



Administrative Approval Action

Case File / Name: ASR-SR-111-2018
The Cypress of Raleigh Phase 3 - Villa E

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is located on the east side of Lead Mine Road, south side of Strickland Road, west side of Harvest Oaks Drive and north side of Forum Drive. The site address is at 8710 Cypress Club Drive, which is inside City corporate limits.

REQUEST: Development of a 44.01-acre tract zoned PD (Z-16-16/MP-1-16) to add a 116,095 sqft apartment building for additional dwelling units in Group Living.

Revision: Initially, the preliminary site plan (ASR-111-18) was approved showing street trees along Harvest Oaks Drive and Forum Drive .

The Master Plan (MP-1-16), specifically 6.A paragraph 2, adopted the existing conditions along Forum Drive and Harvest Oaks Drive as alternate street sections, thus no additional infrastructure, including street tree plantings, are required as part of this development plan.

As a result, this revision reflects the removal of street trees along Harvest Oaks Drive and Forum Drive from the landscape plan which is in accordance with MP-1-16.

Note the sunset date for this plan revision is unchanged.

DA-16-2019 grants relief for a required slope easement for the full 20' along Leadmine Road due to the full back to back required street section already existing.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:**

FIL-SR-111-2018-D-3: DSENG - Fee-In-Lieu Estimator/Fee-In-Lieu Estimator
FIL-SR-111-2018-D-4: DSENG - Fee-In-Lieu Estimator/Fee-In-Lieu Estimator
FIL-SR-111-2018-D-1: DSENG - Fee-In-Lieu Estimator/Fee-In-Lieu Estimator
FIL-SR-111-2018-D-2: DSENG - Fee-In-Lieu Estimator/Fee-In-Lieu Estimator
SPR-0163-2019: DSLC - Site Permitting Review/Major [Signature Set]

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 17, 2020 by Jones & Crossen Engineering, PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Proposed site lighting (Sheet SE-100 in the Administrative Site Review plans) will be revised so no light fixture is located closer than 20 feet from the trunk of a tree (UDO 7.1.7.G).



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2. For all existing trees (under UDO 7.2.7.E) used to meet landscaping requirements, such as the C2 street protective yards along Lead Mine Road and Strickland Road, the landscaping plan will provide caliper for each tree.

Engineering

3. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Stormwater

4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

6. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
7. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Slope Easement Required
-------------------------------------	-------------------------

<input checked="" type="checkbox"/>	Utility Placement Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The shown slope easement will need to be revised so that the existing walls and retaining walls are outside of the slope easement prior to recordation of the easement.

Engineering



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2. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

Public Utilities

4. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Urban Forestry

5. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.7908 acres of tree conservation areas:

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Provide fire flow analysis.
2. Comply with all conditions of Z-16-16
3. A Type C2 Street Protective Yard is required for this project and a note shall be placed on the final plat stating this requirement.

Engineering

4. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
5. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.
6. A fee-in-lieu for 1' of sidewalk for the property frontage everywhere that a 5' sidewalk is existing shall be paid to the City of Raleigh (UDO 8.1.10).

Public Utilities



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7. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry

8. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas by Urban Forestry Staff.
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
3. All street lights and street signs required as part of the development approval are installed.
4. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
5. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
6. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff
7. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.

Stormwater

8. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: March 27, 2022

Obtain a valid building permit for the total area of the project, or a phase of the project.



Administrative Approval Action

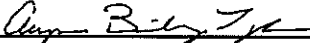
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4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:  Date: 5-1-2020
Development Services Dir/Designee
Staff Coordinator: Ryan Boivin

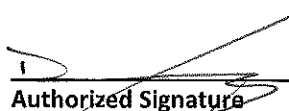
Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	The Cypress of Raleigh - Phase 3	
	Development Case Number	SR-111-18	
	Transaction Number	578181	
	Design Adjustment Number	DA - 16 - 2019	
STAFF RESPONSE	Staff recommendation based upon the findings in the applicable code(s):		
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	<input type="checkbox"/> Raleigh Street Design Manual	
	Staff SUPPORTS <input checked="" type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.		
	DEPARTMENTS		
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering	<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.	
	<input type="checkbox"/> Public Utilities		
	CONDITIONS:		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			


DANIEL G. KIMBRELL, PE
3/27/19
 Authorized Signature ENGINEERING REVIEW MANAGER Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.5 Existing Streets



DEVELOPMENT
SERVICES
DEPARTMENT

- A. The requested design adjustment meets the intent of this Article;
YES ☒ NO ☐
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES ☒ NO ☐
- C. The requested design adjustment does not increase congestion or compromise safety;
YES ☒ NO ☐
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
YES ☒ NO ☐
- E. The requested design adjustment has been designed and certified by a Professional Engineer.
YES ☒ NO ☐

STAFF FINDINGS

Staff supports the request for relief from the 20' slope easement requirement along Leadmine Rd for the portion of the road that has been fully built out to the dimensional standards for an Avenue 4-Lane, Divided street section. There is currently 5' sidewalk along this frontage. The slope easement removal would affect the potential for a future 6' planting strip and 6' sidewalk section prescribed by the UDO as the required streetscape. As no additional streetscape improvements are being required with this development plan, the existing 5' sidewalk and planting strip are supported in remaining as they currently exist.

Design Adjustment Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name The Cypress of Raleigh - Phase 3		
	Case Number SR-111-18		
	Transaction Number 578181		
OWNER	Name The Cypress of Raleigh, LLC		
	Address 7101 Creedmoor Road, Suite 142		City Raleigh
	State NC	Zip Code 27613	Phone 919-877-7106
CONTACT	Name Peter Cnossen		Firm Jones & Cnossen Engineering, PLLC
	Address P.O. Box 1062		City Apex
	State NC	Zip Code 27502	Phone 919-387-1174
REQUEST	I am seeking a Design Adjustment from the requirements set forth in the following:		
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings	
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings	
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings	
	Provide details about the request; (please attach a memorandum if additional space is needed):		
The project site is The Cypress of Raleigh which is an existing continuing care retirement community located at 8710 Cypress Club Drive. Phase 3 will consist of the construction of Villa E at the intersection of Strickland Road and Lead Mine Road. Right-of-way dedication along with future widening and streetscape considerations necessitate recording a 20' slope easement along each corridor. A portion of Lead Mine Road is already at full build-out for the required COR Avenue, 4-Lane Divided street section. A Design Adjustment is requested to remove the 20' slope easement requirement along the portion of Lead Mine Road already at full build-out.			

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature

2-5-19
Date

CHECKLIST	
Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input checked="" type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
Development Services, Development Engineering
One Exchange Plaza, Suite 500
Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA -
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Article 8.5 Existing Streets

Administrative Design Adjustment Findings



**DEVELOPMENT
SERVICES
DEPARTMENT**

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;

The requested Design Adjustment meets the Intent of this Article since Lead Mine Road is already at the ultimate COR Avenue, 4-Lane Divided street section for the portion seeking relief of the 20' slope easement. Thus, no additional widening or sidewalk construction is required. Also, there is a significant stand of existing trees outside the new R/W along this portion of Lead Mine Road. These existing trees meet TCA standards and will be preserved to maintain a natural streetscape.

- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;

The requested Design Adjustment conforms with the Comprehensive Plan and adopted City plans since the portion of Lead Mine Road seeking relief of the 20' slope easement already has sufficient pavement width to meet the required COR street typology of an Avenue, 4-Lane Divided section. Sidewalk is also existing. Further, existing trees along this portion of Lead Mine Road will be preserved in TCA so future streetscape considerations should be met.

- C. The requested design adjustment does not increase congestion or compromise safety;

The requested Design Adjustment will not increase congestion or compromise safety as the section of Lead Mine Road seeking relief of the 20' slope easement is already at full-out including sidewalk.

- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and

The requested Design Adjustment does not create additional maintenance responsibilities for the City of Raleigh since the section of Lead Mine Road seeking relief of the 20' slope easement is already at full build-out including sidewalk. No additional pavement widening is required to meet the COR street typology of a 4-Lane Divided section.

- E. The requested design adjustment has been designed and certified by a Professional Engineer.

The requested Design Adjustment has been requested by a Professional Engineer.

Individual Acknowledgement



DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA

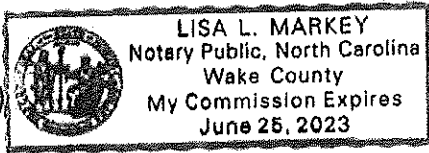
COUNTY OF Wake

INDIVIDUAL

I, Lisa L. Markey, a Notary Public do hereby certify that
Mark T. Andrews personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This the 5th day of February, 2019.

(SEAL)



Notary Public

Lisa L. Markey

My Commission Expires: 6/25/2023



1. PRICE SENSITIVITY
 2. NOT PRICE SENSITIVE
 3. CASH FLOW
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SITE LAYOUT

C-407

Administrative Site Review Application
(for UDO Districts only)

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | ext. 919-996-1831
Litchford Satellite Office | 1820 - 180 Litchford Road | Raleigh, NC 27601 | 919-996-4208

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Residential Number	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Judicial Project Description	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot	Judicial Transaction	
<input type="checkbox"/> Townhouse			

Has your project previously been through the *Over the Fence* or *Sketch Plan Review* process? If yes, provide the transaction # 560141

GENERAL INFORMATION

Development Name: The Cypress of Raleigh Phase 3 - Villa E
Zoning District: PD Overlay District (if applicable): Inside City Limits? ☒ Yes ☐ No
Proposed Use: Life Care Community/Residential
Property Address(es): 8710 Cypress Club Drive Major Street Location: Strickland Road
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.L.N. 1708025721 P.L.N. P.L.N. P.L.N.

What is your project type? ☐ Apartment ☐ Elderly Facilities ☐ Hospitals ☐ Hotels/Motels ☐ Office
☐ Mixed Residential ☐ Non-Residential Condo ☐ School ☐ Shopping Center ☐ Banks ☐ Industrial Building
☐ Casino ☐ Tax/Convention Center ☐ Religious Institution ☐ Residential Condo ☐ Retail ☐ Cottage Court
Other: if other, please describe: Life Care Community

WORK SCOPE
Per City Code Section 10.2.8.D.3, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
Villa Building E and associated parking for Phase 3 of Cypress life care community

DESIGN ADJUSTMENT OR ADMIN ALTERNATE
Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative Act
Design adjustment for pedestrian access to all public r/w

CLIENT/DEVELOPER/OWNER
Company: Cypress of Raleigh, LLC Name: Mark Andrews
Address: 7101 Creedmoor Road, Ste. 142 Raleigh, NC 27613
Phone: (919) 877-8167 Email: mark@meinvestments.com Fax:

CONSULTANT
Company: Jones & Cnossen Eng. Name: Peter Cnossen
Address: PO Box 1062 Apex, NC 27502
Phone: 919-387-1174 Email: peter@jonescnsossen.com Fax: 919-387-3375

PAGE 1 OF 3 WWW.RAaleighNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s): PD	Proposed building use(s): Residential
If more than one district, provide the acreage of each:	Existing building(s) sq. ft. gross 600,033
Overlay District	Proposed building(s) sq. ft. gross 116,095
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 48.03	Total sq. ft. gross (existing & proposed) 716,128
Off street parking: Required 237 Provided 596	Proposed height of building(s) 66' - 2"
COA (Certificate of Appropriateness) case # N/A	# of stories 5
BOA (Board of Adjustment) case # A-N/A	Ceiling height of 1 st floor 9' - 4 3/4"
CUD (Conditional Use District) case # 2-16-16	
Stormwater Information	
Existing Impervious Surface 16.50 ac acres/square feet	Road Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 18.28 ac acres/square feet	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils FEMA Map Panel # Flood Study
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care or Life Care Dwelling Units 194	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (1-4 Above) 194	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/We do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I/We designate _____ as the agent for the property owner(s) to execute and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I/We have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed: _____ Date: 11-26-19	
Printed Name: MARK T. ANDREWS	
Signed: _____ Date: _____	
Printed Name: _____	

SITE DATA TABLE - (MP-1-I 6)

Subdistrict A				
Building Type	Dwelling Unit (DU) Conversion			
Apartment	168 Villa Units	Equals 84	DUs	
Detached	37 Cottages	Equals 37	DUs	
Apartment	60 Beds (rest home)	Equals 15	DUs	
	Total	136	DUs	
Civic Building/Club House	45,000 SF	Gross Floor Area		
Civic Building/Guard House	500 SF	Gross Floor Area		

Subdistrict B				
Building Type	Dwelling Unit (DU) Conversion			
Apartment	58 Villa Units	Equals 29	DUs	
	Total	29	DUs	

Subdistrict C				
Building Type	Dwelling Unit (DU) Conversion			
Apartment	60 Villa Units	Equals 30	DUs	
Detached	9 Cottages	Equals 9	DUs	
	Total	39	DUs	

TOTALS				
Building Type	Dwelling Unit (DU) Conversion			
Apartment	286 Villa Units	Equals 143	DUs	
Detached	46 Cottages	Equals 46	DUs	
Apartment	60 Beds (rest home)	Equals 15	DUs	
	Total	204	DUs	
Civic Building/Club House	45,000 SF	Gross Floor Area		
Civic Building/Guard House	500 SF	Gross Floor Area		

SITE DATA TABLE - PROPOSED

Subdistrict A				
Building Type	Dwelling Unit (DU) Conversion			
Apartment	168 Villa Units	Equals 84	DUs	
Detached	37 Cottages	Equals 37	DUs	
Apartment	60 Beds (rest home)	Equals 15	DUs	
	Total	136	DUs	
Civic Building/Club House	45,000 SF	Gross Floor Area		
Civic Building/Guard House	500 SF	Gross Floor Area		

Subdistrict B				
Building Type	Dwelling Unit (DU) Conversion			
Apartment	58 Villa Units	Equals 29	DUs	
	Total	29	DUs	

Subdistrict C				
Building Type	Dwelling Unit (DU) Conversion			
Apartment	58 Villa Units	Equals 29	DUs	
Detached				
	Total	29	DUs	

TOTALS				
Building Type	Dwelling Unit (DU) Conversion			
Apartment	284 Villa Units	Equals 142	DUs	
Detached	46 Cottages	Equals 46	DUs	
Apartment	60 Beds (rest home)	Equals 15	DUs	
	Total	194	DUs	
Civic Building/Club House	45,000 SF	Gross Floor Area		
Civic Building/Guard House	500 SF	Gross Floor Area		

MODIFICATIONS REQUESTED PURSUANT TO UDO SECTION 4.7.2

This PD District proposes certain modifications to the UDO pursuant to UDO Section 4.7.2. They are as follows:

A. New Streets and Block Perimeter
As a life care community that is fully enclosed for the safety and security of its residents, the Development has a private, internal street network. As such, it will not be subject to the new streets requirements contained in Article 8.4. In addition, the Development will not be subject to the minimum block perimeter standards contained in Article 8.3, which will not create any lots without direct street frontage or create safety issues or contribute to congestion. Further, it is reasonable to eliminate block perimeter standards based on the existing site layout of the Development.

Due to the existing infrastructure and development, certain street typologies under Article 8.4 will be modified. Forum Drive and Harvest Oaks Drive are both two lane avenues, undivided according to the City's Street Design Manual. However, the existing streets were built as collector streets under the old City Code as shown in Street and Block Plan. These existing streets will serve as an alternate to UDO Section 8.4.5 given the fact the infrastructure is already in place. Finally, the sidewalk width will be modified to reflect the existing 5' sidewalk width based on the significant landscaping planted on private property along Harvest Oaks Drive and Forum Drive.

Due to the existing infrastructure and development, certain aspects of the internal street network will be exempt from the Street Design Manual. In particular, the width of sidewalks and planting strips along the internal street network shall be exempt from Section 4.6.1 of the Street Design Manual. The Owner shall pay a fee in lieu for one foot of sidewalk along Strickland Road and Lead Mine Road adjacent to the boundary of the Property.

B. Use Standards
The Residential Mixed Use (RX) district is appropriate for properties identified as medium density residential on the Future Land Use Map. However, since RX requires a special use permit for a life care community use, this master plan is selecting Office Mixed Use (OX) as its base district. The following uses permitted in the OX District shall be prohibited:

college, community college, university;
sports academy;
commercial parking lot;
heliport;
detention center, jail, prison;
research and development; and
plant nursery.

C. Building/Structure Setbacks and Build-To
As a life care community that is fully enclosed for the safety and security of its residents, the Development has a private, internal street network. As a result, all buildings within the Development will orient to private streets and not the public streets. Therefore, the minimum building/structure setback requirements and build-to requirements applicable to the building types in Article 3.2 shall not apply.

D. Lot Dimensions
The minimum lot dimension area and width requirements applicable to the building types in Article 3.2 shall not apply. The Property shall not be subdivided.

E. Floor Heights
As a life care community with elderly residents, the buildings within the Development are designed for ease of access. In particular, they are designed so that residents do not have to climb steps to enter buildings. Therefore, the minimum ground floor elevation requirements applicable to the building types in Article 3.2 shall not apply.

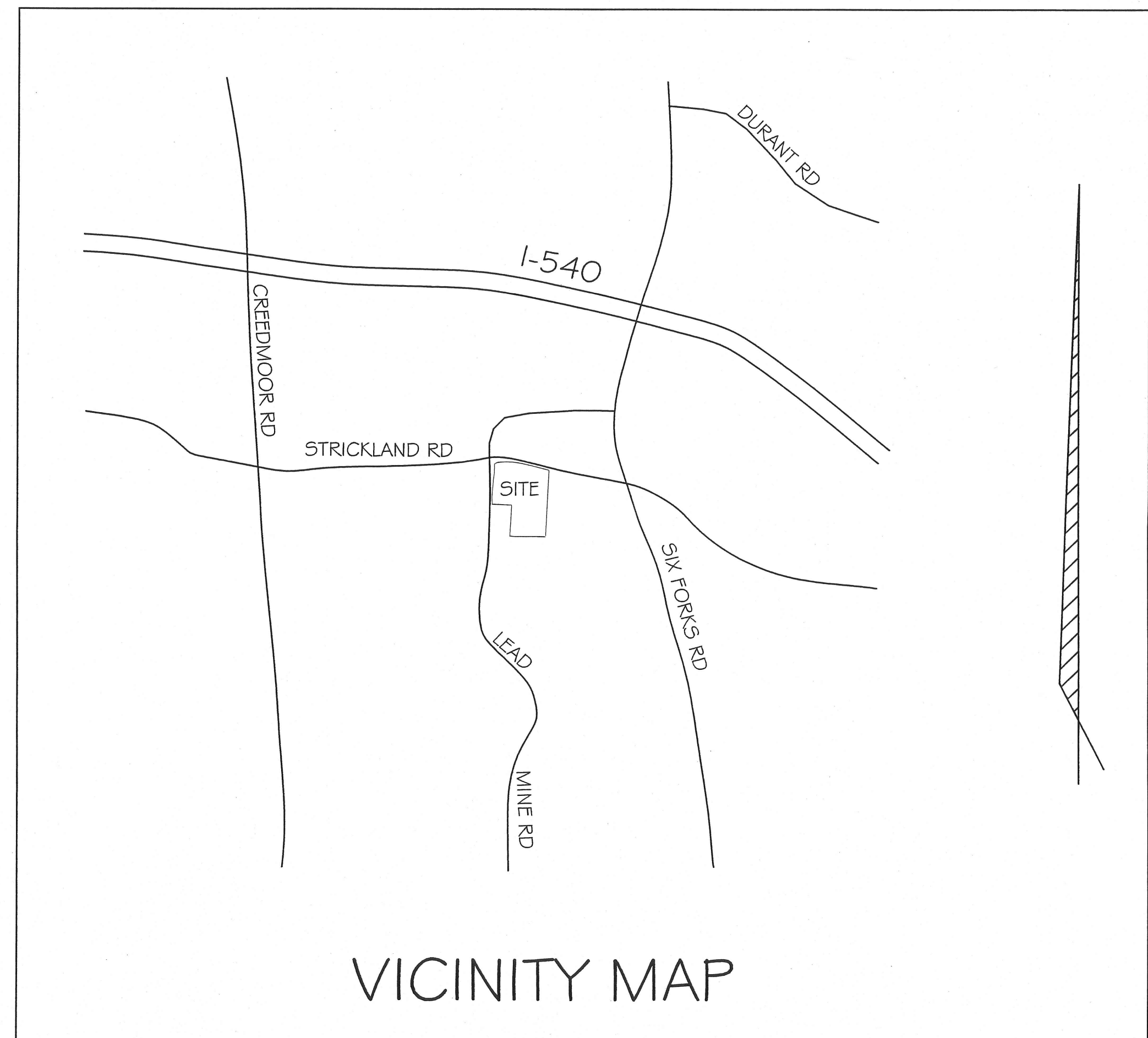
F. Transparency
As a life care community, the buildings within the Development are designed for the needs of its residents. All building types shall have no less than 15% transparency on all portions of the Property.

G. Open Space
Based on the configuration of open space within the existing life care community, the Development will contain a minimum of 10% open space.

Drawing Index

Sheet #	Title
C-000	Cover Sheet
C-101	Existing Conditions
C-400	Overall Site Layout
C-407	Site Layout
C-507	Site Utilities
C-607	Grading & Storm Drainage
L-400	Overall Landscape Plan
L-401	Protective Yard Planting
L-407	Landscape Plan
L-601	Landscape Details
LA-1	Tree Conservation Plan 1
LA-2	Tree Conservation Plan 2
LA-3	Tree Conservation Plan 3
SPA-211	Building Elevations 1
SPA-212	Building Elevations 2
SPA-213	Building Elevations 3
SE-100	Photometric Plan

SITE DATA	
PROJECT NAME	CYPRESS OF RALEIGH PHASE 3 - VILLA BUILDING E
PREPARED BY CONTACT INFORMATION	JONES & CNOSSEN ENGINEERING, PLLC P.O. BOX 1062 APEX, NORTH CAROLINA 27502 PHONE - (919) 387-1174 FAX - (919) 387-3375 CONTACT PERSON - PETER D. CNOSSEN
OWNER / DEVELOPER CONTACT INFORMATION	CYPRESS OF RALEIGH, LLC 7101 CREEDMOOR ROAD, SUITE 142 RALEIGH, NC 27613 PHONE - (919) 877-7106 CONTACT PERSON - MARK ANDREWS
CURRENT PROPERTY ZONING	PD
ZONING CASE NUMBER	2-16-16, MP-1-16
PROJECT ADDRESS	8710 CYPRESS CLUB DRIVE
WAKE COUNTY PIN	1708-02-5721
ORIGINAL CYPRESS DEVELOPMENT AREA	48.03 ACRES
PREVIOUS R/W DEDICATION	2.94 ACRES
HARVEST OAKS DRIVE COMMON AREA	1.08 ACRES
CURRENT CYPRESS DEVELOPMENT AREA	44.01 ACRES
NEW LEAD MINE R/W DEDICATION	0.22 ACRES
NEW STRICKLAND ROAD R/W DEDICATION	0.15 ACRES
NEW CYPRESS DEVELOPMENT AREA	43.64 ACRES
PHASE 3 AREA	4.33 ACRES
EXISTING NUMBER OF LIFE CARE UNITS	165
PH. 3 MAXIMUM NUMBER OF LIFE CARE UNITS	39 (78 ROOMS)
PH. 3 PROPOSED NUMBER OF LIFE CARE UNITS	29 (58 ROOMS)
OPEN SPACE AREA REQUIRED	4.40 AC (1.0% OF CURRENT PARCEL)
OPEN SPACE AREA PROVIDED	4.97 AC (1.13%)
EXISTING PARKING SPACES	509
PHASE 3 PARKING SPACES REQUIRED	29 (1 SPACE PER 2 ROOMS)
PHASE 3 PARKING SPACES PROVIDED	87



PARKING & LANDSCAPING APPLICABILITY

EXISTING TOTAL SITE GROSS FLOOR AREA = 600,033 SF
PROPOSED PHASE 3 GROSS FLOOR AREA = 116,095 SF
PERCENT INCREASE IN GROSS FLOOR AREA = 116,095 SF / 600,033 SF = 19.4%

EXISTING TOTAL SITE AREA = 44.01 AC
IMPROVED PHASE 3 SITE AREA = 4.33 AC
PERCENT INCREASE IN IMPROVED SITE AREA = 4.33 AC / 44.01 AC = 9.8%

SINCE THE INCREASE IN GROSS FLOOR AREA AND IMPROVED SITE AREA ARE BOTH LESS THAN 25%, PER UDO SECTION 7.1.1(B2) AND 7.2.2(B2), ONLY PHASE 3 IS REQUIRED TO MEET PARKING AND LANDSCAPE STANDARDS OF THE UDO.

PARKING SUMMARY

EXISTING PARKING - 509 (16 HC)
HEALTHCARE FACILITY - 58 (4 HC)
CLUBHOUSE - 47 (4 HC)
VILLA BUILDING A - 82 (4 HC)
VILLA BUILDING B - 78 (4 HC)
VILLA BUILDING C - 75 (4 HC)
VILLA BUILDING D - 95 (4 HC)
COTTAGES - 74 (6 GUEST)

PROPOSED PARKING - 87 (3 HC)
VILLA BUILDING E
REQUIRED - 20 (58 UNITS @ 1 SPACE/3 UNIT)
PROPOSED - 87 (3 HC)

TOTAL PARKING - 596 (19 HC)

CASE FILE: SR-111-18

THE CONSTRUCTION INSPECTION OF PRIVATE STREETS WITHIN CLUSTER UNITS, CONDOMINIUMS, GROUP HOUSING, TOWNHOUSE DEVELOPMENTS AND MOBILE HOME PARKS SUBMITTED FOR CITY APPROVAL IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER. COPIES OF CERTIFIED INSPECTION REPORTS INVOLVING SUBGRADE/AGGREGATE BASE PROFILES, AGGREGATE BASE AND ASPHALT DENSITIES AND THICKNESS, AND OTHER PERTINENT INFORMATION MUST BE SUBMITTED TO THE CITY'S ENGINEERING INSPECTIONS MANAGER AT P. O. BOX 590, RALEIGH, NC 27602.

2	3.6.19	2nd ASR
1	1.30.19	1st ASR
Rev	Date	Description

THE CYPRESS OF RALEIGH
PHASE III VILLA E - SITE
8801 CYPRESS LAKE DR,
RALEIGH, NORTH CAROLINA

Jones & Cnossen
ENGINEERING, PLLC
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SUITE 001
PO BOX 1062
APEX, NC 27502
Office: 919-387-1174
Registration: P-0151
www.jonescnsossen.com

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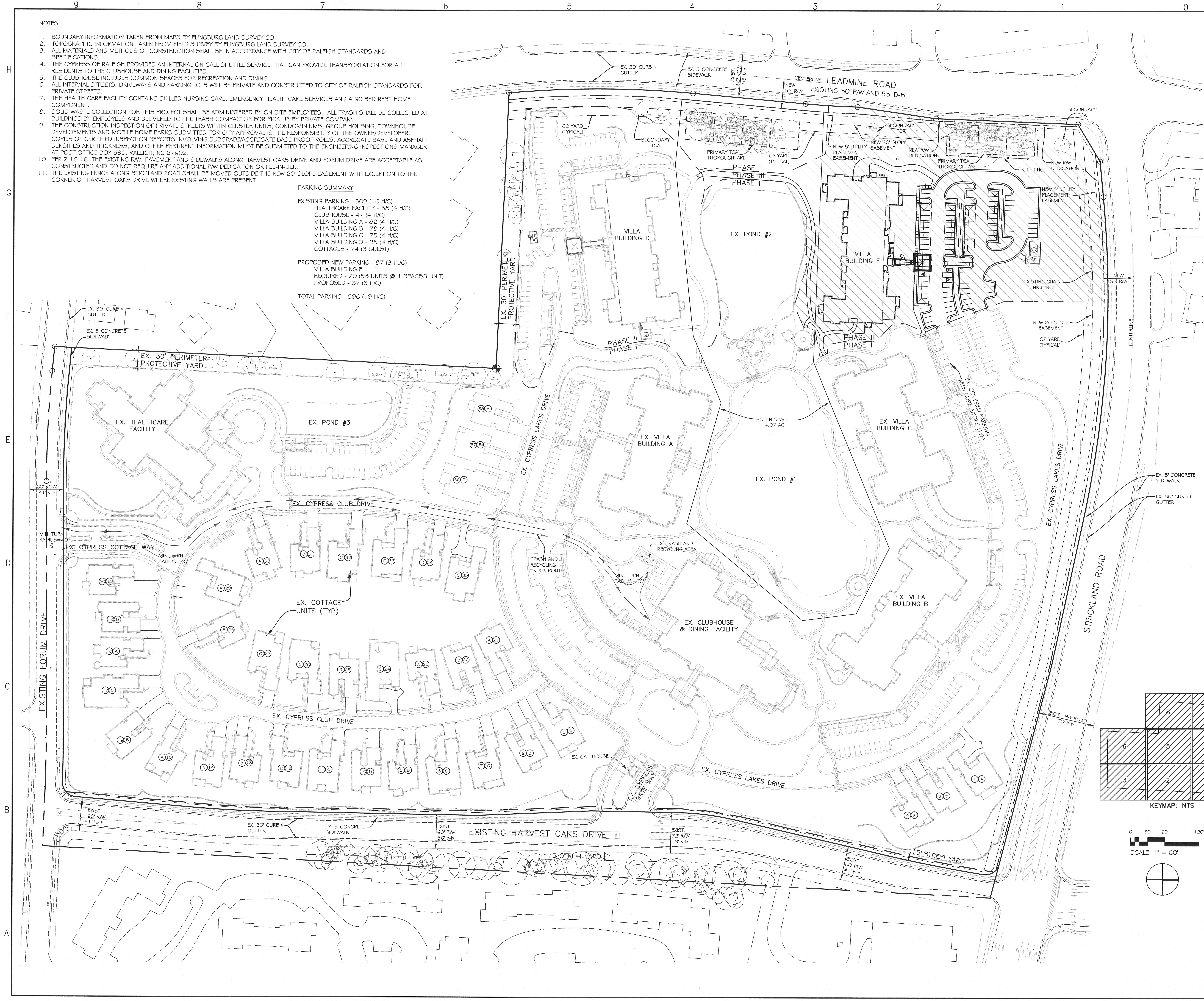
ADMINISTRATIVE
SITE REVIEW

NOT ISSUED FOR
CONSTRUCTION

Project No.: 2016022
Date: 11/27/2018
Drawn By: PLK
Checked By: PDC

COVER
SHEET

C-000



- NOTES
1. BOUNDARY INFORMATION TAKEN FROM MAPS BY EUNGBURG LAND SURVEY CO.
 2. TOPOGRAPHIC INFORMATION TAKEN FROM FIELD SURVEY BY EUNGBURG LAND SURVEY CO.
 3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 4. THE CYPRESS OF RALEIGH PROVIDES AN INTERNAL ON-CALL SHUTTLE SERVICE THAT CAN PROVIDE TRANSPORTATION FOR ALL RESIDENTS TO THE CLUBHOUSE AND DINING FACILITIES.
 5. THE CLUBHOUSE INCLUDES COMMON SPACES FOR RECREATION AND DINING.
 6. ALL INTERNAL STREETS, DRIVEWAYS AND PARKING LOTS WILL BE PRIVATE AND CONSTRUCTED TO CITY OF RALEIGH STANDARDS FOR PRIVATE STREETS.
 7. THE HEALTH CARE FACILITY CONTAINS SKILLED NURSING CARE, EMERGENCY HEALTH CARE SERVICES AND A 60 BED REST HOME COMPONENT.
 8. SOLID WASTE COLLECTION FOR THIS PROJECT SHALL BE ADMINISTERED BY ON-SITE EMPLOYEES. ALL TRASH SHALL BE COLLECTED AT BUILDINGS BY EMPLOYEES AND DELIVERED TO THE TRASH COMPACTOR FOR PICK-UP BY PRIVATE COMPANY.
 9. THE CONSTRUCTION INSPECTION OF PRIVATE STREETS WITHIN CLUSTER UNITS, CONDOMINIUMS, GROUP HOUSING, TOWNHOUSE DEVELOPMENTS AND MOBILE HOME PARKS SUBMITTED FOR CITY APPROVAL IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER. COPIES OF CERTIFIED INSPECTION REPORTS INVOLVING SUBGRADE/AGGREGATE BASE PROOF ROLLS, AGGREGATE BASE AND ASPHALT DENSITIES AND THICKNESS, AND OTHER PERTINENT INFORMATION MUST BE SUBMITTED TO THE ENGINEERING INSPECTIONS MANAGER AT POST OFFICE BOX 590, RALEIGH, NC 27602.
 10. PER 2-16-16, THE EXISTING R/W, PAVEMENT AND SIDEWALKS ALONG HARVEST OAKS DRIVE AND FORUM DRIVE ARE ACCEPTABLE AS CONSTRUCTED AND DO NOT REQUIRE ANY ADDITIONAL R/W DEDICATION OR FEE-IN-LIEU.
 11. THE EXISTING FENCE ALONG STRICKLAND ROAD SHALL BE MOVED OUTSIDE THE NEW 20' SLOPE EASEMENT WITH EXCEPTION TO THE CORNER OF HARVEST OAKS DRIVE WHERE EXISTING WALLS ARE PRESENT.

PARKING SUMMARY

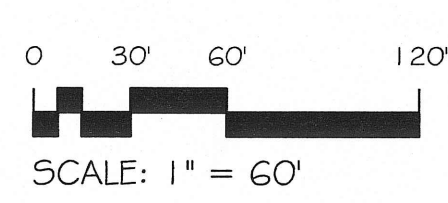
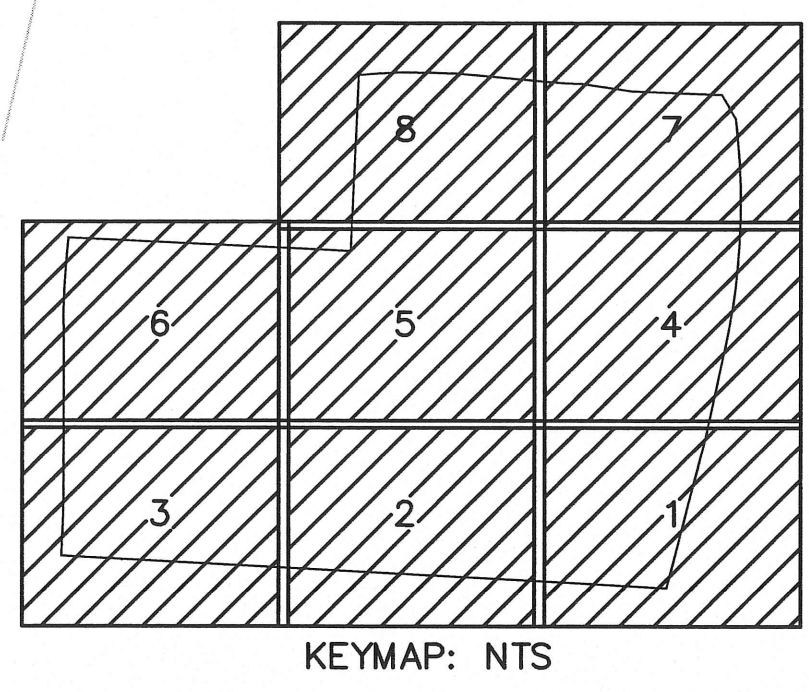
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3	3.14.19	C2 YARD
2	3.6.19	2nd ASR
1	1.30.19	1st ASR
Rev	Date	Description

THE CYPRESS OF RALEIGH
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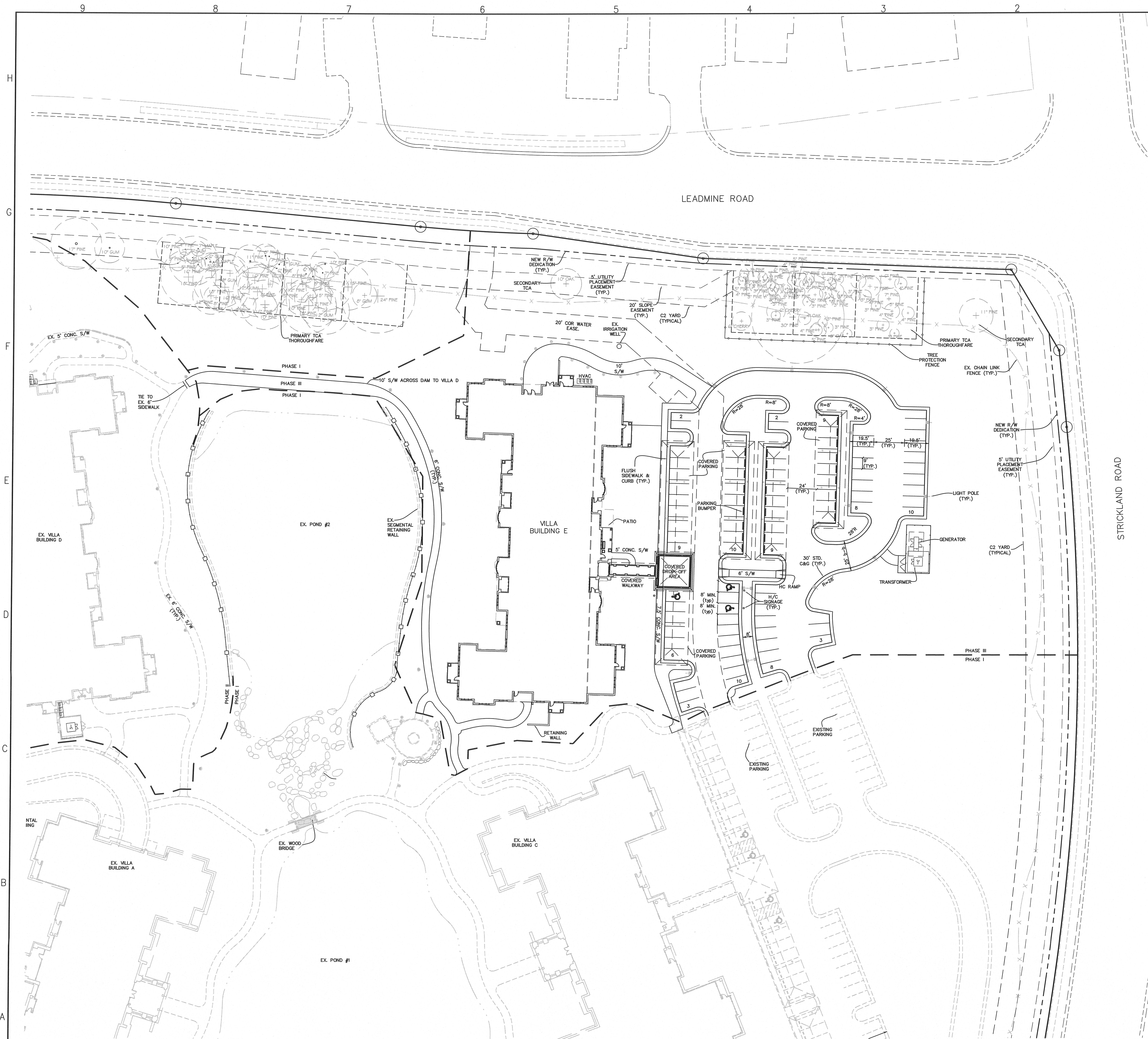
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Checked By: PDC

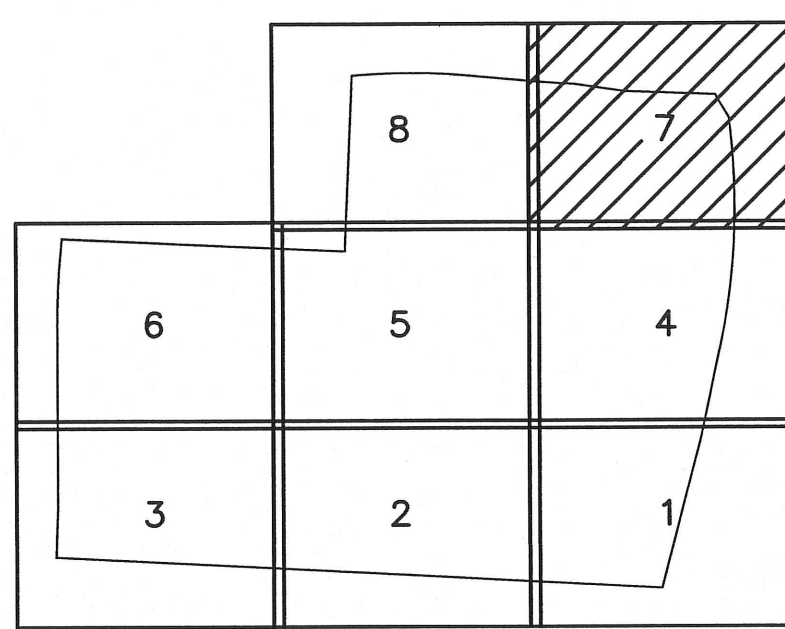
OVERALL
SITE LAYOUT

C-400

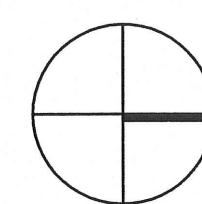


- NOTES
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 2. ALL BACK OF CURB RADII TO BE 5' UNLESS OTHERWISE NOTED.
 3. THE CONSTRUCTION INSPECTION OF PRIVATE STREETS WITHIN CLUSTER UNITS, CONDOMINIUMS, GROUP HOUSING, TOWNHOUSE DEVELOPMENTS AND MOBILE HOME PARKS SUBMITTED FOR CITY APPROVAL IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER. COPIES OF CERTIFIED INSPECTION REPORTS INVOLVING SUBGRADE/AGGREGATE BASE PROOF ROLLS, AGGREGATE BASE AND ASPHALT DENSITIES AND THICKNESS, AND OTHER PERTINENT INFORMATION MUST BE SUBMITTED TO THE ENGINEERING INSPECTIONS MANAGER AT POST OFFICE BOX 590, RALEIGH, NC 27602.

- LEGEND
- TREE SAVE FENCING
 - SILT FENCE WITH TREE SAVE SIGNAGE
 - CB - CATCH BASIN
 - YI - YARD INLET
 - CO - CLEAN OUT
 - JB - JUNCTION BOX
 - b-b - BACK OF CURB TO BACK OF CURB
 - FH - FIRE HYDRANT
 - MH - MAN HOLE
 - DW - DUCTILE IRON WATERLINE
 - FDC - FIRE DEPARTMENT CONNECTION
 - DB - DRAIN BASIN (PLASTIC)
 - ID - INLINE DRAIN (PLASTIC)
 - RCP - REINFORCED CONCRETE PIPE
 - CPP - CORRUGATED PLASTIC PIPE
 - EXISTING TREE
 - X - EXISTING TREE TO BE REMOVED



0 15 30 60
SCALE: 1" = 30'



Rev	Date	Description
3	3.14.19	C2 YARD
2	3.6.19	2nd ASR
1	1.30.19	1st ASR

THE CYPRESS OF RALEIGH
PHASE III VILLA E - SITE
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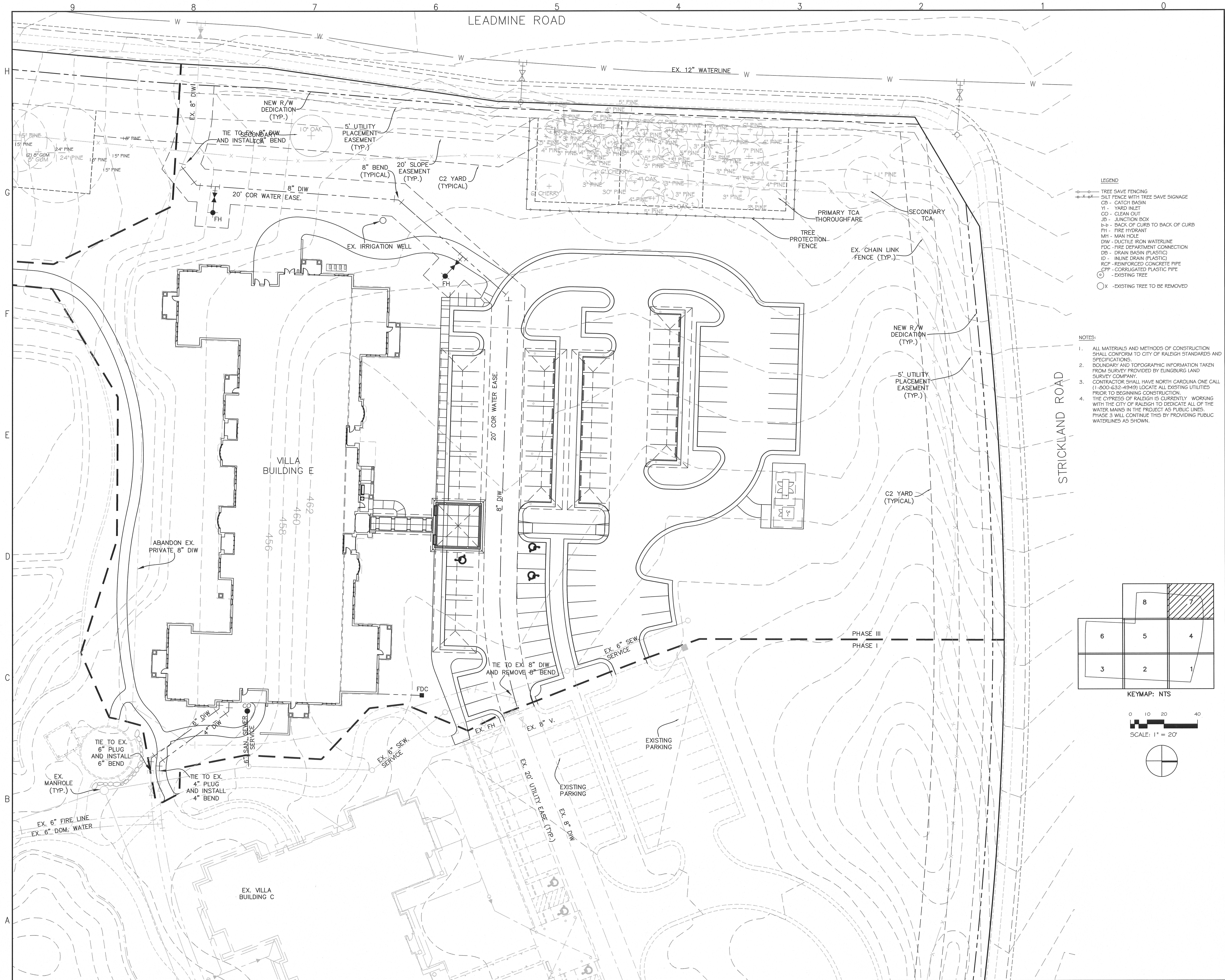
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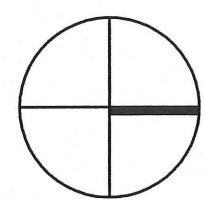
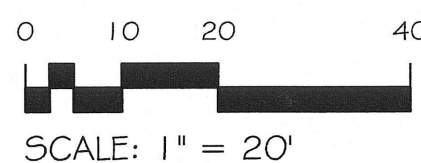
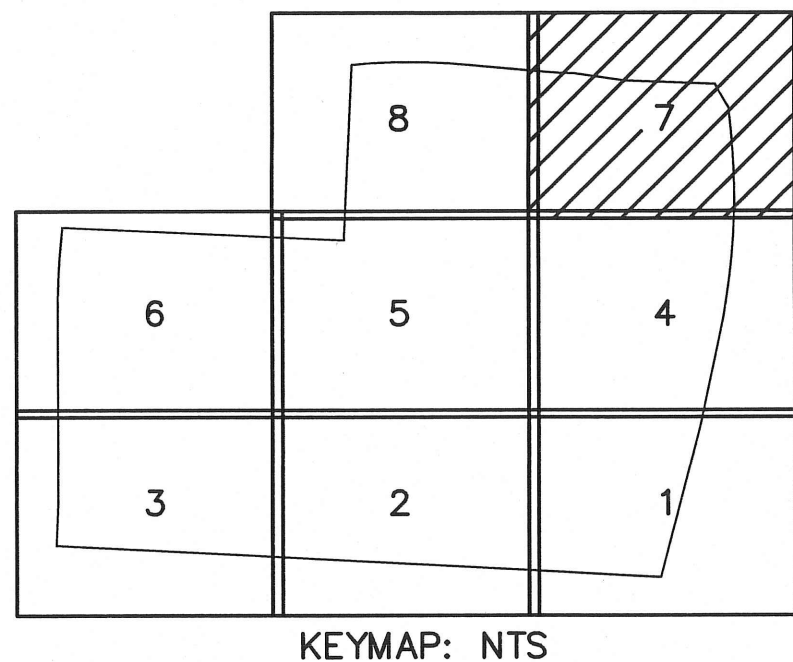
SITE LAYOUT

C-407



- LEGEND
- TREE SAVE FENCING
 - SILT FENCE WITH TREE SAVE SIGNAGE
 - CB - CATCH BASIN
 - YI - YARD INLET
 - CO - CLEAN OUT
 - JB - JUNCTION BOX
 - b-b - BACK OF CURB TO BACK OF CURB
 - FI - FIRE HYDRANT
 - MH - MAN HOLE
 - DIW - DUCTILE IRON WATERLINE
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 - ID - INLINE DRAIN (PLASTIC)
 - RCF - REINFORCED CONCRETE PIPE
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 - ⊙ - EXISTING TREE
 - X - EXISTING TREE TO BE REMOVED

- NOTES:
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 2. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY PROVIDED BY ELINGBURG LAND SURVEY COMPANY.
 3. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 4. THE CYPRESS OF RALEIGH IS CURRENTLY WORKING WITH THE CITY OF RALEIGH TO DEDICATE ALL OF THE WATER MAINS IN THE PROJECT AS PUBLIC LINES. PHASE 3 WILL CONTINUE THIS BY PROVIDING PUBLIC WATERLINES AS SHOWN.



3	3.14.19	C2 YARD
2	3.6.19	2nd ASR
1	1.30.19	1st ASR
Rev	Date	Description

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SITE
UTILITIES

C-507

[illegible]

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CONSTRUCTION

Project No.:	201708
Date:	01/31/201

OVERALL
LANDSCAPE PLAN

L-400

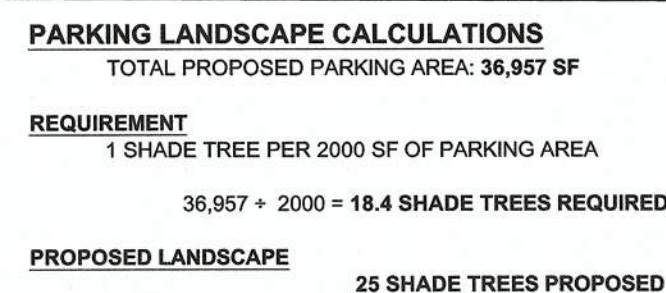


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PHASE III VILLA E - SITE
8581 CYPRESS LAKE DR,
RALEIGH, NORTH CAROLINA



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L-407



E 1 SOUTH BUILDING ELEVATION (LAKESIDE)
1/8" = 1'-0"

A | **2 WEST BUILDING ELEVATION (LEAD MINE ROAD)**
1/8" = 1'-0"

Street Facing Transparency Calculations			
North - Strickland Road			
Wall		7408.26	SF
Glazing		3422.94	SF
Percentage		46%	
West - Lead Mine Rd			
Wall		4992.2	SF
Glazing		1307.99	SF
Percentage		26%	
Cypress of Raleigh - Villa E			
Proposed Elevations	Spot Elevations (Proposed)	Existing Elevations	Spot Elevations (Existing)
North	P1: 462	North	P1: 457
P1	462	P2	457
P2	462	P3	463.5
Average	462	Average	460.25
East		East	
P2	462	P2	463.5
P3	452	P3	455
Average	457	Average	459.25
South		South	
P3	452	P3	455
P4	452	P4	451
Average	452	Average	453
West		West	
P4	452	P4	451
P1	462	P1	457
Average	457	Average	454
Average Grade	457	Average Grade	456.625

* Existing average grade is more restrictive.