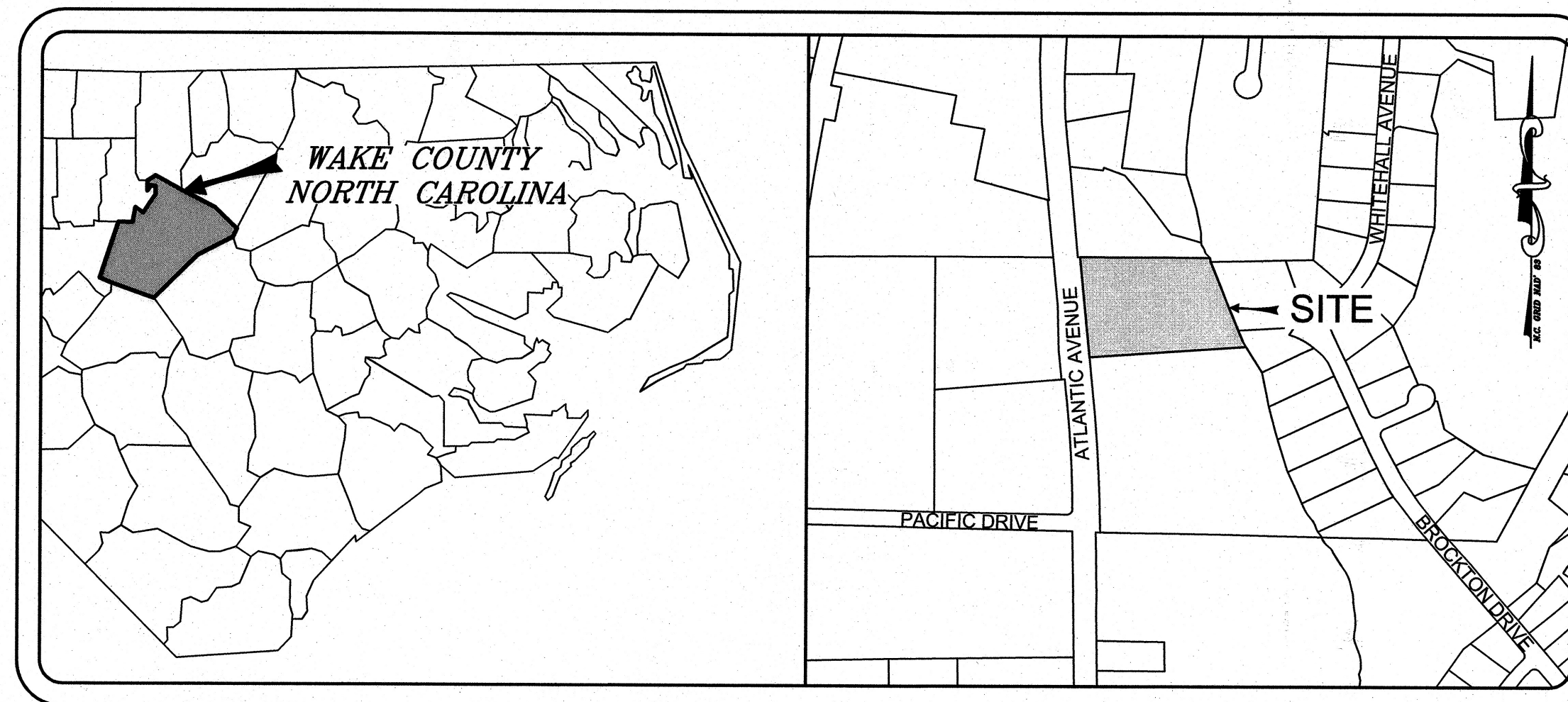
RED LINE ENGINEERING, P.C. (C-3075)
1401 AVERSBORO ROAD, SUITE 210
GARNER, NORTH CAROLINA 27529
PHONE - (919) 779-6851

SURVEYOR

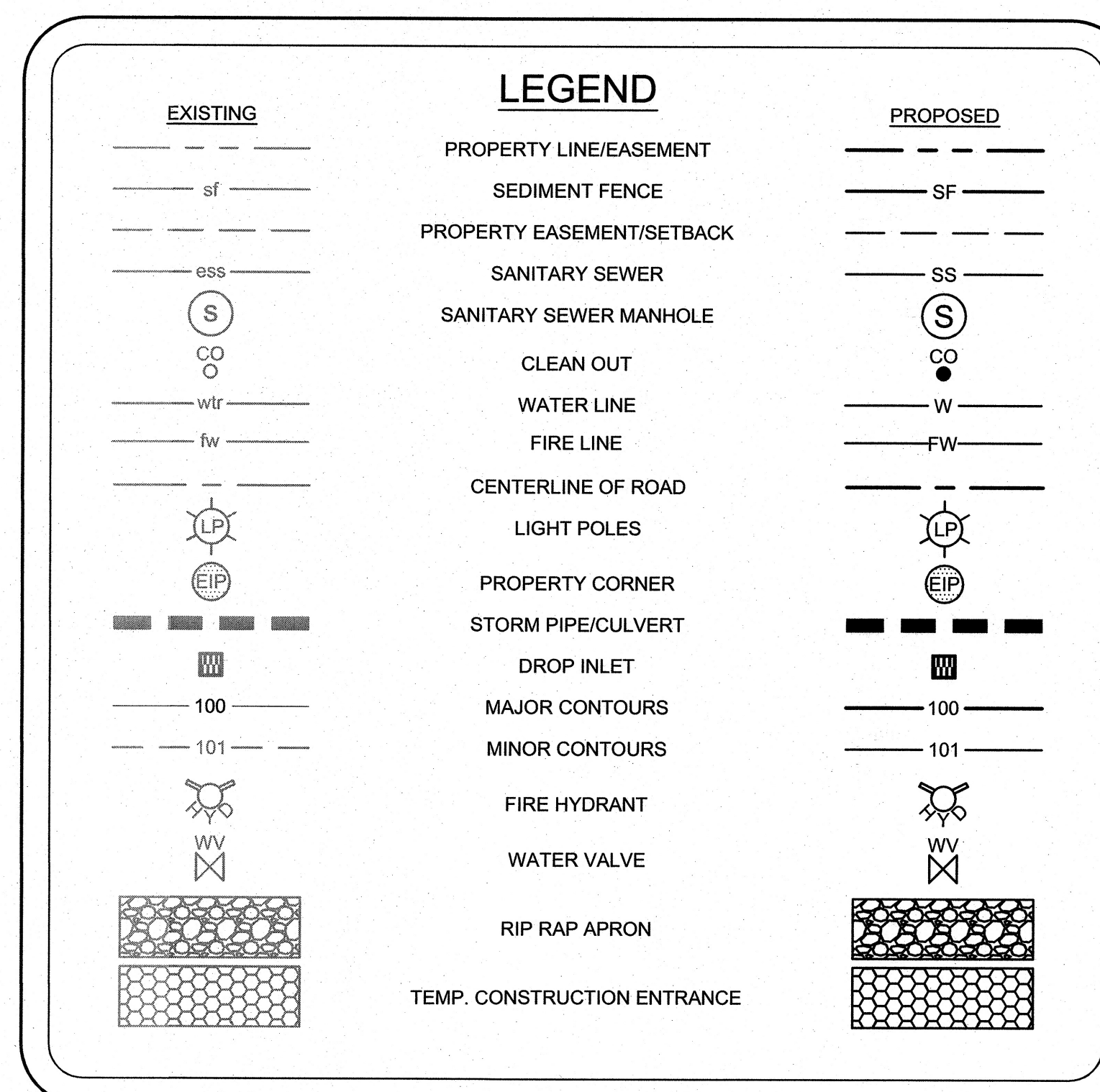
CAWTHORNE, MOSS & PANCIERA, P.C. (C-1525)
PO BOX 1253
WAKE FOREST, NORTH CAROLINA 27588
PHONE: (919) 556-3148
FAX: (919) 554-1370

SHEET INDEX

C1	COVER SHEET
C2	EXISTING CONDITIONS & DEMOLITION PLAN
C3	PROPOSED SITE PLAN
C4	PROPOSED GRADING & STORMWATER MANAGEMENT PLAN
C5	PROPOSED UTILITY IMPROVEMENTS PLAN
C6	PROPOSED SANITARY SEWER EXTENSION PLAN & PROFILE
C7	PROPOSED EROSION CONTROL PLAN
C8	SITE DETAILS
C9	C.O.R. STANDARD WATER & SEWER DETAILS
C10	STORMWATER DETAILS DETAILS
C11	EROSION CONTROL DETAILS
C12	PRELIMINARY SITE LIGHTING PLAN
C13	REQUIRED LANDSCAPING
A2.01	ARCHITECTURAL BUILDING ELEVATIONS
A2.02	ARCHITECTURAL BUILDING ELEVATIONS



VICINITY MAP
SCALE: 1"=500'



SOLID WASTE STATEMENTS:

- TRASH AND RECYCLING COLLECTION SERVICE SHALL BE PRIVATELY CONTRACTED, VIA THE PROPOSED DUMPSTER CONTAINERS SHOWN ON SITE.
- SOLID WASTE MANAGEMENT PLAN ADHERES TO APPLICABLE SECTION OF RALEIGH SOLID WASTE DESIGN MANUAL.

NOTE: ALL WORK MUST COMPLY WITH APPLICABLE NORTH CAROLINA BUILDING CODES, HANDICAPPED ACCESSIBILITY CODE VOL. 1C, AND WITH THE CITY OF RALEIGH AND NCDOT STANDARDS, DETAILS AND SPECIFICATIONS.

C.O.R. STANDARD UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
- INSTALL 1" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT/RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, is responsible for the correct and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require resubmission of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

STORMWATER EXEMPTION NOTE: THIS PROJECT IS EXEMPT FROM STORMWATER RUNOFF CONTROL PER UDO SECTION 9.2.2.E.2.g. THE EXISTING 100-YEAR FLOODPLAIN, LARGE AMOUNT OF UNDISTURBED WOODED AREAS AND ONLY 35% IMPERVIOUS AREA PROPOSED HAS NO MEASURABLE IMPACT TO THE SITE, FLOODPLAINS OR SURROUNDING AREAS. AS SUCH, A STORMWATER CONTROL MEASURE WOULD HAVE NO BENEFIT TO THE SITE AND DOWNSTREAM PROPERTIES.

Administrative Site Review Application (for UDO Districts only)



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831
Lockford Satellite Office | 1320 - 130 Lockford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Transaction Number
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Assigned Project Coordinator
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot	Assigned Team Leader
<input type="checkbox"/> Townhouse		

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

Development Name: Closets By Design

Zoning District: IX-3-PL Overlay District (if applicable): N/A Inside City Limits? ☒ Yes ☐ No

Proposed Use: Light Manufacturing

Property Address(es): 4500 Atlantic Avenue Major Street Location: Atlantic Avenue

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1716-82-4702 P.I.N. P.I.N. P.I.N.

What is your project type? ☐ Apartment ☐ Elderly Facilities ☐ Hospitals ☐ Hotels/Motels ☐ Office

☐ Mixed Residential ☐ Non-Residential Condo ☐ School ☐ Shopping Center ☐ Banks ☐ Industrial Building

☐ Light ☐ Telecommunication Tower ☐ Religious Institutions ☐ Residential Condo ☐ Retail ☐ Cottage Court

Other: if other, please describe: LIGHT MANUFACTURING

WORK SCOPE: Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.

The proposed project is to develop the vacant lot with a 24,450 sf building and associated site improvements to support a light manufacturing use.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE: Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

N/A

CLIENT/DEVELOPER/OWNER: Company Gregory Development, LLC. Name (s) Clint Gregory

Address 9541 Industry Drive, Raleigh, North Carolina 27603

Phone (919) 779-3522 Email clint@gregory-development.com Fax

CONSULTANT (Contact Person for Plans): Company Red Line Engineering, P.C. Name (s) Gary J. McCabe, P.E.

Address 1401 Aversboro Road, Suite #210, Garner, North Carolina 27529

Phone 919-779-6851 Email gary.mccabe@rle-pc.com Fax

WWW.RALEIGHNC.GOV REVISION 05.13.16

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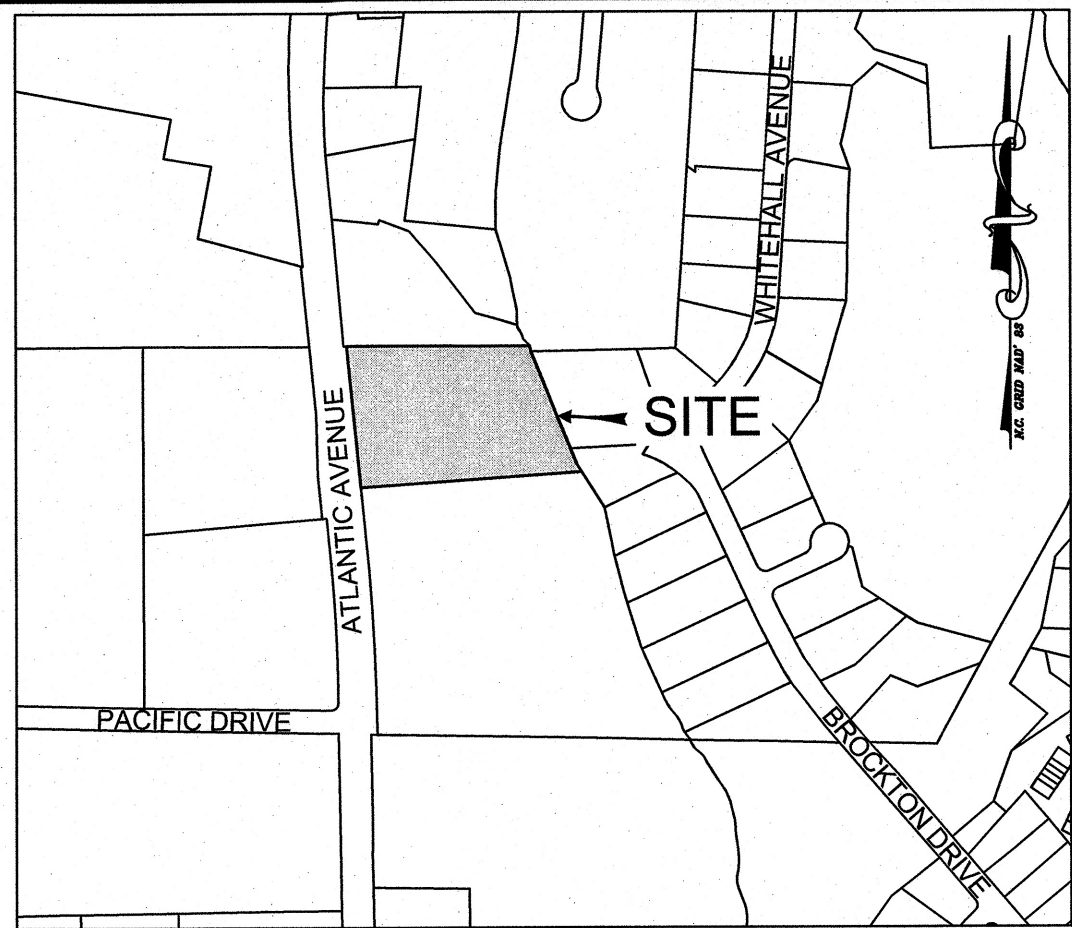
REVISION 05.13.16

- DEMOLITION NOTES
- SAW-CUT, DEMOLISH, AND REMOVE APPROX. 120 LF OF EXISTING 24" CONCRETE CURB AND GUTTER AS SHOWN.
 - SAW-CUT, DEMOLISH, AND REMOVE APPROX. 36 SY OF EXISTING ASPHALT AS SHOWN.
 - REMOVE EXISTING TREES AS SHOWN. (ONLY REMOVE TREES INDICATED, ALL OTHERS TO REMAIN).
 - RELOCATE AND REUSE APPROX. 480 LF OF EXISTING SEDIMENT FENCE AND OUTLETS TO NEW LIMITS OF DISTURBANCE (SEE EROSION CONTROL PLAN ON SHEET C7). REPLACE ANY SEDIMENT FENCE, POSTS, WIRE, AND OUTLETS THAT ARE DAMAGED.
 - SAW-CUT, DEMOLISH, AND REMOVE APPROX. 70 LF OF 5' CONCRETE SIDEWALK FOR PROPOSED DRIVEWAY.

LINE	LENGTH	BEARING
L-1	29.50'	S 40°00'40" E
L-2	46.75'	S 12°51'38" E
L-3	92.41'	S 24°07'00" E
L-4	69.21'	S 33°05'16" E
L-5	84.37'	S 27°49'31" E
L-6	42.42'	S 29°20'06" E

SCALE: 1" = 40'

SCALE OF MAP MAY VARY DUE TO METHODS OF REPRODUCTION.



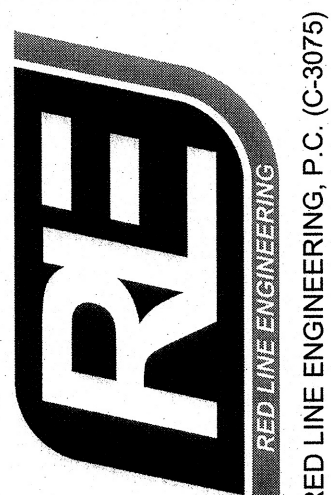
VICINITY MAP
SCALE: 1"=500'

GENERAL NOTES

- BOUNDARY & TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY CAWTHORNE, MOSS, & PANCIERA, PERFORMED BY MICHAEL A. MOSS, P.L.S. (L-3794), DATED JULY 14, 2017. INFORMATION PROVIDED FOR ENGINEERING DESIGN PURPOSES ONLY. NOT FOR SALE OR RECORDATION.
- CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE, MATERIAL AND DEPTH OF ALL EXISTING UTILITIES (ESPECIALLY THE EXISTING WATER AND SEWER MAINS) AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. ELEVATIONS INDICATED ON PLANS SHOWN AS APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIALS GENERATED THROUGH ALL CONSTRUCTION RELATED ACTIVITIES.
- ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED, AND MULCHED IN ACCORDANCE WITH NPDES STABILIZATION TABLE.
- WATER & SEWER PIPES TO BE INSTALLED IN TRENCHES ACCORDING TO THE CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
- ACCORDING TO THE SEDIMENTATION POLLUTION CONTROL ACT OF 1973 (NORTH CAROLINA GENERAL STATUTE 113A-51-60) THIS PROJECT IS SUBJECT TO AN APPROVED SEDIMENTATION AND EROSION CONTROL PLAN. TOTAL DISTURBED AREA IS APPROXIMATELY 87,600 SF > 12,000 SF, THEREFORE A WAKE COUNTY LAND DISTURBING & GRADING PERMIT IS REQUIRED.
- ALL WORK MUST COMPLY WITH APPLICABLE NCDOT STANDARDS, NORTH CAROLINA BUILDING CODES, AND CITY OF RALEIGH STANDARDS, DETAILS AND SPECIFICATIONS.
- ANY CONFLICT(S) BETWEEN ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL AND CIVIL SHEETS SHALL BE SUBMITTED BY CONTRACTOR, IN WRITING, TO BOTH ARCHITECT AND ENGINEER. WRITTEN CLARIFICATION/RESOLUTION MUST BE RECEIVED BY CONTRACTOR FROM ARCHITECT AND ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
- LATERAL SEPARATION OF SEWERS OR WATER MAINS. WATER MAINS SHALL BE LAID AT LEAST TEN (10) FEET LATERALLY FROM EXISTING OR FUTURE SEWERS, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A TEN (10) FOOT LATERAL SEPARATION -- IN WHICH CASE:
 - THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION ON THE BOTTOM OF THE WATER MAIN AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF SEWER, OR
 - THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF SEWER.
- CROSSING A WATER MAIN OVER A SEWER. WHENEVER NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN EIGHTEEN (18) INCH SEPARATION -- IN WHICH CASE, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE CROSSING.
- CROSSING A WATER MAIN UNDER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE POINT(S) OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.

FINAL DRAWING
FOR REVIEW
PURPOSES ONLY

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CLOSETS BY DESIGN
4500 ATLANTIC AVENUE
RALEIGH, NORTH CAROLINA 27604

EXISTING CONDITIONS
& DEMOLITION PLAN

REVISIONS:	DATE:
PER COR	2/21/18
PER COR	3/27/18

ISSUED FOR:	DATE:
REVIEW/PERMIT	12/15/17

PROJECT NO.:	17-010
DRAWN BY:	TAL
REVIEWED BY:	GJM
SHEET NUMBER:	



Know what's below.
Call before you dig.

C2

OF 14 SHEETS

SITE NOTES

1. INSTALL APPROX. 60 LF SEGMENTED BLOCK RETAINING WALL SOUTH OF THE PRIMARY TREE CONSERVATION AREA (BY OTHERS) (SEE DETAIL 2/C10). SEE SHEET C4 FOR ELEVATIONS.
2. INSTALL APPROX. 54 LF SEGMENTED BLOCK RETAINING WALL EAST OF THE PRIMARY TREE CONSERVATION AREA (BY OTHERS) (SEE DETAIL 2/C10). SEE SHEET C4 FOR ELEVATIONS.
3. INSTALL APPROX. 64 LF SEGMENTED BLOCK RETAINING WALL NORTH EAST OF THE PROPOSED GRAVEL YARD (BY OTHERS) (SEE DETAIL 2/C10). SEE SHEET C4 FOR ELEVATIONS.
4. INSTALL 24" CONCRETE CURB AND GUTTER AS SHOWN (APPROX. 1,172 LF TOTAL) (SEE DETAIL 2/C8).
5. INSTALL HEAVY DUTY ASPHALT IN DRIVE AISLES (SEE DETAIL 3/C8).
6. INSTALL LIGHT DUTY ASPHALT IN VEHICULAR PARKING SPACES (SEE DETAIL 4/C8).
7. LOCATION FOR PROPOSED AIR COMPRESSOR AND DUST COLLECTOR ROOM (SEE ARCHITECTURAL & STRUCTURAL PLANS FOR DETAILS).
8. PROPOSED DUMPSTER ENCLOSURE TO MATCH COLOR AND MATERIAL OF BUILDING (SEE DETAIL 3/C10 FOR LAYOUT AND ARCHITECTURAL PLANS FOR ENCLOSURE DETAILS).
9. INSTALL HEAVY DUTY ASPHALT IN SERVICE YARD ON NORTH SIDE OF BUILDING (SEE DETAIL 3/C8).
10. INSTALL APPROX. 3,300 SF (APPROX. 423 LF) 6" WIDE CONCRETE TURNDOWN SIDEWALK AROUND WEST, SOUTH, AND EAST OF PROPOSED BUILDING (SEE DETAIL 1/C8).
11. INSTALL APPROX. 582 SF (APPROX. 117 LF) 5' WIDE CONCRETE SIDEWALK FROM PUBLIC RIGHT OF WAY.
12. INSTALL 4 LONG-TERM BICYCLE PARKING SPACES UNDER CANOPY (2 "U" SHAPED RACKS) (SEE DETAILS B-20.01/C8 AND B-20.03/C8).
13. INSTALL ADA COMPLIANT PARKING SPACE AND SIGNAGE AS SHOWN. (SEE DETAILS 5/C8, 8/C8, AND 9/C8).
14. INSTALL ADA COMPLIANT WHEELCHAIR RAMP WITH DETECTABLE DOMES (TYP.) CURB TAPERS SHALL BE PAINTED YELLOW (SEE NCDOT RAMP DETAILS ON SHEET C8).
15. INSTALL CONCRETE WHEELSTOPS 30" FROM FACE OF SIDEWALK TO WHEEL FACE (SEE DETAIL 7/C8).
16. INSTALL STANDARD NCDOT STRIPED CROSSWALK (SEE DETAIL 1205.07/C8).
17. INSTALL 6" Ø CONCRETE FILLED PIPE BOLLARDS BEHIND CURB OF RAMP LANDING AT 8' O.C. (SEE DETAIL 10/C8).
18. INSTALL 7' TALL CHAIN-LINK SECURITY FENCE WITH AUTOMATIC GATE CLOSURE AROUND THE PERIMETER OF THE PROPOSED SERVICE YARD (APPROX. 503 LF TOTAL) (SEE DETAIL 1/C10) (CONTRACTOR SHALL PROVIDE AT LEAST 2-2" PVC SCH80 CONDUITS TO ACTUATOR).
19. INSTALL 4' TALL VINYL COATED CHAIN-LINK FENCE AROUND THE PERIMETER OF THE PROPOSED EMPLOYEE BREAK AREA (APPROX. 477 LF TOTAL) (OPTIONAL).
20. INSTALL 10' WIDE HEAVY DUTY CONCRETE APRON ADJACENT TO BUILDING NEAR LOADING DOORS @ 1/4" PER FOOT MAX (SEE DETAIL 11/C8 FOR DETAILS).
21. PROPOSED LOCATION OF FIRE DEPARTMENT KEY BOXES (KNOX BOX OR SIMILAR). KEY BOX LOCATED NEAR SERVICE YARD SHALL CONTAIN KEY TO AUTOMATIC GATE. KEY BOX LOCATED NEAR EMPLOYEE BREAK AREA SHALL CONTAIN KEY TO REAR PEDESTRIAN GATE.
22. INSTALL 35' FLAG POLE WITH 6" Ø X 6" CONCRETE PAD.

SCALE: 1" = 30'
SCALE OF MAP MAY VARY
DUE TO METHODS OF REPRODUCTION.

N/F
HOUSING AUTH.
CITY OF RALEIGH
D.B. 2989 PG. 368
PIN 1716.16-83-7345
ZONING: R-5
USE: MULTIFAMILY

NOTE: CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER IMMEDIATELY IF ANY CONFLICTS, INCONSISTENCIES OR AMBIGUITIES EXIST BETWEEN ARCHITECTURAL, P.M.E., STRUCTURAL & CIVIL DRAWINGS & SPECIFICATIONS. IF HIDDEN SITE CONDITIONS ARE DISCOVERED DURING CONSTRUCTION/DEMOLITION, CONTRACTOR SHALL OBTAIN WRITTEN RESOLUTION PRIOR TO PROCEEDING WITH CONSTRUCTION. OTHERWISE, CONTRACTOR PROCEEDS AT THEIR OWN RISK.

NOTE: ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH, NCDOT, AND STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS

ALL PROPOSED WHEELCHAIR RAMPS (WCR) SHALL BE BUILT IN ACCORDANCE WITH NCDOT STANDARD DRAWINGS 848.05 & 848.06

RETAINING WALL NOTE: CONTRACTOR SHALL PROVIDE RETAINING WALL DESIGN SEALED BY NORTH CAROLINA PROFESSIONAL ENGINEER AT TIME OF BUILDING PERMIT SUBMITTAL. SEE SHEET C4 FOR WALL ELEVATIONS.

VICINITY MAP SCALE: 1"=500'

SITE PLAN INFORMATION:

1. NAME:
2. STREET ADDRESS:
3. P.I.N.:
4. LAND USE (EXISTING/PROPOSED):
5. TOTAL NUMBER OF LOTS:
6. TOTAL AREA:
7. DISTURBED AREA:
8. CURRENT/PROPOSED ZONING:
9. PROPOSED BUILDING LOT COVERAGE:
10. BUILDING SETBACKS:

11. PRIMARY STREET BUILD-TO (MIN/MAX):
12. REQUIRED PRIMARY BUILD-TO WIDTH (60% PER UDO SEC. 3.4.5.C.2)
13. INSIDE CITY LIMITS:
14. INSIDE FLOOD HAZARD BOUNDARY:
15. BUILDING SQUARE FOOTAGE & USE:
16. OUTDOOR AMENITY AREA (MIN):
17. PROPOSED PARKING REQUIREMENTS: LIGHT MANUFACTURING OFFICE SPACE

- WAREHOUSE SPACE
- TOTAL SPACES REQUIRED
- MAXIMUM SPACES ALLOWED
- TOTAL SPACES PROVIDED
18. PROPOSED BICYCLE PARKING REQUIRED: SHORT-TERM PARKING REQUIRED
 - LONG-TERM PARKING REQUIRED LIGHT MANUFACTURING
 - LONG-TERM BICYCLE PARKING PROVIDED:

19. IMPERVIOUS SURFACE AREA: EXISTING: PROPOSED: TOTAL:
19. INSIDE FALLS LAKE OR SWIFT CREEK DRAINAGE AREA:
20. OWNER:
21. DEVELOPER:

CLOSETS BY DESIGN
4500 ATLANTIC AVENUE
RALEIGH, NORTH CAROLINA 27604
1716-82-4702
VACANT/ LIGHT MANUFACTURING
1
184,939 SF/4.25 ACRES
116,808 SF/2.68 ACRES
IX-3-PL/IX-3-PL
13%
FRONT - 8 FT.
SIDE - 0 FT. OR 6 FT.
REAR - 0 FT. OR 6 FT.
(07/100')
368.01 FT - 64 FT TCA = 304.01'50"=152 FT
(UDO SECTION 1.5.6.C.4)
(175/304.01')*100% = 58%
YES
YES (PER FEMA MAP #3720171600J)
EFFECTIVE DATE: MAY 2, 2006
10,550 SF OFFICE
14,200 SF WAREHOUSE SPACE
24,750 SF TOTAL
0.10 * (184,939 SF) = 18,493.9 SF
18,494 SF MINIMUM
18,913 SF PROPOSED

(1 SPACE / 600 SF)
X (10,550 SF)
17.58 SPACES (18 SPACES REQUIRED)

(1 SPACE / 3,000 SF)
X (14,200 SF)
4.73 SPACES (5 SPACES REQUIRED)

23 SPACES TOTAL
(23 SPACES)
X 1.50
34.50 SPACES (35 SPACES ALLOWED)

35 SPACES PROPOSED

(1 SPACE / 40,000 SF GROSS FLOOR AREA)
X (24,750 SF)
0.62 SPACES (1 SPACE REQUIRED)

4 SPACES MINIMUM (PER SECTION 7.1.2 COR UDO)
(PROVIDED INSIDE WAREHOUSE)

GUY L. LAMPE
P.O. BOX 608
SMITHFIELD, NC 27577

GREGORY DEVELOPMENT
9541 INDUSTRY DRIVE
RALEIGH, NC 27603



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FINAL DRAWING
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4500 ATLANTIC AVENUE
RALEIGH, NORTH CAROLINA 27604

PROPOSED SITE PLAN

REVISIONS:	DATE:
1 PER COR	2/21/18
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ISSUED FOR:	DATE:
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PROJECT NO.:	17-010
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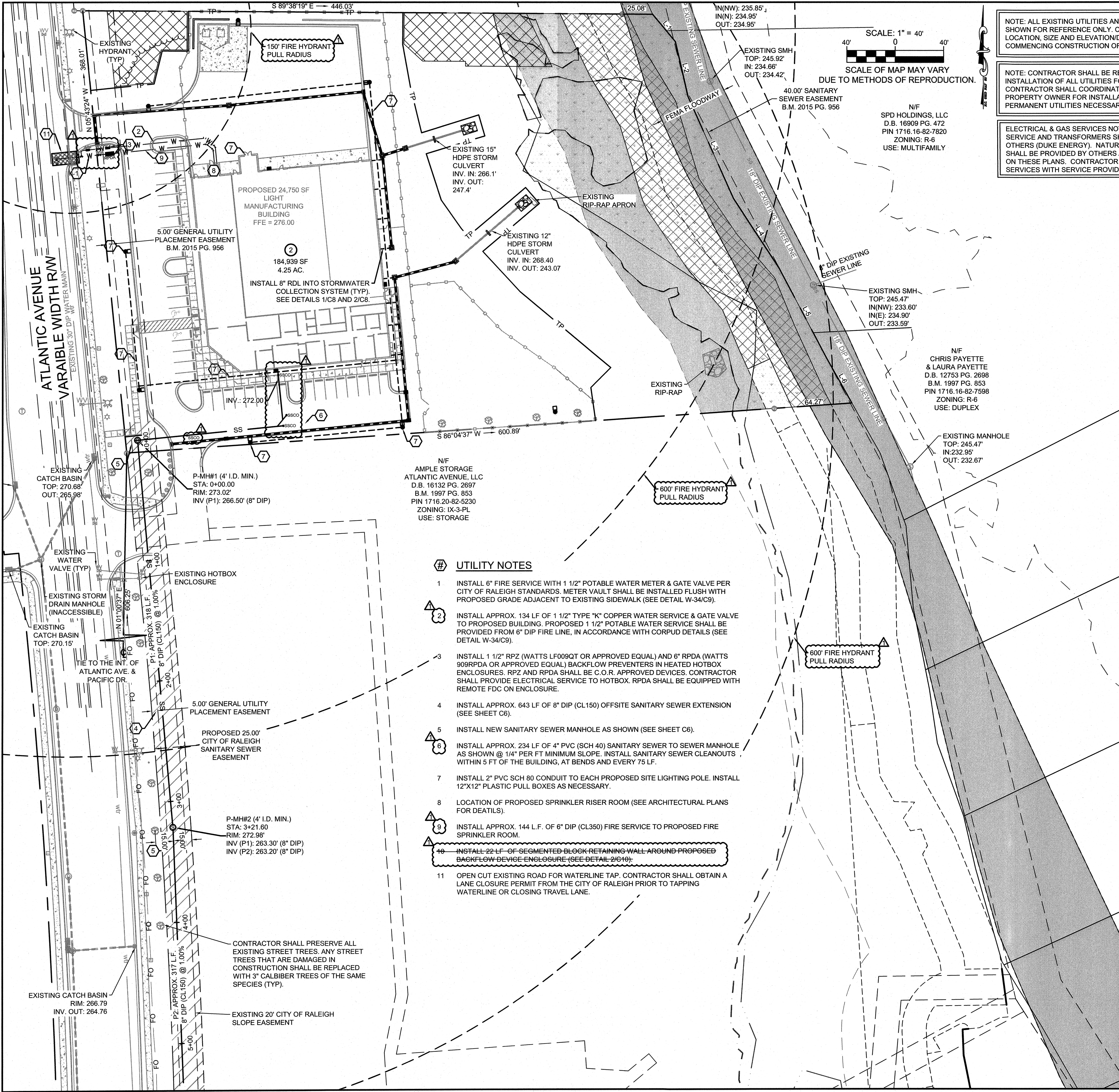
SHEET NUMBER:

C3

OF 14 SHEETS

TREE CONSERVATION NOTES:
TREE CONSERVATION AREAS WERE ESTABLISHED AND RECORDED ON BM2015 PG 956 FOR THIS DEVELOPMENT, AT THE TIME OF SUBDIVISION REVIEW. THE TREE CONSERVATION AREAS DEPICTED ON THE RECORDED PLAT EXCEED THE 10% REQUIRED BY UDO SECTION 9.1.3.A.1. AS SUCH, NO ADDITIONAL TREE CONSERVATION IS REQUIRED AT THIS TIME.

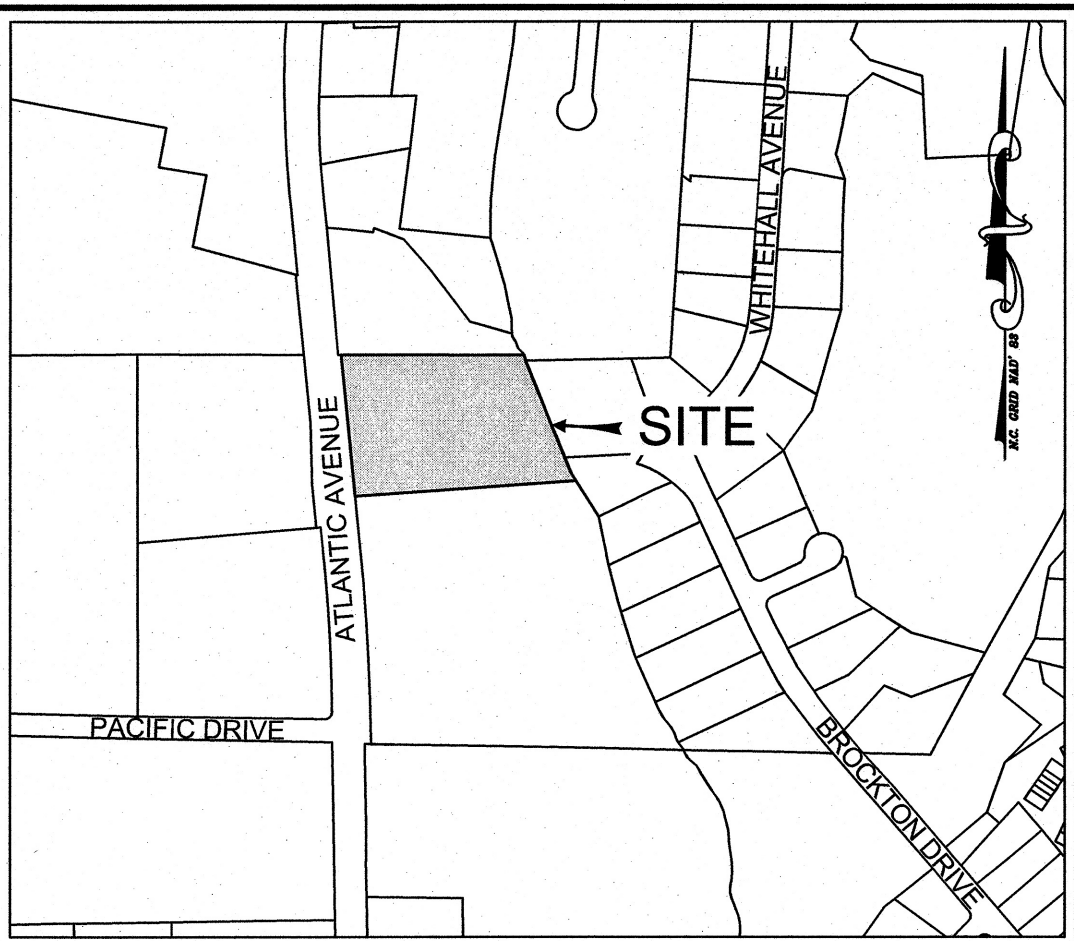
TREE CONSERVATION SUMMARY:
REQUIRED TREE CONSERVATION AREA: 184,939 SF X 0.10 = 18,494 SF / 0.42 AC
EXISTING TREE CONSERVATION PROVIDED: 25,431 SF / 0.58 AC (PER BM 2015 PG 956)



NOTE: ALL EXISTING UTILITIES AND ELEVATIONS OF UTILITIES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE AND ELEVATION/DEPTH OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION OR DEMOLITION.

NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND INSTALLATION OF ALL UTILITIES FOR THE PROPOSED BUILDING. CONTRACTOR SHALL COORDINATE BETWEEN UTILITY PROVIDERS AND PROPERTY OWNER FOR INSTALLATION OF ALL TEMPORARY AND PERMANENT UTILITIES NECESSARY FOR THE PROJECT.

ELECTRICAL & GAS SERVICES NOTE: ELECTRICAL SERVICE AND TRANSFORMERS SHALL BE PROVIDED BY OTHERS (DUKE ENERGY). NATURAL GAS SERVICE SHALL BE PROVIDED BY OTHERS AND IS NOT SHOWN ON THESE PLANS. CONTRACTOR SHALL COORDINATE SERVICES WITH SERVICE PROVIDERS DIRECTLY.



VICINITY MAP
SCALE: 1"=500'

C.O.R. STANDARD UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 8" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 1" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.00% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT/RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409, and the **Public Utilities Department** at (919) 996-4540 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for **Inspection, Install a Downstream Plug**, have **Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.

Public

Sewer Collection / Extension System
The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # _____
Authorization to Construct
Date _____

FINAL DRAWING
FOR REVIEW
PURPOSES ONLY

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CLOSETS BY DESIGN
4500 ATLANTIC AVENUE
RALEIGH, NORTH CAROLINA 27604

PROPOSED UTILITY IMPROVEMENTS

REVISIONS:	DATE:
1 PER COR	2/21/18
2 PER COR	3/27/18

ISSUED FOR:	DATE:
REVIEW/PERMIT	12/15/17

PROJECT NO.:	17-010
DRAWN BY:	TAL
REVIEWED BY:	GJM

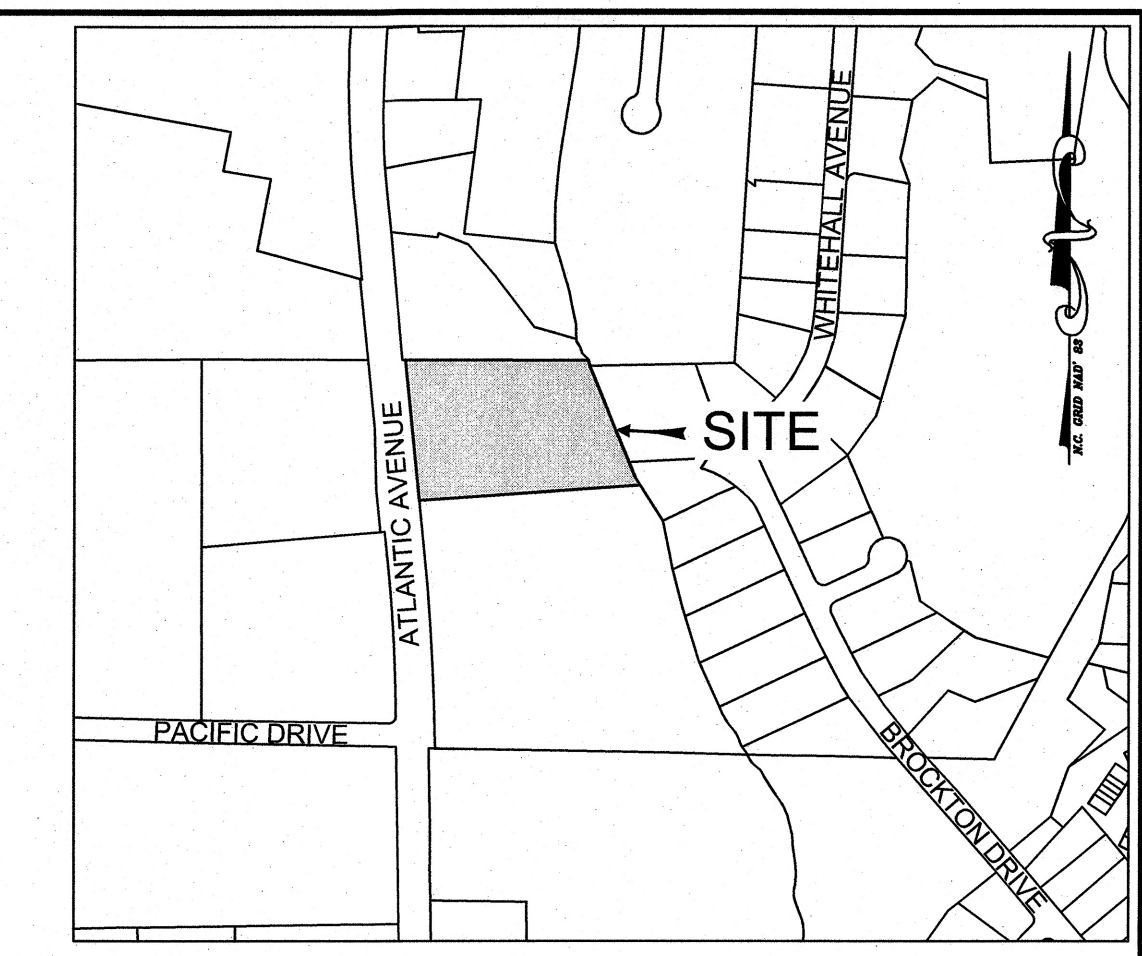
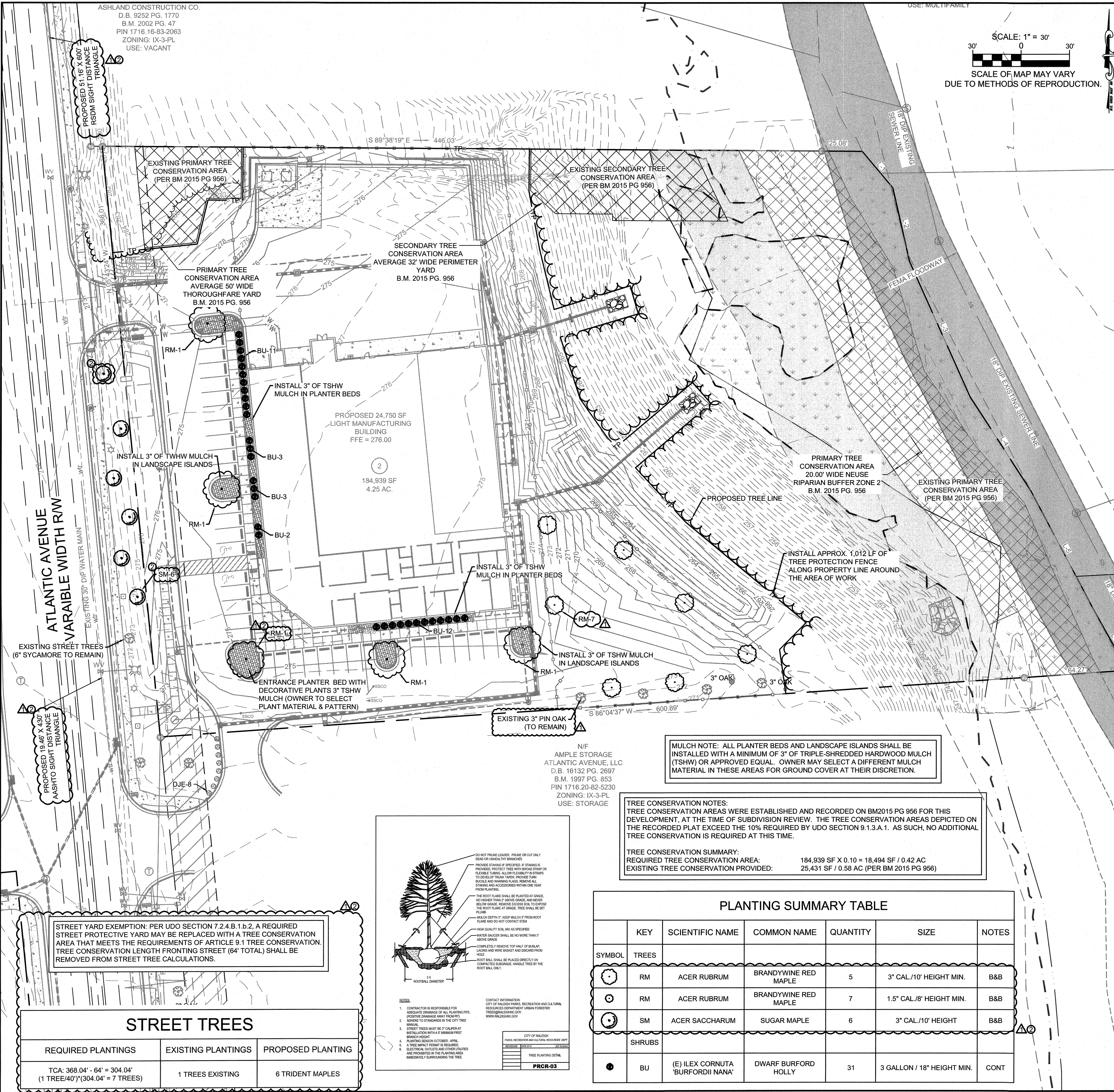
SHEET NUMBER:

C5

OF 14 SHEETS



Know what's below.
Call before you dig.



VICINITY MAP
SCALE: 1"=500'

GENERAL LANDSCAPE NOTES:

1. NO CONSTRUCTION SHALL BEGIN PRIOR TO LOCATION OF EXISTING UTILITIES AND INSTALLATION OF TREE PROTECTION FENCING (WHEN REQUIRED) HAS BEEN COMPLETED AND APPROVED. CONTRACTOR SHALL CALL NC-ONE CALL AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. WHEN REQUIRED, TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK HAS BEEN COMPLETED, HOWEVER, THE TREE PROTECTION FENCING SHALL BE REMOVED PRIOR TO FINAL INSPECTION BY THE CITY OF RALEIGH FOR ISSUANCE OF CERTIFICATE OF OCCUPANCY.
3. ALL DISTURBED AREAS NOT IN PLANTING BEDS AND ALL SLOPES STEEPER THAN 3:1 SHALL BE SODDED WITH CENTIPEDE SOD (UNLESS OTHERWISE SPECIFIED BY OWNER/ENGINEER) QUANTITY OF SOD NOT SHOWN ON PLAN, CONTRACTOR SHALL FIELD VERIFY QUANTITY PRIOR TO INSTALLATION.
4. PLANT MATERIAL SHALL BE AS SPECIFIED UNLESS UNAVAILABLE, AT WHICH TIME THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR ENGINEER IN WRITING OF ANY INTENDED CHANGES OR SUBSTITUTIONS. THERE SHALL BE NO CHANGES, DELETIONS, ADDITIONS OR SUBSTITUTIONS WITHOUT THE PRIOR WRITTEN CONSENT OF THE OWNER OR OWNER'S REPRESENTATIVE.
5. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COLLECTION, REMOVAL, AND PROPER DISPOSAL OF ANY AND ALL DEBRIS GENERATED THROUGHOUT CONSTRUCTION AND SHALL INCLUDE SUCH COSTS IN THEIR BID FOR THE PROJECT.
6. ALL EXISTING VEGETATION ON SITE, WITH THE EXCEPTION OF SPECIES NOTED OR TREE SAVE AREAS AS INDICATED, SHALL BE REMOVED PRIOR TO INSTALLATION OF NEW PLANT MATERIAL.
7. LANDSCAPE CONTRACTOR SHALL AMEND PROPOSED PLANTING BEDS AND PLANT PITS WITH SOIL CONDITIONERS. SOIL CONDITIONERS SHALL BE APPLICABLE TO THE GEOGRAPHIC AREA AND SHALL COMPLY WITH THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
8. LANDSCAPE CONTRACTOR SHALL LIMIT DISTURBANCE WITHIN THE DRIP-LINE OF EXISTING TREES, OR TREE SAVE AREAS, AS NOTED ON THE PLANS. NO TEMPORARY OR PERMANENT STORAGE OF VEHICLES, EQUIPMENT, MACHINERY, OR ITEMS ASSOCIATED WITH CONSTRUCTION IS PERMITTED WITHIN THESE AREAS WHICH MAY BE INDICATED AS "TREE PROTECTION AREA" OR AS SPECIFICALLY DEFINED BY OWNER, ENGINEER OR TOWN.
9. ALL PLANT BEDS AND SEED/SOD LINE LOCATION SHALL BE STAKED IN THE FIELD BY THE LANDSCAPE CONTRACTOR AND APPROVED BY THE ENGINEER, OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANT INSTALLATION.
10. ALL PLANTINGS SHALL BE INSTALLED WITH THE SPECIFIED LAYER OF MULCH TO THE DEPTH SPECIFIED ON THE LANDSCAPE PLAN; MULCH TYPE/MATERIAL SHALL BE AS SPECIFIED BY OWNER.
11. ALL NEWLY PLANTED MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO EXISTING GRADE AS IT PREVIOUSLY BORE FROM NURSERY, WHETHER BALLED AND BURLAPPED OR CONTAINER GROWN STOCK.
12. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE LATEST VERSION OF THE MINIMUM STANDARDS SET BY THE U.S.D.A. STANDARDS FOR NURSERY STOCK, SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
13. ALL LANDSCAPE MATERIAL INSTALLATION SHALL COMPLY WITH CITY OF RALEIGH STANDARDS, SPECIFICATIONS AND DETAILS.
14. NO TREE SHALL BE LOCATED WITHIN 10' OF A LIGHTING LOCATION, WITHIN THE PUBLIC RIGHT OF WAY OR WITHIN THE SIGHT DISTANCE TRIANGLES.

LANDSCAPE MAINTENANCE PLAN:

1. THE OWNERS OF THE PROPERTY AND THEIR AGENTS, HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PRESERVATION AND MAINTENANCE OF ALL PLANTINGS AND PHYSICAL FEATURES SHOWN ON THE APPROVED PLANS. THE OWNERS SHALL BE RESPONSIBLE FOR ANNUAL MAINTENANCE OF THE VEGETATION TO INCLUDE BUT NOT LIMITED TO:
 - A. FERTILIZATION: FERTILIZE LAWNS TWICE PER YEAR (FEBRUARY 15-MARCH 15 AND AGAIN IN SEPT. 1-OCT. 31) ACCORDING TO SOIL TEST RESULTS. FERTILIZE WARM SEASON GRASSES ONCE DURING GROWING SEASON PER SOIL TEST.
 - B. PRUNING: PRUNING SHALL BE LIMITED TO REMOVAL OF DEAD OR DAMAGED WOOD OR BRANCHES FOR TREES OR FOR SIGHT DISTANCES/SAFETY REASONS. THE SHIGO STANDARDS SHOULD BE ADHERED TO. THE PRUNING OF SHRUBS SHALL BE LIMITED TO THE PRUNING NECESSARY TO MAINTAIN THE NATURAL SHAPE OF PLANT EXCEPT FOR SHEARED HEDGES.
 - C. PEST CONTROL: PRE-EMERGENT WEED CONTROL FOR LAWNS AND SHRUB BEDS MAY BE APPLIED IN FEBRUARY. CHEMICAL TREATMENT FOR INSECT INFESTATION AND DISEASE MAY BE APPLIED AND SHALL BE SPECIFIC TO THE PROBLEM. POST-EMERGENT WEED CONTROL MAY BE APPLIED AS NEEDED IN MULCHED AND LANDSCAPED AREAS TO MAINTAIN ACCEPTABLE APPEARANCE.
 - D. MULCHING: MULCHING SHALL BE MAINTAINED AT A DEPTH OF 3-4" IN PLANTING BEDS AND SHALL BE REAPPLIED EVERY YEAR.
 - E. MOWING: PRIMARY FESCUE LAWNS SHALL BE MAINTAINED AT A HEIGHT OF 3". SECONDARY TURF AREAS MAY BE MAINTAINED HIGHER AND LESS FREQUENTLY. WARM SEASON GRASSES SHALL BE MOWED AS NEEDED DURING THE GROWING SEASON TO MAINTAIN THE RECOMMENDED HEIGHT OF THE SPECIES OF TURF GRASS.
 - F. PLANT PROTECTION: AVOID EXCESS INTRUSION INTO THE CRITICAL ROOT ZONE AREA OF ESTABLISHED/MATURE VEGETATION.
 - G. WATERING: CONTRACTOR SHALL WATER ALL VEGETATION BY HAND AS NECESSARY TO ESTABLISH AND MAINTAIN THE NEW PLANTINGS FOR A PERIOD OF 1 YEAR.
 - H. WARRANTY: CONTRACTOR SHALL WARRANTY ANY AND ALL PLANTINGS FOR A PERIOD OF 3 YEARS. AT THE OWNER'S SOLE DISCRETION, THE CONTRACTOR SHALL REPLACE ANY AND ALL LANDSCAPE MATERIALS DEEMED TO BE UNACCEPTABLE, DAMAGED OR DEAD.

SEED/SOD NOTE: ALL DISTURBED AREAS SHALL BE SEED, STRAW AND TACKED WITH DROUGHT TOLERANT NATIVE GRASSES (I.E. CENTIPEDE, ZOYSIA, BERMUUDA, ETC.) SOD MAY BE INSTALLED AT THE OWNER'S DISCRETION.

NO IRRIGATION SYSTEM IS PROPOSED AT THIS TIME. IF AN IRRIGATION SYSTEM IS DESIRED, IT SHALL BE DESIGNED, PERMITTED AND INSTALLED BY OTHERS.



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4500 ATLANTIC AVENUE
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REQUIRED LANDSCAPING

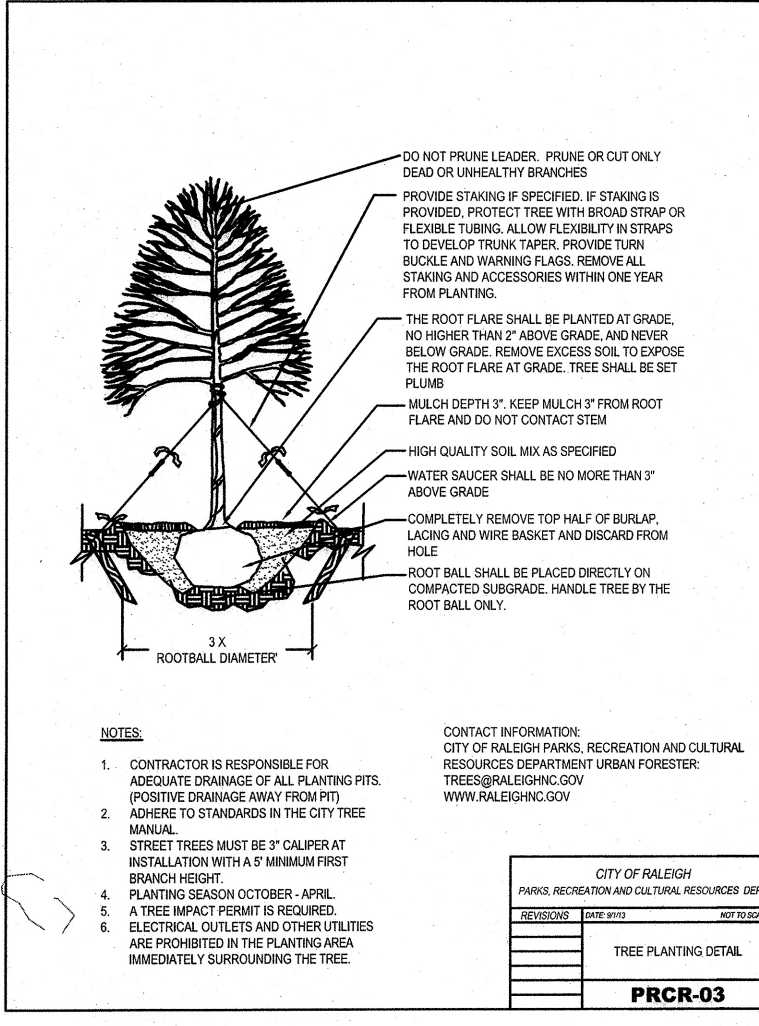
REVISIONS:	DATE:
1. PER COR	2/21/18
2. PER COR	3/27/18

ISSUED FOR:	DATE:
REVIEW/PERMIT	12/15/17

PROJECT NO.:	17-010
DRAWN BY:	TAL
REVIEWED BY:	GJM

SHEET NUMBER:	C13
	OF 14 SHEETS

STREET TREES		
REQUIRED PLANTINGS	EXISTING PLANTINGS	PROPOSED PLANTING
TCA: 368.04' - 64' = 304.04' (1 TREE/40') (304.04' = 7 TREES)	1 TREES EXISTING	6 TRIDENT MAPLES



TREE CONSERVATION NOTES:
TREE CONSERVATION AREAS WERE ESTABLISHED AND RECORDED ON BM2015 PG 956 FOR THIS DEVELOPMENT, AT THE TIME OF SUBDIVISION REVIEW. THE TREE CONSERVATION AREAS DEPICTED ON THE RECORDED PLAT EXCEED THE 10% REQUIRED BY UDO SECTION 9.1.3.A.1. AS SUCH, NO ADDITIONAL TREE CONSERVATION IS REQUIRED AT THIS TIME.

TREE CONSERVATION SUMMARY:
REQUIRED TREE CONSERVATION AREA: 184,939 SF X 0.10 = 18,494 SF / 0.42 AC
EXISTING TREE CONSERVATION PROVIDED: 25,431 SF / 0.58 AC (PER BM 2015 PG 956)

PLANTING SUMMARY TABLE						
SYMBOL	KEY	SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE	NOTES
	RM	ACER RUBRUM	BRANDYWINE RED MAPLE	5	3" CAL./10' HEIGHT MIN.	B&B
	RM	ACER RUBRUM	BRANDYWINE RED MAPLE	7	1.5" CAL./8' HEIGHT MIN.	B&B
	SM	ACER SACCHARUM	SUGAR MAPLE	6	3" CAL./10' HEIGHT	B&B
	SHRUBS					
	BU	(E) ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	31	3 GALLON / 18" HEIGHT MIN.	CONT