



Administrative Approval Action

SR-110-18/Franklin Christoph.
Transaction# 577653 AA#3963

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Durant Road, south of Preslyn Drive (at 4550 Preslyn Drive).

REQUEST: Development of a vacant 1.41-acre tract zoned IX-3 into a new proposed 12,042 gross square foot general building to be used for light manufacturing.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: Design Adjustment DA-15-2019 was approved for the following:

- Block Perimeter

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 3/29/2019 by Red Line Engineering.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

CONCURRENT SITE REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Concurrent Site Review plans:

General

1. Sheets A2.01 and A2.02 shall be revised such that the total overall square footage for the “total square footage of façade” column, is corrected and revised accordingly to reflect the correct sum.
2. Per UDO 1.5.7.A.6 & TC-17-16, the applicant demonstrates that 50% or more of perimeter wall area is located below grade, based on the calculations and overall “total SF façade” square footages shown on Sheet A2.01, A2.02.

Engineering

3. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.



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Stormwater

4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input type="checkbox"/>	City Code Covenant	<input checked="" type="checkbox"/>	Slope Easement
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input checked="" type="checkbox"/>	Utility Placement Easement	<input type="checkbox"/>	Cross Access Easement
<input type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other: insert name here

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
2. A 20-foot slope easement at the North East corner of the property to allow future connection to the sidewalk.



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Stormwater

3. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

BUILDING PERMITS – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats but cannot be approved.

Engineering

1. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.
2. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

Stormwater

3. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 4 street trees along Preslyn Drive.

The following are required prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.



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3. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. All street lights and street signs required as part of the development approval are installed.
5. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
6. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
7. Final inspection of all right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 5-15-2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 5/15/19

Staff Coordinator: Jermont Purifoy

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Franklin-Christoph	
	Development Case Number	SR-110-18	
	Transaction Number	577653	
	Design Adjustment Number	DA - 15 - 2019	
STAFF RESPONSE	Staff recommendation based upon the findings in the applicable code(s):		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	<input checked="" type="checkbox"/> Raleigh Street Design Manual	
	Staff <input checked="" type="checkbox"/> SUPPORTS <input type="checkbox"/> DOES NOT SUPPORT the design adjustment request.		
	DEPARTMENTS		
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering	<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.	
	<input type="checkbox"/> Public Utilities		
	CONDITIONS:		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			



DANIEL G. KINSCH, PE
 ENGINEERING REVIEW MANAGER

 5/15/19
 Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.3 Blocks Lots, Access



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*. approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise Safety;
YES NO
- D. The requested design adjustment does not create any lots without direct street Frontage;
YES NO
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- YES NO

STAFF FINDINGS

Staff supports the request for relief pertaining to block perimeter standards. Based on the location of this property and where a street extension would occur, it would be constructed to the south towards existing stormwater measures provided on lot PIN 1727780821. Any future connections and extension of a stub street in this location would be extremely limited by the existing stormwater facility and grades on the adjacent site.

Staff Response

Article 8.5 Existing Streets



DEVELOPMENT
SERVICES
DEPARTMENT

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise safety;
YES NO
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
YES NO
- E. The requested design adjustment has been designed and certified by a Professional Engineer.
YES NO

STAFF FINDINGS

Staff supports the request for an alternate streetscape proposal and relief from additional public right-of-way dedications across the property frontage. The existing parcels part of the industrial neighborhood have previously been developed with streetscape and public right-of-way dedications previously established. Any deviations to what has previously been constructed/dedicated would cause an unfavorable transition along a property with limited frontage when taking into consideration the entire developed area.

Staff Response Raleigh Street Design Manual



DEVELOPMENT
SERVICES
DEPARTMENT

- A. The requested design adjustment meets the intent of the Raleigh Street Design Manual;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise safety;
YES NO
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
YES NO
- E. The requested design adjustment has been designed and certified by a Professional Engineer.
YES NO

STAFF FINDINGS

Staff supports the request for an alternate streetscape proposal and relief from additional public right-of-way dedications across the property frontage. The existing parcels part of the industrial neighborhood have previously been developed with streetscape and public right-of-way dedications previously established. Any deviations to what has previously been constructed/dedicated would cause an unfavorable transition along a property with limited frontage when taking into consideration the entire developed area.

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Franklin-Christoph	
	Case Number SR-110-18	
	Transaction Number 577653	
OWNER	Name SC Franklin Holding Company, LLC	
	Address 12339 Wake Union Church Road, Suite #111	City Wake Forest
	State North Carolina	Zip Code 27587
CONTACT	Name Gary J. McCabe, P.E.	Firm Red Line Engineering, P.C.
	Address 1401 Aversboro Road, Suite #210	City Garner
	State North Carolina	Zip Code 27529
REQUEST	Phone	
	I am seeking a Design Adjustment from the requirements set forth in the following:	
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings
	<input checked="" type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings
Provide details about the request; (please attach a memorandum if additional space is needed):		
This design adjustment request is to be exempt from the right of way dedication requirements for the existing street Preslyn Drive and to match the streetscape improvements of the property to the west. This design adjustment request is also to be exempt from block perimeter requirements. Please see attached Design Adjustment Summary.		

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature

2/21/19
Date

CHECKLIST

Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
Development Services, Development Engineering
One Exchange Plaza, Suite 500
Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA -
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Article 8.3, Blocks, Lots, Access

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with Sec. 10.2.18. approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;
The existing street was developed in the 1980s, before the block perimeter requirements of this article.
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
The existing street was developed before the Comprehensive Plan and adopted City plans. Incompatible uses and steep topographic changes would not provide safe transition for pedestrians or vehicles.
- C. The requested design adjustment does not increase congestion or compromise Safety;
The requested design adjustment does not add or remove from existing block perimeter pattern. Also, the location of the proposed site is at the end of an existing industrial park. Therefore, this design adjustment does not increase congestion or compromise safety.
- D. The requested design adjustment does not create any lots without direct street Frontage;
The proposed site and all adjacent properties all have direct street frontage on Preslyn Drive. The design adjustment would not change this. The proposed site and all adjacent properties all have direct street frontage on Atlantic Avenue. The design adjustments requested would not change this.
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.

An existing Tree Conservation Area is located to the east of the property, behind the adjacent spite strip. An existing stormwater pond is located to the south of the property. As such, there is no viable solution to the block perimeter requirement.

Article 8.5 Existing Streets

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;

This project has provided a sidewalk and planting strip to match the street improvements of the adjacent property to the west (4540 Preslyn Drive) to meet the intent of Article 8.5. This project has provided a sidewalk and planting strip to match the street improvements of the adjacent property to the west (4540 Preslyn Drive) to meet the intent of Article 8.5. Also, public right of way already matches the width of the adjacent property to the west.

- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;

This project has been designed to meet the Comprehensive Plan and adopted City plans, providing pedestrian circulation to the end of the existing street. This project has been designed to meet the Comprehensive Plan and adopted City plans, providing pedestrian circulation to the end of the existing street.

- C. The requested design adjustment does not increase congestion or compromise safety;

The requested Design Adjustment does not increase congestion or compromise safety as designed because the project is at the end of an existing industrial park. The requested Design Adjustment does not increase congestion or compromise safety as designed because the project is at the end of an existing industrial park.

- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and

Because the Design Adjustment would not result in additional right of way dedication, it would not create additional maintenance requirements or responsibilities for the City. The required streetscape can and will be installed within the existing public right of way. As such, the additional right of way is unnecessary. The maintenance responsibilities for the existing road, streetscape, utilities etc. would not change as a result of the Design Adjustment.

- E. The requested design adjustment has been designed and certified by a Professional Engineer.

This design adjustment has been certified by a Professional Engineer. Please see plans for certification.



The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of the Raleigh Street Design Manual;
The requested design adjustment meets the intent, within the existing Right of Way.
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
The requested design adjustment conforms to the comprehension plan within the existing Right of Way as the development is built out, which is accounted for in the Comprehensive Plan.
- C. The requested design adjustment does not increase congestion or compromise safety;
The requested adjustment would not increase congestion or compromise safety in any way. The existing street (Preslyn Drive) has very little traffic in this location.
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
The requested design adjustment would not create additional maintenance responsibilities for the City.
- E. The requested design adjustment has been designed and certified by a Professional Engineer.
The design adjustment has been designed and certified by a Professional Engineer (see attached plans).

Individual Acknowledgement



DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA
COUNTY OF WAKE

INDIVIDUAL

I, Deborah P Marsh, a Notary Public do hereby certify that
Gary J. McCabe personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This the 5th day of February, 2019.



Notary Public

A handwritten signature in black ink, appearing to be "D P Marsh", written over a horizontal line.

My Commission Expires: 07/13/2022

FRANKLIN-CHRISTOPH, LTD

4550 PRESLYN DRIVE (P.I.N. 1728-80-0221)

RALEIGH, NORTH CAROLINA 27616

ASR # SR-110-18

OWNER

SC FRANKLIN HOLDING COMPANY LLC
12339 WAKE UNION CHURCH ROAD, SUITE 111
WAKE FOREST, NORTH CAROLINA 27587

DEVELOPER

FOCUS DESIGN BUILDERS, LLC
881 FALCATE DRIVE
WAKE FOREST, NORTH CAROLINA 27587

CIVIL ENGINEER



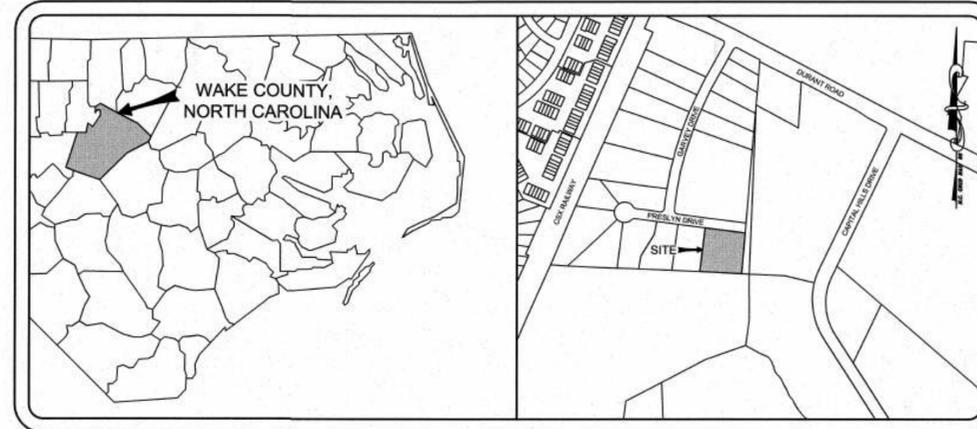
RED LINE ENGINEERING, P.C. (C-3075)
1401 AVERSBO ROAD, SUITE 210
GARNER, NORTH CAROLINA 27529
PHONE - (919) 779-6851

SURVEYOR

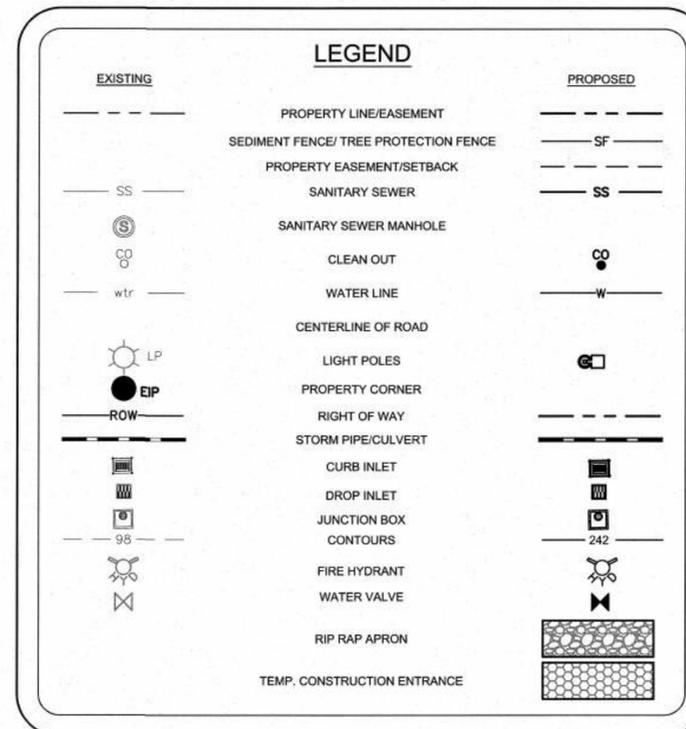
CAWTHORNE, MOSS, & PANCIERA, P.C. (C-1525)
333 S WHITE STREET
WAKE FOREST, NORTH CAROLINA
PHONE: (919) 556-3148

SHEET INDEX

C1	COVER SHEET
C2	EXISTING CONDITIONS & DEMOLITION PLAN
C3	PROPOSED SITE PLAN
C4A	PROPOSED MASTER GRADING & STORMWATER MANAGEMENT PLAN
C4B	PROPOSED FINE GRADING PLAN
C5	PROPOSED UTILITY IMPROVEMENTS PLAN
C6A	PHASE 1 PROPOSED EROSION CONTROL PLAN
C6B	PHASE 2 PROPOSED EROSION CONTROL PLAN
C6C	NPDES STABILIZATION PLAN
C7	SITE DETAILS
C8	C.O.R. STANDARD WATER & SEWER DETAILS
C9	STORMWATER DETAILS
C10	EROSION CONTROL AND MISC. DETAILS
C11	DRY-DETENTION POND DETAILS
C12	PRELIMINARY SITE LIGHTING PLAN
C13	REQUIRED LANDSCAPING
A1.00	ARCHITECTURAL FLOOR PLAN
A1.01	ARCHITECTURAL FLOOR PLAN
A2.01	ARCHITECTURAL BUILDING ELEVATIONS
A2.02	ARCHITECTURAL BUILDING ELEVATIONS



VICINITY MAP
SCALE: 1"=500'



NOTE: ALL WORK MUST COMPLY WITH APPLICABLE NORTH CAROLINA BUILDING CODES, HANDICAPPED ACCESSIBILITY CODE VOL. 1C., AND WITH THE CITY OF RALEIGH AND NCDOT STANDARDS, DETAILS AND SPECIFICATIONS.

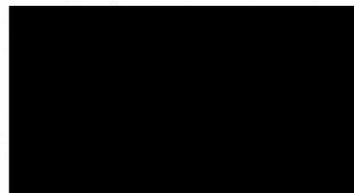
TREE CONSERVATION EXEMPTION NOTE: THIS PROJECT IS EXEMPT FROM TREE CONSERVATION REQUIREMENTS PER UDO SECTION 9.1.2. THIS SITE IS 1.41 ACRES < 2.00 ACRES.

SOLID WASTE STATEMENTS:
1. TRASH AND RECYCLING COLLECTION SERVICE SHALL BE PRIVATELY CONTRACTED, VIA ROLL-OUT BINS TO BE LOCATED INSIDE THE BUILDING.
2. TRASH AND RECYCLING COLLECTION SHALL BE PROVIDED ONCE A WEEK.
3. PLEASE SEE SHEET C3 FOR SOLID WASTE MANAGEMENT PLAN.
4. SOLID WASTE MANAGEMENT PLAN ADHERES TO APPLICABLE SECTION OF RALEIGH SOLID WASTE DESIGN MANUAL.

C.O.R. STANDARD UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE. INSTALL 1" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT/RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

PROPOSED USE NOTE: PROPOSED BUILDING SHALL BE FOR LIGHT MANUFACTURING USE. THAT IS, FOR THE ASSEMBLY OF PROFESSIONAL INSTRUMENTS, INCLUDING LUXURY PENS.



FINAL DRAWING
NOT RELEASED
FOR CONSTRUCTION

REVISION 2: FEBRUARY 28, 2019
REVISION 1: JANUARY 16, 2019
DATE: NOVEMBER 20, 2018 PROJ. NO.: 18-011 SHEET C1

Administrative Site Review Application (for UDO Districts only)

Development Services Department

Development Services Customer Service Center | 10000 Park Road, Suite 400 | Raleigh, NC 27601 | 919-996-2405 | 919-996-1831

Richardson Station Office | 1020 - 110 Lenoir Road | Raleigh, NC 27601 | 919-996-4300

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE

Detached General For Office Use Only
 Attached Mixed Use Attached Project Use Only
 Apartment Open Lot Attached Project Use Only
 Townhouse

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # 655059

GENERAL INFORMATION

Development Name: Franklin-Christoph
 Zoning District: JX-3 Overlay District (if applicable): N/A Inside City Limits? Yes No
 Proposed Use: Light Manufacturing
 Property Address: 4550 Preslyn Drive Major Street Location: Durant Road
 Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:
 P.I.N. 1728-80-0221 P.I.N. P.I.N. P.I.N.

WORK SCOPE

Per City Code Section 10.2 B.D., summarize the project work scope, for additions, changes of use, or occupancy per Chapter 6 of the UDO, indicate impacts on parking requirements.
 The proposed project is to develop the vacant lot with a 12,042 sq ft gross building and associated site improvements to support a light manufacturing use (assembly of luxury pens).

DESIGN ADJUSTMENT OR ADMIN. APPROVAL

Per City Code Chapter 5, summarize if your project requires other design adjustment, or Section 10 - Alternative Administration.

CLIENT/DEVELOPER/OWNER

Company: SC Franklin Holding Company, LLC Name: Scott Franklin (Manager)
 Address: 12339 Wake Union Church Road, Suite 111
 Phone: Email: scott@franklin-christoph.com Fax:

CONSULTANT (Contact Person for Plans)

Company: Red Line Engineering, P.C. Name: Gary J. McCabe, P.E.
 Address: 1401 Aversboro Road, Suite #210, Garner, North Carolina 27529
 Phone: 919-779-6851 Email: gary.mccabe@rlenc.com Fax:

PAGE 3 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning District (DC-3)		Building Information	
Existing Building Use	Proposed Building Use	Existing Building Use	Proposed Building Use
Light Manufacturing	Light Manufacturing	Light Manufacturing	Light Manufacturing
Existing Building Area	Proposed Building Area	Existing Building Area	Proposed Building Area
12,042 SF	12,042 SF	12,042 SF	12,042 SF
Existing Building Height	Proposed Building Height	Existing Building Height	Proposed Building Height
12'-0"	12'-0"	12'-0"	12'-0"
Existing Building Footprint	Proposed Building Footprint	Existing Building Footprint	Proposed Building Footprint
12,042 SF	12,042 SF	12,042 SF	12,042 SF
Existing Building Volume	Proposed Building Volume	Existing Building Volume	Proposed Building Volume
12,042 SF	12,042 SF	12,042 SF	12,042 SF
Existing Building Use	Proposed Building Use	Existing Building Use	Proposed Building Use
Light Manufacturing	Light Manufacturing	Light Manufacturing	Light Manufacturing
Existing Building Area	Proposed Building Area	Existing Building Area	Proposed Building Area
12,042 SF	12,042 SF	12,042 SF	12,042 SF
Existing Building Height	Proposed Building Height	Existing Building Height	Proposed Building Height
12'-0"	12'-0"	12'-0"	12'-0"
Existing Building Footprint	Proposed Building Footprint	Existing Building Footprint	Proposed Building Footprint
12,042 SF	12,042 SF	12,042 SF	12,042 SF
Existing Building Volume	Proposed Building Volume	Existing Building Volume	Proposed Building Volume
12,042 SF	12,042 SF	12,042 SF	12,042 SF

Signature: Gary J. McCabe, P.E. Date: 19 Nov 18

Printed Name: Scott C. Franklin

PAGE 3 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

ATTENTION CONTRACTORS

The Construction Contractor responsible for the construction of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-2448 at least twenty-four hours prior to beginning any of their construction.

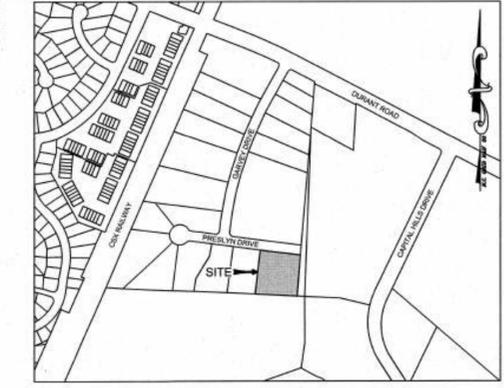
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of emergency flags, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Suspension from future work in the City of Raleigh.



C.O.R. TRANSACTION # 577653

SCALE: 1" = 20'
 20' 0 20'
 SCALE OF MAP MAY VARY
 DUE TO METHODS OF REPRODUCTION.



VICINITY MAP
 SCALE: 1"=500'

FINAL DRAWING
 FOR REVIEW
 PURPOSES ONLY

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PRESLYN DRIVE 60' PUBLIC R/W

N/F
 CWC HOLDINGS LLC
 D.B. 12169 PAGE 149
 B.M. 1985 PAGE 1097
 PIN# 1728.20-70-8224

N/F
 5100 DEPARTURE LLC.
 D.B. 14742 PAGE 1731
 PIN# 1728.20-70-9685

EXISTING CATCH BASIN
 TOP: 244.93'
 INV OUT: 240.63'

EXISTING CATCH BASIN
 TOP: 244.92'
 (INVERT INACCESSIBLE
 DUE TO DEBRIS)

EXISTING RIP RAP
 20' X 30'
 DRAINAGE EASEMENT
 B.M. 1985 PAGE 1097

N/F
 AJ HONEYCUT
 LEDAWN RENSHAW
 D.B. 12523 PAGE 1235
 PIN# 1728.20-80-1386

DEMOLITION NOTES

- 1 REMOVE EXISTING VEGETATION AS SHOWN. (ONLY REMOVE TREES INDICATED, ALL OTHERS TO REMAIN).
- 2 SAW-CUT, DEMOLISH, AND REMOVE APPROX 113 LF OF EXISTING 24" CONCRETE CURB & GUTTER ALONG PRESLYN DRIVE.
- 3 DEMOLISH AND REMOVE APPROX. 65 SF OF EXISTING SIDEWALK STUB.
- 4 EXISTING TELEPHONE PEDESTAL TO BE RELOCATED (BY OTHERS).
- 5 EXISTING CABLE TV BOX TO BE RELOCATED (BY OTHERS).
- 6 RELOCATE EXISTING RIP RAP.

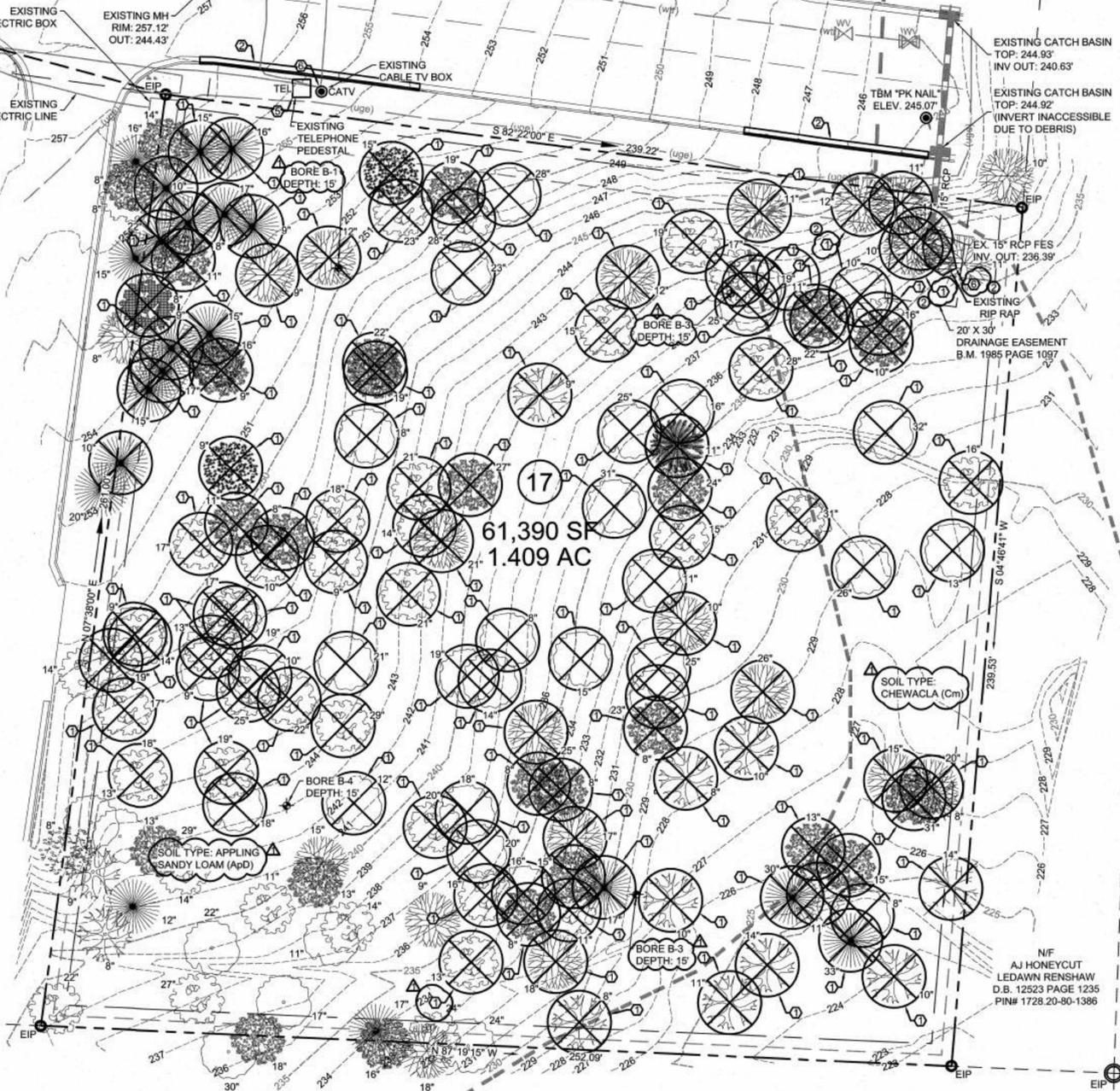
EXISTING TREE LEGEND:

- PINE
- POPLAR
- RED OAK
- BEECH
- WHITE OAK
- CEDAR
- HICKORY
- SWEET GUM
- CHESTNUT OAK
- PRINCESS ANN
- WATER OAK

GEOTECH BORE NOTE: TERRATECH PERFORMED SUBSURFACE BORES AND THE FOUR LOCATIONS SHOWN IN REPORT DATED JUNE 27, 2018 (SEE REPORT FOR DETAILS).

GENERAL NOTES

- (1) BOUNDARY & TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY CAWTHORNE, MOSS & PANCIERA, P.C. PERFORMED BY L. JORDAN PARKER, JR., P.L.S. (L-4695), DATED AUGUST 30, 2018. INFORMATION PROVIDED FOR ENGINEERING DESIGN PURPOSES ONLY. NOT FOR SALE OR RECORDATION.
- (2) CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE, MATERIAL AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. ELEVATIONS INDICATED ON PLANS SHOWN AS APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS PRIOR TO COMMENCING CONSTRUCTION.
- (3) CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIALS GENERATED THROUGH ALL CONSTRUCTION RELATED ACTIVITIES.
- (4) ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED, AND MULCHED IN ACCORDANCE WITH WNPDES STABILIZATION TABLE.
- (5) WATER & SEWER PIPES TO BE INSTALLED IN TRENCHES ACCORDING TO THE CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
- (6) ACCORDING TO THE SEDIMENTATION POLLUTION CONTROL ACT OF 1973 (NORTH CAROLINA GENERAL STATUTE 113A 51-66) THIS PROJECT IS SUBJECT TO AN APPROVED SEDIMENTATION AND EROSION CONTROL PLAN. TOTAL DISTURBED AREA IS APPROXIMATELY 54,533 SF > 12,000 SF, THEREFORE A CITY OF RALEIGH LAND DISTURBING & GRADING PERMIT IS REQUIRED.
- (7) ALL WORK MUST COMPLY WITH APPLICABLE NCCDT STANDARDS, NORTH CAROLINA BUILDING CODES, AND CITY OF RALEIGH STANDARDS, DETAILS AND SPECIFICATIONS.
- (8) ANY CONFLICT(S) BETWEEN ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL AND CIVIL SHEETS SHALL BE SUBMITTED BY CONTRACTOR, IN WRITING, TO BOTH ARCHITECT AND ENGINEER. WRITTEN CLARIFICATION/RESOLUTION MUST BE RECEIVED BY CONTRACTOR FROM ARCHITECT AND ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
- (9) LATERAL SEPARATION OF SEWERS OR WATER MAINS. WATER MAINS SHALL BE LAID AT LEAST TEN (10) FEET LATERALLY FROM EXISTING OR FUTURE SEWERS, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A TEN (10) FOOT LATERAL SEPARATION -- IN WHICH CASE:
 - (A) THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION ON THE BOTTOM OF THE WATER MAIN AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF SEWER, OR
 - (B) THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF SEWER.
- (11) CROSSING A WATER MAIN OVER A SEWER. WHENEVER NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN EIGHTEEN (18) INCH SEPARATION -- IN WHICH CASE, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE CROSSING.
- (12) CROSSING A WATER MAIN UNDER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE POINT(S) OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.



N/F
 THE SUMMIT CHURCH HOMESTEAD
 HEIGHTS BAPTIST CHURCH
 D.B. 16911 PG 2090
 B.M. 2018 PG 566
 PIN# 1727.07-78-0821

N/F
 MLC AUTOMOTIVE LLC
 D.B. 8488 PAGE 263
 B.M. 2010 PAGE 88
 PIN# 1728.20-80-5624

N/F
 MLC AUTOMOTIVE LLC
 D.B. 12039 PAGE 114
 B.M. 2018 PAGE 475
 PIN# 1727.08-89-6410

FRANKLIN-CHRISTOPH, LTD
 4550 PRESLYN DRIVE
 RALEIGH, NORTH CAROLINA 27616
 EXISTING CONDITIONS
 AND DEMOLITION PLANS

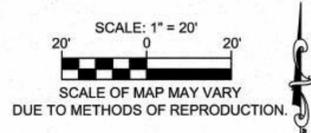
REVISIONS:	DATE:
PER COR	1/16/19
PER COR	2/27/19

ISSUED FOR:	DATE:
REVIEW/PERMIT	11/20/18

PROJECT NO.:	18-011
DRAWN BY:	TAL
REVIEWED BY:	GJM

SHEET NUMBER:
C2
 OF 20 SHEETS





TIE TO THE INTERSECTION OF PRESLYN DRIVE AND GARVEY DRIVE

SITE PLAN INFORMATION:

1. NAME:	FRANKLIN-CHRISTOPH, LTD.
2. STREET ADDRESS:	4550 PRESLYN DRIVE RALEIGH, NORTH CAROLINA 27616
3. P.I.N.:	1728-80-0221
4. LAND USE (EXISTING/PROPOSED):	VACANT/LIGHT MANUFACTURING
5. TOTAL NUMBER OF LOTS:	1
6. TOTAL AREA:	61,391 SF/1.41 ACRES
7. DISTURBED AREA:	56,886 SF/1.31 ACRES
8. EXISTING ZONING:	IX-3
9. PROPOSED BUILDING LOT COVERAGE:	13%
10. OUTDOOR AMENITY AREA:	10% X 61,391 SF = 6,139 SF REQUIRED 6,139 SF PROVIDED
11. BUILDING HEIGHT:	3 STORY MAX 1 STORY W/ BASEMENT PROPOSED (35 FT)(SEE ARCH. ELEVATIONS)
12. BUILDING SETBACKS:	PRIMARY STREET - 3 FT. SIDE LOT - 6 FT. REAR LOT - 6 FT.
13. INSIDE CITY LIMITS:	YES
14. INSIDE FLOOD HAZARD BOUNDARY:	NO (PER FEMA MAP #3720172800J) EFFECTIVE DATE: MAY 2, 2006
15. BUILDING GROSS SQUARE FOOTAGE & USE:	5,693 SF OFFICE (1ST FLOOR) 2,307 SF LIGHT MANUFACTURING (1ST FLOOR) 4,075 SF STORAGE (BASEMENT) 12,075 SF TOTAL
16. PROPOSED PARKING REQUIREMENTS:	OFFICE SPACE (1 SPACE / 600 SF) X 5,693 SF 9.49 SPACES (10 SPACES)
ADDITIONAL INDOOR AREA:	(1 SPACE / 3,000 SF) X 6,382 SF 2.13 SPACES (3 SPACES)
TOTAL SPACES REQUIRED:	13 SPACES TOTAL
MAXIMUM SPACES ALLOWED:	(13 SPACES) X 1.50 19.5 SPACES (20 MAX ALLOWED)
TOTAL SPACES PROVIDED:	20 SPACES TOTAL PROVIDED (19 REGULAR 1 H.C.)
17. PROPOSED BICYCLE PARKING REQUIREMENTS:	SHORT-TERM PARKING REQUIRED: NONE
LONG-TERM PARKING REQUIRED LIGHT MANUFACTURING:	(1 SPACE / 40,000 SF GROSS FLOOR AREA) X 8,000 SF 0.2 SPACES (1 SPACE REQUIRED)
LONG-TERM PARKING PROVIDED:	4 SPACES MINIMUM (PER SECTION 7.1.2 COR UDO)
18. IMPERVIOUS SURFACE AREA:	EXISTING: 84 SF/0.00 ACRES (0.14%) PROPOSED: 22,683 SF/0.52 ACRES (36.95%) TOTAL: 22,767 SF/0.52 ACRES (37.09%)
16. INSIDE FALLS LAKE OR SWIFT CREEK DRAINAGE AREA:	NO
17. OWNER:	SC FRANKLIN HOLDING COMPANY, LLC 12339 WAKE UNION CHURCH ROAD SUITE 211 WAKE FOREST, NORTH CAROLINA 27587
18. DEVELOPER:	FOCUS DESIGN BUILDERS, LLC 120 E MAIN STREET YOUNGVILLE, NORTH CAROLINA 27596
19. EXEMPTIONS:	TREE CONSERVATION: THIS PROJECT IS EXEMPT FROM TREE CONSERVATION REQUIREMENTS PER CITY OF RALEIGH UDO SECTION 9.1.10.A.1 (SITE IS LESS THAN 2 ACRES).

- SITE NOTES**
- INSTALL APPROX. 99 LF SEGMENTED BLOCK RETAINING WALL NORTH OF PROPOSED BUILDING (BY OTHERS) (SEE DETAIL 5/C10). SEE SHEET C4B FOR ELEVATIONS, MAX HEIGHT: 4'.
 - INSTALL APPROX. 62 LF SEGMENTED BLOCK RETAINING WALL EAST OF PROPOSED BUILDING (BY OTHERS) (SEE DETAIL 5/C10). SEE SHEET C4B FOR ELEVATIONS, MAX HEIGHT: 8'.
 - INSTALL APPROX. 64 LF SEGMENTED BLOCK RETAINING WALL EAST OF PROPOSED SERVICE YARD DRIVEWAY (BY OTHERS) (SEE DETAIL 5/C10). SEE SHEET C4B FOR ELEVATIONS, MAX HEIGHT: 7'.
 - INSTALL 24" CONCRETE CURB AND GUTTER AS SHOWN (APPROX. 615 LF TOTAL)(SEE DETAIL 2/C7).
 - INSTALL HEAVY DUTY ASPHALT IN DRIVE AISLE AND IN SERVICE YARD ON EAST SIDE OF BUILDING (SEE DETAIL 3/C7).
 - INSTALL LIGHT DUTY ASPHALT IN VEHICULAR PARKING SPACES (SEE DETAIL 4/C7).
 - PROPOSED DUMPSTER ENCLOSURE TO MATCH COLOR AND MATERIAL OF BUILDING (SEE DETAIL 4/C10 FOR LAYOUT AND ARCHITECTURAL PLANS FOR ENCLOSURE DETAILS).
 - INSTALL APPROX. 1,125 SF (APPROX. 187 LF) 6" WIDE CONCRETE TURNDOWN SIDEWALK ON NORTH AND WEST SIDE OF PROPOSED BUILDING (SEE DETAIL 1/C7).
 - INSTALL APPROX. 920 SF (APPROX. 154 LF) 5' WIDE STANDARD CONCRETE SIDEWALK ALONG PRESLYN DRIVE AND TO SITE (SEE DETAIL 1/C7).
 - INSTALL 4 LONG-TERM BICYCLE PARKING SPACES (2 "U" SHAPED RACKS)(SEE DETAILS B-20.03/C7).
 - INSTALL ADA COMPLIANT PARKING SPACE AND SIGNAGE AS SHOWN. (SEE DETAILS 5/C7, 8/C7, AND 9/C7).
 - INSTALL ADA COMPLIANT WHEELCHAIR RAMP WITH DETECTABLE DOMES (TYP.) CURB TAPERS SHALL BE PAINTED YELLOW (SEE NCDOT RAMP DETAILS ON SHEET C7).
 - INSTALL CONCRETE WHEELSTOPS 30" FROM FACE OF SIDEWALK TO WHEEL FACE (SEE DETAIL 7/C7).
 - INSTALL 6" Ø CONCRETE FILLED PIPE BOLLARDS BEHIND CURB OF RAMP LANDING AT 6' O.C. (SEE DETAIL 10/C7).
 - PROPOSED 400 SF RAISED PATIO (SEE ARCHITECTURAL PLANS FOR DETAILS).
 - PROPOSED LOCATION FOR MECHANICAL UNITS.

NOTE: CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER IMMEDIATELY IF ANY CONFLICTS, INCONSISTENCIES OR AMBIGUITIES EXIST BETWEEN ARCHITECTURAL, P.M.E., STRUCTURAL & CIVIL DRAWINGS & SPECIFICATIONS. IF HIDDEN SITE CONDITIONS ARE DISCOVERED DURING CONSTRUCTION/DEMOLITION, CONTRACTOR SHALL OBTAIN WRITTEN RESOLUTION PRIOR TO PROCEEDING WITH CONSTRUCTION. OTHERWISE, CONTRACTOR PROCEEDS AT THEIR OWN RISK.

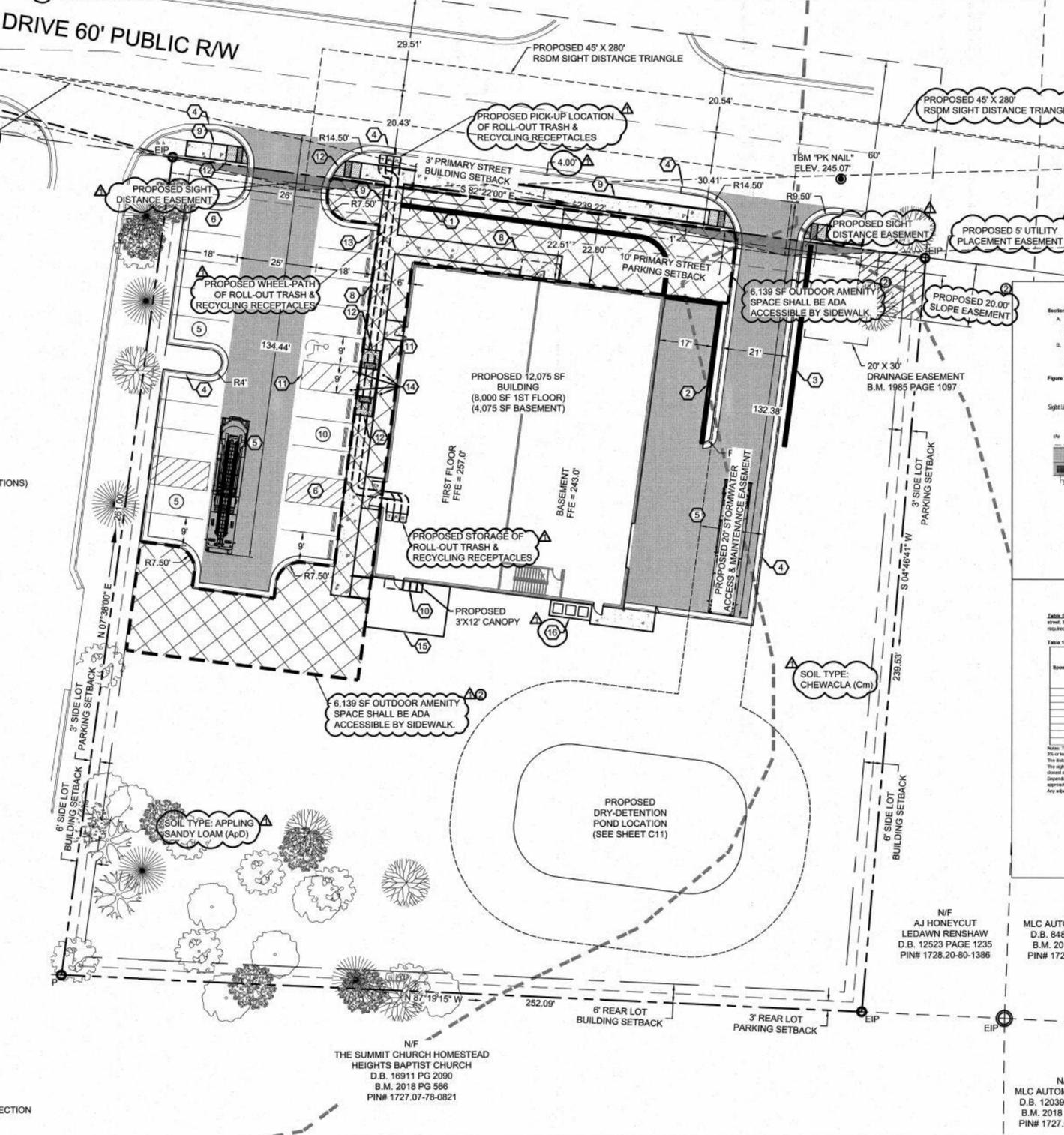
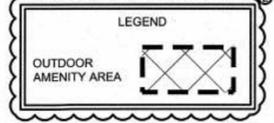
NOTE: ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH, NCDOT, AND STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS

ALL PROPOSED WHEELCHAIR RAMPS (WCR) SHALL BE BUILT IN ACCORDANCE WITH NCDOT STANDARD DRAWINGS 848.05 & 848.06

FIRE ACCESS NOTE: PARKING LOT IS LESS THAN 150 FT. THEREFORE, FIRE APPARATUS TURNAROUND IS NOT REQUIRED.



VICINITY MAP
SCALE: 1"=500'



Section 12.8.2 Intersection Sight Distance
A. Intersections should be planned and located to provide as much sight distance as possible. A basic requirement for all controlled intersections is that drivers must be able to see the control device and to observe of approaching the road and action. Stopping sight distance on all approaches to an intersection shall be provided in both directions.
B. Horizontal and vertical curves, as related to assumed driver's eye height and position. At any intersection of two roadways, a sight triangle shall be provided for an unobstructed path of sight. The sight distance triangle can be defined by connecting a point that is along the near street's edge of pavement and 15 feet from the edge of pavement of the major street, with a point that is distance S1 along the near street's edge of pavement.

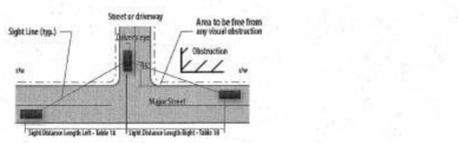


Figure 7 Sight Distance Diagram
Raleigh Street Design Manual - Page 102

Table 10 Intersection Stopping Sight Distance summarizes the required sight distance (S) along the road for a stopped vehicle to cross the street. If a roadway is divided with a median width of 20 feet or more for passenger vehicle crossings, or 40 feet or more for truck crossings, the required sight distance may be based on a two-way crossing and consideration given to the width of each one-way pavement at a time.

Speed limit (mph)	Minimum Intersection Sight Distance (ft)			
	2 Lane Undivided	3 Lane Undivided w/ 1 Lane Divided w/ 12' median	4 Lane Undivided	5 Lane Undivided w/ 4 Lane Divided w/ 12' median
20	100	100	100	100
25	120	120	120	120
30	140	140	140	140
35	160	160	160	160
40	180	180	180	180
45	200	200	200	200
50	220	220	220	220
55	240	240	240	240
60	260	260	260	260

Note: The sight distance shown in this table shall be considered appropriate only for a passenger car to turn across the major street from a side street approach of 25% or less. The distance from the start line measured along the C.S. of the roadway (Sight Distance Length) from the start line to the sight line for roadway sight distance calculation is 8 feet (8 ft) shall begin at the driver's eye approximately 15 feet from the center of the street crossing line.
Depending on specific site conditions additional adjustments may be required to sight distance. These factors may include, but are not limited to, side street approach greater than 25%, median width of the crossing street, skewed intersections, or other conditions that would affect sight distance. Any adjustments to the above sight distance shall be in accordance with section "Intersection Control" of the latest edition of the AASHTO Manual.

Raleigh Street Design Manual - Page 103

FINAL DRAWING FOR REVIEW PURPOSES ONLY

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FRANKLIN-CHRISTOPH, LTD
4550 PRESLYN DRIVE
RALEIGH, NORTH CAROLINA 27616
PROPOSED SITE PLAN

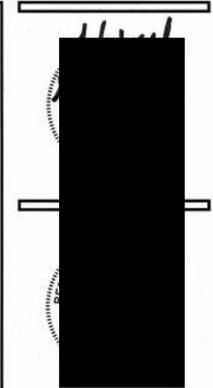
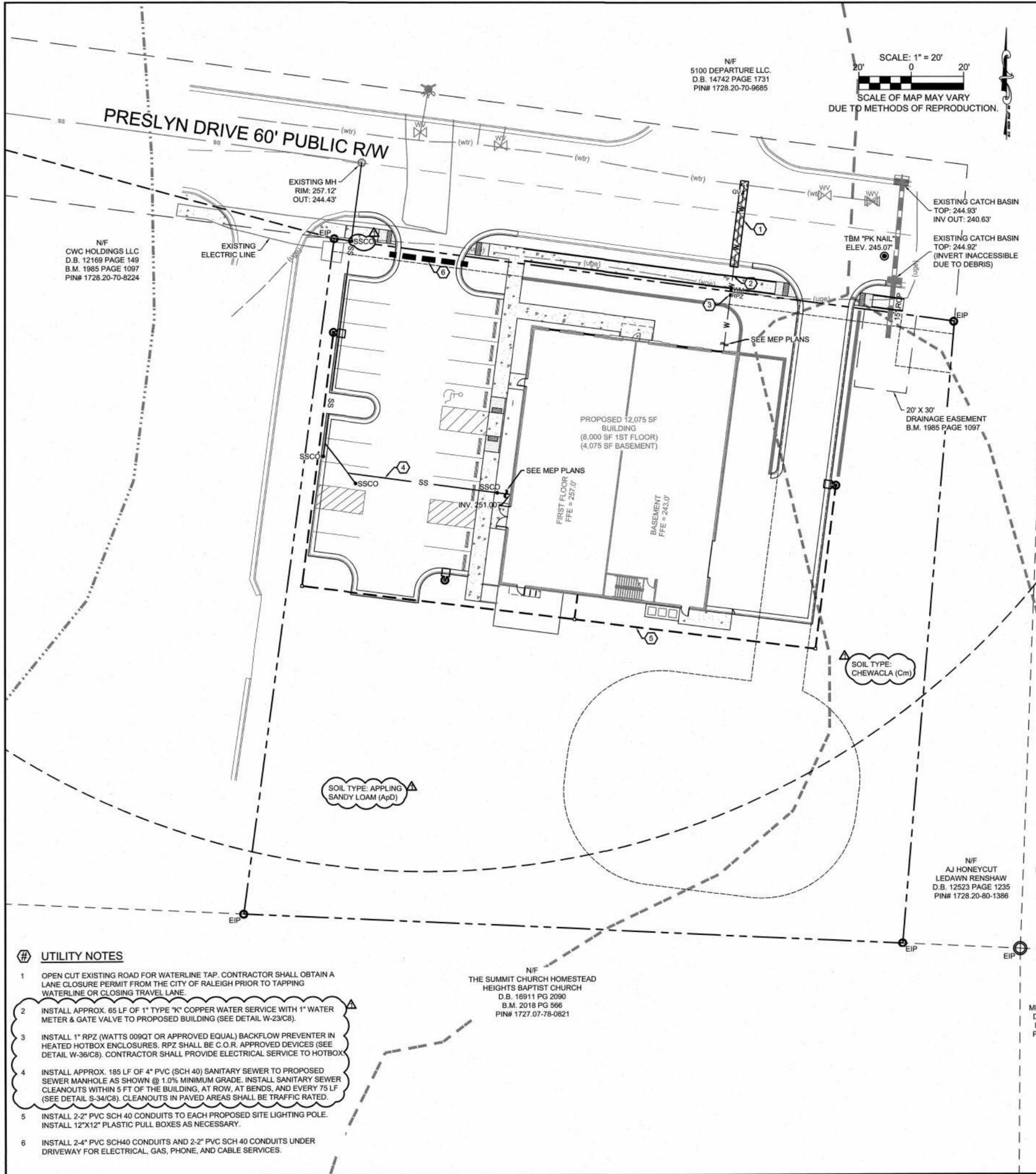
REVISIONS:	DATE:
1 PER COR	1/16/19
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REVIEW/PERMIT	11/20/18

PROJECT NO.:	18-011
DRAWN BY:	TAL
REVIEWED BY:	GJM

SHEET NUMBER:
C3
OF 20 SHEETS





FINAL DRAWING FOR REVIEW PURPOSES ONLY

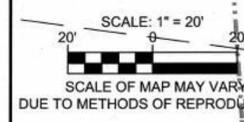
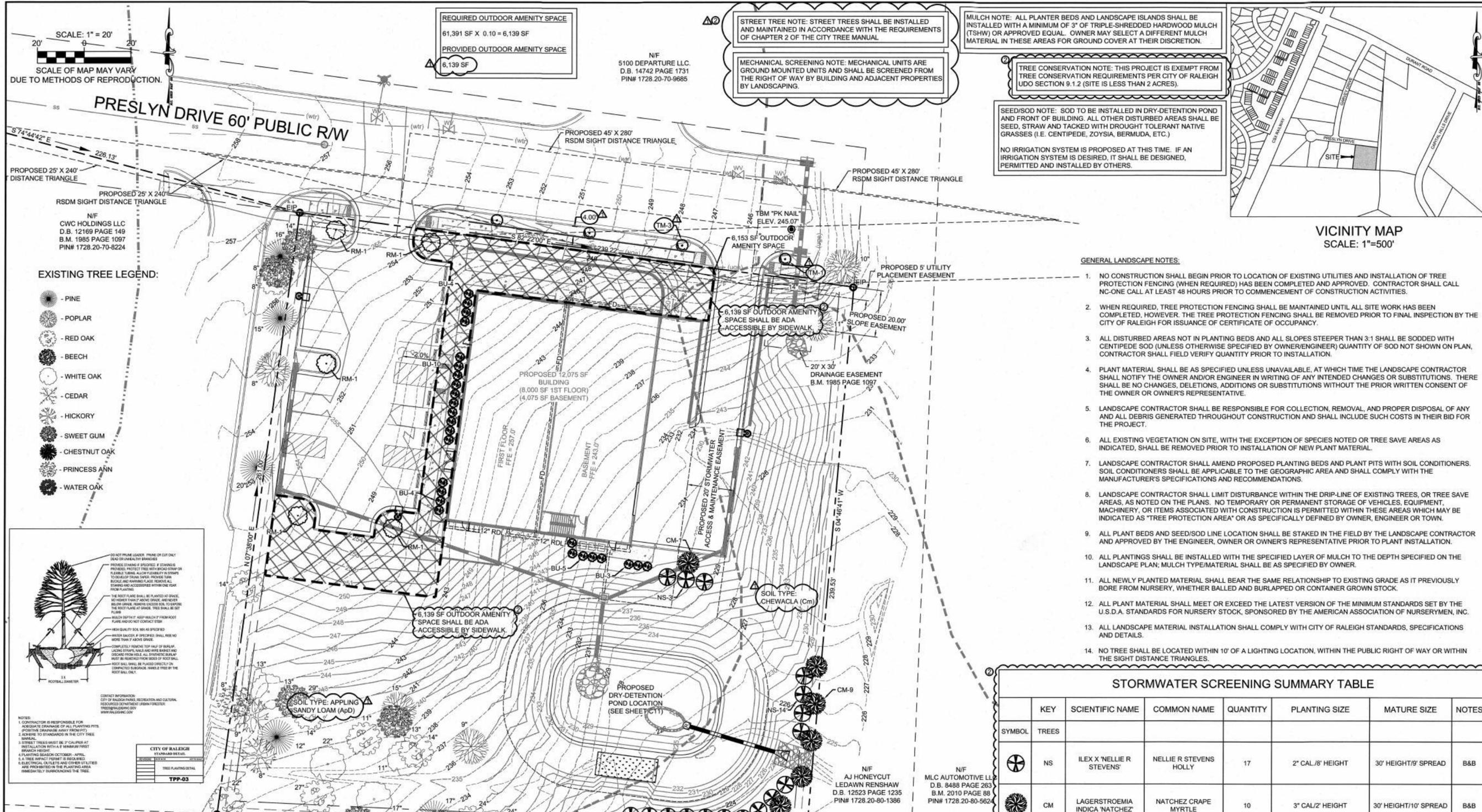
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- # UTILITY NOTES
- OPEN CUT EXISTING ROAD FOR WATERLINE TAP. CONTRACTOR SHALL OBTAIN A LANE CLOSURE PERMIT FROM THE CITY OF RALEIGH PRIOR TO TAPPING WATERLINE OR CLOSING TRAVEL LANE.
 - INSTALL APPROX. 65 LF OF 1" TYPE "K" COPPER WATER SERVICE WITH 1" WATER METER & GATE VALVE TO PROPOSED BUILDING (SEE DETAIL W-23/C8).
 - INSTALL 1" RPZ (WATTS 009QT OR APPROVED EQUAL) BACKFLOW PREVENTER IN HEATED HOTBOX ENCLOSURES. RPZ SHALL BE C.O.R. APPROVED DEVICES (SEE DETAIL W-36/C8). CONTRACTOR SHALL PROVIDE ELECTRICAL SERVICE TO HOTBOX.
 - INSTALL APPROX. 185 LF OF 4" PVC (SCH 40) SANITARY SEWER TO PROPOSED SEWER MANHOLE AS SHOWN @ 1.0% MINIMUM GRADE. INSTALL SANITARY SEWER CLEANOUTS WITHIN 5 FT OF THE BUILDING, AT ROW, AT BENDS, AND EVERY 75 LF (SEE DETAIL S-34/C8). CLEANOUTS IN PAVED AREAS SHALL BE TRAFFIC RATED.
 - INSTALL 2-2" PVC SCH 40 CONDUITS TO EACH PROPOSED SITE LIGHTING POLE. INSTALL 12"X12" PLASTIC PULL BOXES AS NECESSARY.
 - INSTALL 2-4" PVC SCH 40 CONDUITS AND 2-2" PVC SCH 40 CONDUITS UNDER DRIVEWAY FOR ELECTRICAL, GAS, PHONE, AND CABLE SERVICES.

REVISIONS:	DATE:
▲ PER COR	1/16/19
● PER COR	2/27/19
ISSUED FOR:	DATE:
REVIEW/PERMIT	11/20/18
PROJECT NO.:	18-011
DRAWN BY:	TAL
REVIEWED BY:	GJM
SHEET NUMBER:	C5
	OF 20 SHEETS





REQUIRED OUTDOOR AMENITY SPACE
61,391 SF X 0.10 = 6,139 SF

PROVIDED OUTDOOR AMENITY SPACE
6,139 SF

N/F
5100 DEPARTURE LLC
D.B. 14742 PAGE 1731
PIN# 1728.20-70-9685

STREET TREE NOTE: STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

MECHANICAL SCREENING NOTE: MECHANICAL UNITS ARE GROUND MOUNTED UNITS AND SHALL BE SCREENED FROM THE RIGHT OF WAY BY BUILDING AND ADJACENT PROPERTIES BY LANDSCAPING.

MULCH NOTE: ALL PLANTER BEDS AND LANDSCAPE ISLANDS SHALL BE INSTALLED WITH A MINIMUM OF 3" OF TRIPLE-SHREDDED HARDWOOD MULCH (TSHW) OR APPROVED EQUAL. OWNER MAY SELECT A DIFFERENT MULCH MATERIAL IN THESE AREAS FOR GROUND COVER AT THEIR DISCRETION.

TREE CONSERVATION NOTE: THIS PROJECT IS EXEMPT FROM TREE CONSERVATION REQUIREMENTS PER CITY OF RALEIGH UDD SECTION 9.1.2 (SITE IS LESS THAN 2 ACRES).

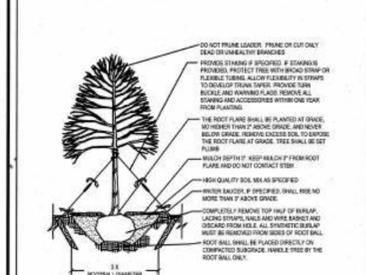
SEED/SOD NOTE: SOD TO BE INSTALLED IN DRY-RETENTION POND AND FRONT OF BUILDING. ALL OTHER DISTURBED AREAS SHALL BE SEED, STRAW AND TACKED WITH DROUGHT TOLERANT NATIVE GRASSES (I.E. CENTIPEDE, ZOYSIA, BERMUDA, ETC.)

NO IRRIGATION SYSTEM IS PROPOSED AT THIS TIME. IF AN IRRIGATION SYSTEM IS DESIRED, IT SHALL BE DESIGNED, PERMITTED AND INSTALLED BY OTHERS.



EXISTING TREE LEGEND:

- PINE
- POPLAR
- RED OAK
- BEECH
- WHITE OAK
- CEDAR
- HICKORY
- SWEET GUM
- CHESTNUT OAK
- PRINCESS ANN
- WATER OAK



NOTES:

- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (SPECIFIC DRAINAGE AREA FROM FOOTPRINT)
- ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
- STREET TREES SHALL BE 2" CALIBER AT INSTALLATION WITH A 6" MINIMUM FIRST BRANCH POINT.
- PLANTING SEASON: OCTOBER - APRIL.
- A TREE SPECIFIC FORM IS REQUIRED.
- ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROTECTED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

CITY OF RALEIGH
STANDARD DETAILS
TREE PLANTING DETAIL
TYP-03

LANDSCAPE MAINTENANCE PLAN:

- THE OWNERS OF THE PROPERTY AND THEIR AGENTS, HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PRESERVATION AND MAINTENANCE OF ALL PLANTINGS AND PHYSICAL FEATURES SHOWN ON THE APPROVED PLANS. THE OWNERS SHALL BE RESPONSIBLE FOR ANNUAL MAINTENANCE OF THE VEGETATION TO INCLUDE BUT NOT LIMITED TO:
 - FERTILIZATION: FERTILIZE LAWNS TWICE PER YEAR (FEBRUARY 15-MARCH 15 AND AGAIN IN SEPT. 1-OCT. 31) ACCORDING TO SOIL TEST RESULTS. FERTILIZE WARM SEASON GRASSES ONCE DURING GROWING SEASON PER SOIL TEST.
 - PRUNING: PRUNING SHALL BE LIMITED TO REMOVAL OF DEAD OR DAMAGED WOOD OR BRANCHES FOR TREES OR FOR SIGHT DISTANCES/SAFETY REASONS. THE SHIGO STANDARDS SHOULD BE ADHERED TO. THE PRUNING OF SHRUBS SHALL BE LIMITED TO THE PRUNING NECESSARY TO MAINTAIN THE NATURAL SHAPE OF PLANT EXCEPT FOR SHEARED HEDGES.
 - PEST CONTROL: PRE-EMERGENT WEED CONTROL FOR LAWNS AND SHRUB BEDS MAY BE APPLIED IN FEBRUARY. CHEMICAL TREATMENT FOR INSECT INFESTATION AND DISEASE MAY BE APPLIED AND SHALL BE SPECIFIC TO THE PROBLEM. POST-EMERGENT WEED CONTROL MAY BE APPLIED AS NEEDED IN MULCHED AND LANDSCAPED AREAS TO MAINTAIN ACCEPTABLE APPEARANCES.
 - MULCHING: MULCHING SHALL BE MAINTAINED AT A DEPTH OF 3-4" IN PLANTING BEDS AND SHALL BE REAPPLIED EVERY YEAR.
 - MOWING: PRIMARY FESCUE LAWNS SHALL BE MAINTAINED AT A HEIGHT OF 3". SECONDARY TURF AREAS MAY BE MAINTAINED HIGHER AND LESS FREQUENTLY. WARM SEASON GRASSES SHALL BE MOWED AS NEEDED DURING THE GROWING SEASON TO MAINTAIN THE RECOMMENDED HEIGHT OF THE SPECIES OF TURF GRASS.
 - PLANT PROTECTION: AVOID EXCESS INTRUSION INTO THE CRITICAL ROOT ZONE AREA OF ESTABLISHED/MATURE VEGETATION.
 - WATERING: CONTRACTOR SHALL WATER ALL VEGETATION BY HAND AS NECESSARY TO ESTABLISH AND MAINTAIN THE NEW PLANTINGS FOR A PERIOD OF 1 YEAR.
 - WARRANTY: CONTRACTOR SHALL WARRANTY ANY AND ALL PLANTINGS FOR A PERIOD OF 3 YEARS. AT THE OWNER'S SOLE DISCRETION, THE CONTRACTOR SHALL REPLACE ANY AND ALL LANDSCAPE MATERIALS DEEMED TO BE UNACCEPTABLE, DAMAGED OR DEAD.

STREET TREE SUMMARY TABLE

(1 TREE/40') X (FRONTAGE - D/W) = REQUIRED
(1/40') X (239.22) = 4.71 = 4 TREES

KEY	SCIENTIFIC NAME	COMMON NAME	QUANTITY	PLANTING SIZE	MATURE SIZE	NOTES
TM	ACER BUERGERIANUM	TRIDENT MAPLE	4	3" CAL./10' HEIGHT	40' HEIGHT/25' SPREAD	B&B

PARKING/FOUNDATION & MECHANICAL SCREENING SUMMARY TABLE

KEY	SCIENTIFIC NAME	COMMON NAME	QUANTITY	PLANTING SIZE	MATURE SIZE	NOTES
RM	ACER RUBRUM	BRANDYWINE RED MAPLE	5	3" CAL./10' HEIGHT MIN.	30' HEIGHT/15' SPREAD	B&B
BU	(E) ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	23	3 GALLON / 18" HEIGHT MIN.	4' HEIGHT/4' SPREAD	CONT

STORMWATER SCREENING SUMMARY TABLE

KEY	SCIENTIFIC NAME	COMMON NAME	QUANTITY	PLANTING SIZE	MATURE SIZE	NOTES
NS	ILEX X 'NELLIE R STEVENS'	NELLIE R STEVENS HOLLY	17	2" CAL./8" HEIGHT	30' HEIGHT/9' SPREAD	B&B
CM	LAGERSTROEMIA INDICA 'NATCHEZ'	NATCHEZ CRAPE MYRTLE	10	3" CAL./2' HEIGHT	30' HEIGHT/10' SPREAD	B&B
SHRUBS						
BU	(E) ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	3	3 GALLON / 18" HEIGHT MIN.	4' HEIGHT/4' SPREAD	CONT

FINAL REVIEW FOR DRAWING PURPOSES ONLY

THIS ORIGINAL SHEET IS 24"X36". OTHER DIMENSIONS INDICATE IT HAS BEEN ALTERED. ALL INFORMATION REPRESENTED ON THIS SHEET IS THE PROPERTY OF RED LINE ENGINEERING, P.C. UNDER PENALTY OF LAW, THIS INFORMATION SHALL NOT BE REPRODUCED IN PART OR IN FULL WITHOUT PRIOR WRITTEN AUTHORIZATION FROM RED LINE ENGINEERING, P.C. 2018 ©



FRANKLIN-CHRISTOPH, LTD
4550 PRESLYN DRIVE
RALEIGH, NORTH CAROLINA 27616

REQUIRED LANDSCAPING

REVISIONS: DATE:
 1 PER COR 1/16/19
 2 PER COR 2/27/19

ISSUED FOR: DATE:
 REVIEW/PERMIT 11/20/18

PROJECT NO.: 18-011
 DRAWN BY: TAL
 REVIEWED BY: GJM

SHEET NUMBER:
C13
 OF 20 SHEETS



- Maximum Height of Entrance Roof
Ei = (285.25) 28'-3" AFF
- Bottom Edge of Entrance Roof
Ei = (278.00) 21'-0" AFF
- Upper Parapet
Ei = (277.33) 20'-4" AFF
- Parapet Height
Ei = (276.67) 19'-8" AFF

Brick Solder
Ei = (266.0) 9'-0" AFF

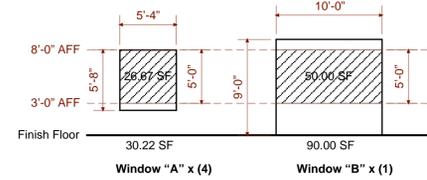
Finish Floor
Ei = (257.0) 0'-0" AFF

Basement Floor
Ei = (243.0) -14'-0" AFF



Street Elevation

Transparency Calculations (North Elevation)	
Per F1-Ground IX - 20% Required	
Ground Level Surface Area: (within 0'-0" to 12'-0"):	12'-0" (tall) x 80'-0" (wide) = 960 SF
Area of Required Transparency:	960 SF x 20% = 192 SF
Area of Proposed Transparency:	Window "A" & "B" = 210.88 SF
Area of Required Transparency within 3'-0" - 8'-0" (50% of Required Transparency Area)	960 SF x 50% = 96 SF
Proposed Area of Transparency within (3'-0" - 8'-0")	Window "A" & "B" = 156.68 SF



1 North Elevation
Scale: 1/8" = 1'-0"

Basement Exposure Calculation			
Elevation	Total SF of Facade	SF of Below Grade	Facade % Below Grade
North	567.00 Sq ft	567.00 Sq ft	100%
South	567.00 Sq ft	41.52 Sq ft	8%
East	1,400.00 Sq ft	0 Sq ft	0%
West	1,400.00 Sq ft	1,393.00 Sq ft	99.5%
Total	3,943.00 Sq ft	2,001.52 Sq ft	66.5%

Elevation	Existing			Proposed		
	High	Low	Average	High	Low	Average
North	249.61'	242.33'	245.97'	257.00'	257.00'	257.00'
South	243.65'	231.69'	237.67'	256.00'	243.00'	249.50'
East	242.33'	231.69'	237.01'	257.00'	243.00'	250.00'
West	249.61'	243.65'	246.63'	257.00'	256.00'	256.50'
			241.82'			253.25'

Per section 1.5.7.A.2 (TC-17-16) of the UDO, building height is measured from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.
Average grade is determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is most restrictive) along each building elevation and averaging all elevations.
The more restrictive conditions occurs in the existing condition with an Average Grade of 241.82'

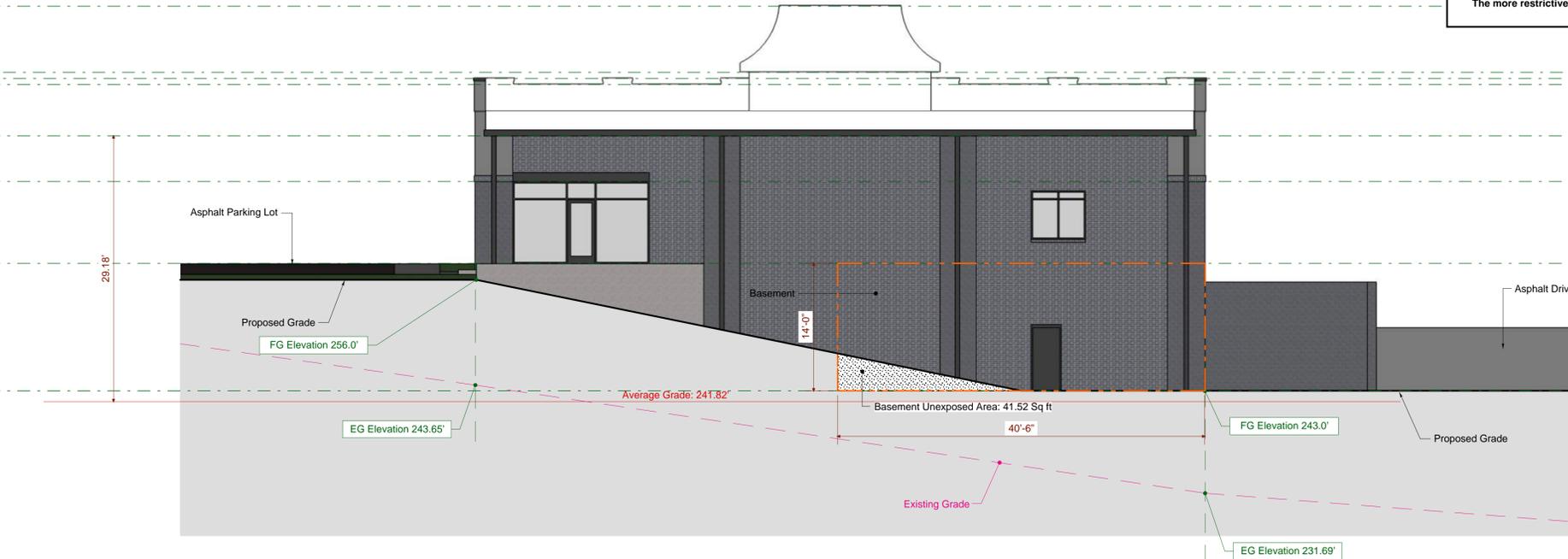
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Ei = (271.00) 14'-0" AFF

Brick Solder
Ei = (266.0) 9'-0" AFF

Finish Floor
Ei = (257.0) 0'-0" AFF

Basement Floor
Ei = (243.0) -14'-0" AFF



Rear Elevation

Non-facing Street Elevation

2 South Elevation
Scale: 1/8" = 1'-0"

PROJECT:	2018-08
DATE ISSUED:	02.21.19
REVISIONS:	DATE

DRAWN BY: JMM
CHECK BY: JMM

Overall Elevations

Preliminary
 Do not use for Construction

Preliminary
 Do not use for Construction



Franklin Christoph

PROJECT: 2018-08
 DATE ISSUED: 02.21.19
 REVISIONS: DATE

DRAWN BY: JMM
 CHECK BY: JMM

Overall Elevations



Side Elevation
 Non-facing Street Elevation

Basement Exposure Calculation			
Elevation	Total SF of Facade	SF of Below Grade	Facade % Below Grade
North	567.00 Sq ft	567.00 Sq ft	100%
South	567.00 Sq ft	41.52 Sq ft	8%
East	1,400.00 Sq ft	0 Sq ft	0%
West	1,400.00 Sq ft	1,393.00 Sq ft	99.5%
Total	3,943.00 Sq ft	2,001.52 Sq ft	66.5%

Elevation	Existing			Proposed		
	High	Low	Average	High	Low	Average
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			241.82'			253.25'

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 Average grade is determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is most restrictive) along each building elevation and averaging all elevations.
The more restrictive conditions occurs in the existing condition with an Average Grade of 241.82'

1 East Elevation
 Scale: 1/8" = 1'-0"
 10' 0' 2' 4' 6' 8' 10'



Side Elevation
 Non-facing Street Elevation

2 West Elevation
 Scale: 1/8" = 1'-0"
 10' 0' 2' 4' 6' 8' 10'