



Administrative Approval Action

AA #3956 / SR-119-18, 809 Brooklyn Street
Transaction# 580672

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This site is located on the south side of Brooklyn Street, between St. Mary's Street and Gaston Street, at 809 Brooklyn Street.
- REQUEST:** Development of two tracts totaling .51 acres, zoned OX-3, and within an HOD-S overlay district into a 2,324 square foot attached dwelling on each lot (totaling 4,648 square feet). Also, 16 surface area parking spaces, 10 of which are designated as shared parking for 800 St. Mary's Street (SR-56-18).
- DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** A Certificate of Appropriateness has been approved by the Historic Development Commission for this project, noted below.
1. Slight changes from COA 128-18-CA: orientation of rear-unit porch, front sidewalk adjacent to drive, building front setback, entry floor height. Changes administratively approved for previously filed COA.
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated May 2, 2019 by John A Edwards and Company.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **CONCURRENT SITE REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review and/or revision may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Concurrent Site Review plans:

Engineering

1. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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Urban Forestry

3. A fee-in-lieu for three (3) street trees along Brooklyn Street is paid to the City of Raleigh (UDO 8.1.10).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input type="checkbox"/>	City Code Covenant	<input type="checkbox"/>	Slope Easement
<input type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input checked="" type="checkbox"/>	Utility Placement Easement	<input checked="" type="checkbox"/>	Cross Access Easement
<input type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other:

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
2. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
3. A fee-in-lieu for pavement, curb and gutter and sidewalk along Brooklyn Street is paid to the City of Raleigh (UDO 8.1.10).
4. A cross access agreement among the two lots shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.



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☒ **BUILDING PERMITS** – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Provide fire flow analysis.
2. Approval by the COR Historic Development Commission and receipt of the COA blue placard.

Engineering

3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
4. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
5. A fee-in-lieu for pavement, curb and gutter and sidewalk along Brooklyn Street shall be paid to the City of Raleigh (UDO 8.1.10).
6. A cross access agreement among the lots shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
7. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.
8. A plat must be recorded at the Wake County Register of Deeds office for all recombination's and/or utility easement dedications.

The following are required prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.



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2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. All street lights and street signs required as part of the development approval are installed.
5. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 5/29/2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

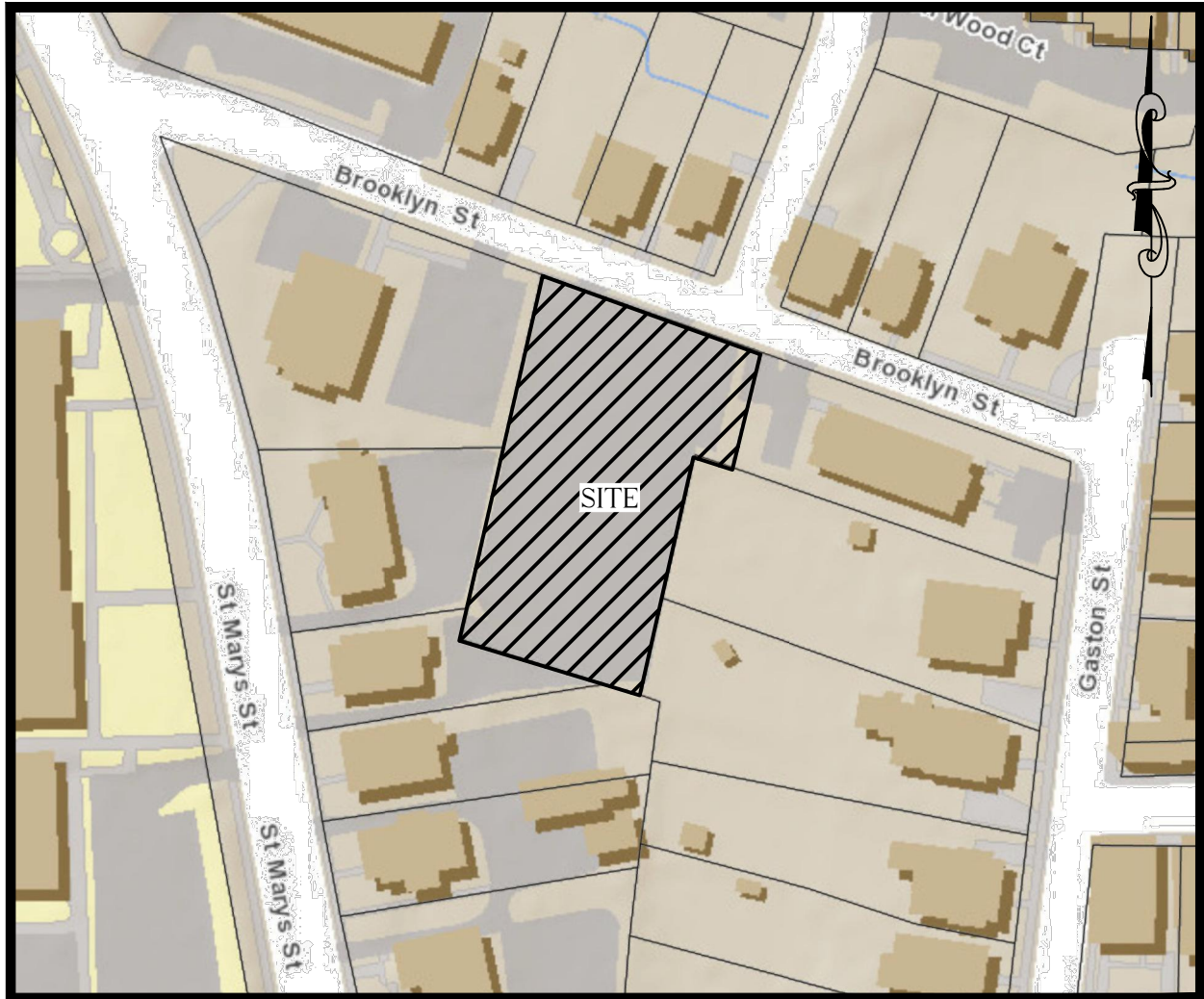
Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Development Services Dir./Designee)

Date: 5/29/19

Staff Coordinator: Michael Walters



VICINITY MAP
NOT TO SCALE

SITE DATA

SITE ADDRESS:	809 BROOKLYN STREET	
WAKE COUNTY PIN#:	1704325892	
ZONING:	OX-3-HOD-S (GLENWOOD-BROOKLYN)*	
EXISTING AREA:	TRACT 1: 21,651 SF (0.4970 AC) TRACT 2: 595 SF (0.0137 AC) TOTAL: 22,246 SF (0.5107 AC)	
AREA TO BE DEDICATED:	- 2,225 SF (0.05 AC)	
RECOMBINED LOT DIMENSIONS:	PROVIDED	MINIMUM
	RECOMBINED TRACT 1: 9,866 SF (0.23 AC)	6,000 SF
	RECOMBINED TRACT 2: 10,155 SF (0.23 AC)	6,000 SF
PROPOSED TOTAL ACREAGE:	20,021 SF (0.46 AC)	
EXISTING USE:	PARKING LOT	
PROPOSED USE:	TWO-UNIT LIVING (ATTACHED HOUSE)	
EXISTING PARKING:	56 SPACES	
REQUIRED PARKING:	2 SPACES/UNIT * 4 = 8 SPACES 8 SPACES (GARAGE) 16 STANDARD (8.5'x18') (SURFACE)	
PROPOSED PARKING:	24 SPACES TOTAL	
BUILDING HEIGHT:	MAXIMUM	PROVIDED
	40'3 STORIES	30'2 STORIES
	REQUIRED	PROVIDED
GROUND FLOOR ELEVATION:	2'	*
STREET SECTION:	NEIGHBORHOOD	*
EXISTING IMPERVIOUS: (WITHIN EFFECTIVE AREA)	0.51 AC	
PROPOSED IMPERVIOUS: (WITHIN EFFECTIVE AREA)	0.36 AC	
PRINCIPAL BUILDING SETBACKS:	PRIMARY STREET:	*
	SIDE LOT LINE:	5'
	REAR LOT LINE:	20'
NEIGHBORHOOD TRANSITION:	ZONE A (PROTECTIVE YARD): 10' SERVICE AREA: 25' ZONE B (USE RESTRICTED): * ZONE C (HEIGHT AND FORM): 100'	
STORMWATER MANAGEMENT EXEMPTION: 1. PER UDO 9.2.2.A.3.B., THE PROPOSED DEVELOPMENT IS EXEMPT FROM THE ACTIVE STORMWATER CONTROL MEASURES, INCLUDING NITROGEN REDUCTION (UDO 9.2.2.B) AND RUNOFF CONTROL (UDO 9.2.2.E), AS THE "SUBSTITUTION OF IMPERVIOUS SURFACES" MEETS THE STANDARDS OF UDO 10.3.4.E. *THE RALEIGH HISTORIC DEVELOPMENT COMMISSION (RHDC) SHALL ISSUE A CERTIFICATE OF APPROPRIATENESS PRIOR TO PERMIT ISSUANCE. THE NOTED BASE DIMENSIONAL STANDARDS HAVE BEEN MODIFIED BY RHDC UNDER APPROVAL OF 128-18-CA.		

INDEX

-	COVER SHEET
CE-1	EXISTING CONDITIONS/DEMOLITION PLAN
CE-2	SITE PLAN
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CE-4	UTILITY PLAN
LA2.04	PLANTING PLAN
LA2.05	LANDSCAPE SPECIFICATIONS

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A2.01	BUILDING PLANS
A3.01	EXTERIOR ELEVATIONS
A8.01	BUILDING SECTIONS
A8.02-A8.03	WALL SECTIONS
A9.02	BALCONY AND RAILING DETAILS
A9.03	DETAILS

809 BROOKLYN STREET

ADMINISTRATIVE SITE REVIEW

SR-119-18

TRANS. #580672

809 BROOKLYN STREET

RALEIGH, NORTH CAROLINA 27605

DECEMBER 20, 2018
JANUARY 30, 2019
APRIL 02, 2019
MAY 02, 2019

OWNER:
800 ST. MARY'S JV, LLC
4310 PARK ROAD; APT 101
CHARLOTTE, NC 28209
Phone: (919) 343-2828
E-mail: Grey@selwynpropertygroup.com

ARCHITECT:
JDAVIS ARCHITECTS
510 S. WILMINGTON ST.
RALEIGH, NC 27601
Phone: (919) 835-1500
E-mail: bille@jDavisarchitects.com

LANDSCAPE ARCHITECT:
JDAVIS ARCHITECTS
510 S. WILMINGTON ST.
RALEIGH, NC 27601
Phone: (919) 835-1500
E-mail: jonathanp@jDavisarchitects.com

CIVIL ENGINEER:
JOHN A. EDWARDS & COMPANY
Consulting Engineers
NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com



REMOTE PARKING STATEMENT
IN ACCORDANCE WITH UDO 7.1.5.B
TEN (10) PARKING SPACES ON THE
SUBJECT SITE ARE PROPOSED TO
MEET THE PARKING REQUIREMENTS OF
THE DEVELOPMENT AT 800 SAINT
MARY'S STREET (SR-56-18).

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH CITY OF RALEIGH
STANDARDS AND SPECIFICATIONS.

SOLID WASTE INSPECTIONS STATEMENT
SOLID WASTE TO BE COLLECTED IN
ROLLOUT CONTAINERS BY INDIVIDUAL
UNITS AND ROLLED TO CURB FOR
CITY PROVIDED PICKUP ON
DESIGNATED DAYS.

Administrative Site Review Application
(for UDO Districts only)



Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | eFax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input checked="" type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number Assigned Project Coordinator Assigned Team Leader
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # 551817		
GENERAL INFORMATION		
Development Name 809 Brooklyn		
Zoning District OX-3	Overlay District (if applicable) HOD-S	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Use Two (2) attached house buildings		
Property Address(es) 809 Brooklyn Street		Major Street Locator: 300' E of St. Mary's intersection
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
P.I.N. 1704325892	P.I.N.	P.I.N.
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Office <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Banks <input type="checkbox"/> Industrial Building <input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> Cottage Court <input type="checkbox"/> Other: If other, please describe: _____		
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Removal of existing paved parking lot, and construction of two (2) attached house units including associated site improvements	
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE	
CLIENT/DEVELOPER/OWNER	Company 800 St. Mary's JV, LLC Name (s) Grey Poole Address 4310 Park Road; Suite 101; Charlotte, NC 28209 Phone Email Fax	
CONSULTANT (Contact Person for Plans)	Company John A. Edwards & Company Name (s) Jon R. Callahan Address 333 Wade Ave; Raleigh, NC 27605 Phone (919) 828-4428 Email info@jaeco.com Fax (919) 828-4711	

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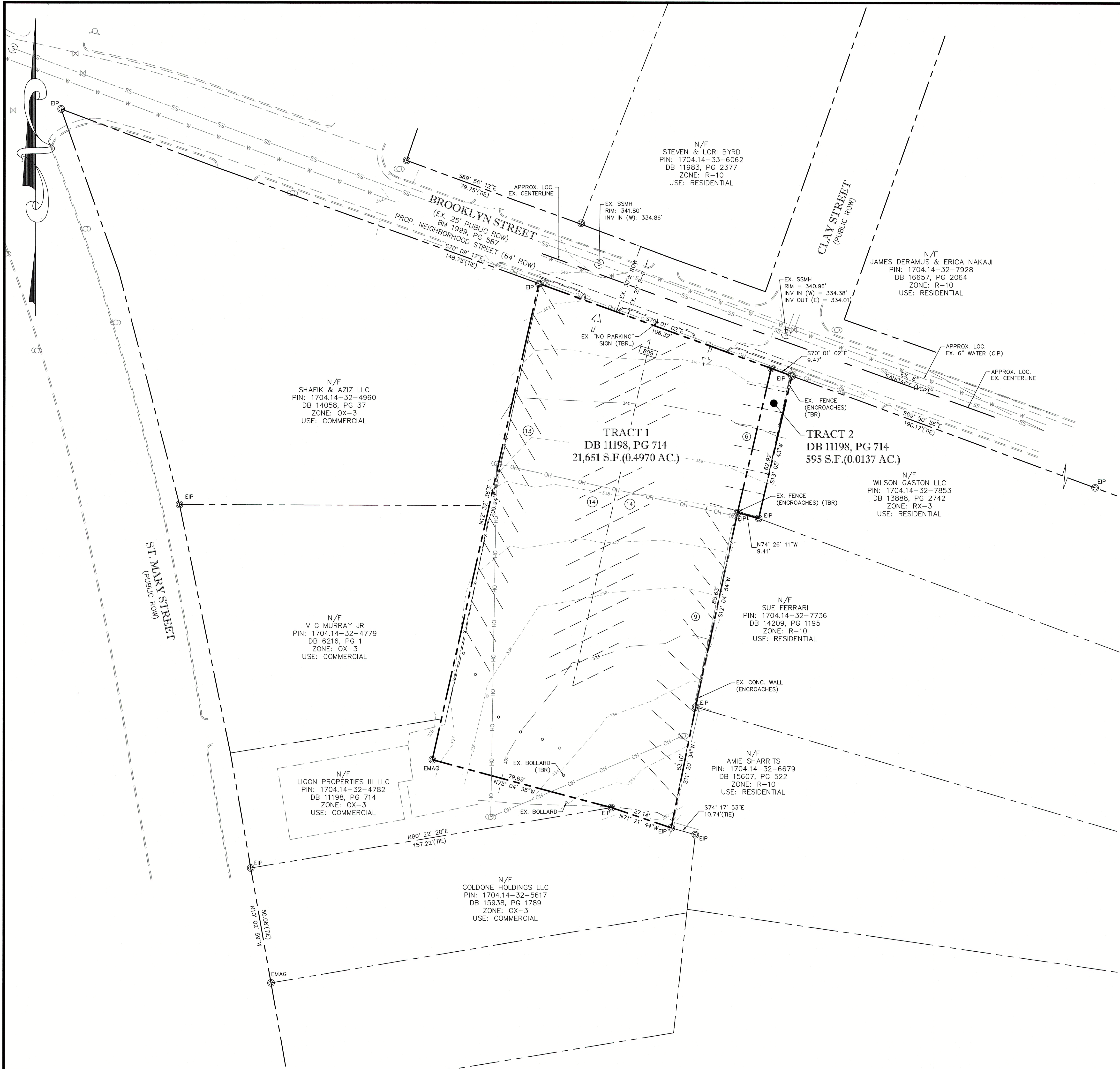
REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) OX-3	Proposed Building use(s) Attached House
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 0
Overlay District HOD-S (Glenwood-Brooklyn)	Proposed Building(s) sq. ft. gross 2,324 + 2,324 = 4,648
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 0.50	Total sq. ft. gross (existing & proposed) 4,648
Off street parking: Required 8 Provided 24	Proposed height of building(s) 30'
COA (Certificate of Appropriateness) case # 128-18-CA	# of stories 2
BOA (Board of Adjustment) case # A-	Ceiling height of 1 st Floor 11'
CUD (Conditional Use District) case # Z-	
Stormwater Information	
Existing Impervious Surface 0.51 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 0.36 acres/square feet	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils: FEMA Map Panel # Flood Study
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units 4	5. Bedroom Units: 1br 0 2br 4 3br 0 4br or more 0
2. Total # Of Congregate Care Or Life Care Dwelling Units 0	6. Infill Development 2.2.7 N/A
3. Total Number of Hotel Units 0	7. Open Space (only) or Amenity N/A
4. Overall Total # Of Dwelling Units (1-6 Above) 4	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate Jon Callahan to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed Sep Poole	Date 12/14/18
Printed Name Grey Poole	
Signed	Date
Printed Name	

PAGE 2 OF 3

WWW.RALEIGHNC.GOV

REVISION 05.13.16



GENERAL NOTES:

1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.

SURVEYOR'S NOTES:

1. ALL DISTANCES ARE HORIZONTAL GROUND.
2. ALL DIMENSIONS ARE IN FEET.
3. AREA COMPUTED USING COORDINATE METHOD FROM MEASURED FIELD DATA.
4. BASIS OF BEARINGS IS NORTH CAROLINA GRID NORTH, NAD83(2011). THE SITE WAS LOCALIZED UTILIZING REAL-TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) SOLUTIONS REFERENCING THE CONTINUOUSLY OPERATING REFERENCE STATION (CORS) NETWORK BASE STATION NCRD, RALEIGH, NC.

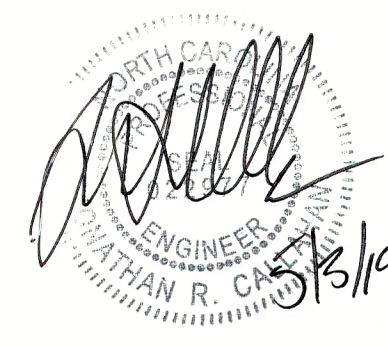


JOHN A. EDWARDS & COMPANY
Consulting Engineers
and Land Surveyors

NC License F-0289
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Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

www.jaeco.com

Seals



Project

809 Brooklyn Street
809 Brooklyn Street
Raleigh, NC 27605

Client

800 St. Mary's JV, LLC
4310 Park Road
Suite 101
Charlotte, NC 28209

ABBREVIATIONS

AC	ACRE	IPS	IRON PIPE SET
APPROX	APPROXIMATE	LF	LINEAR FEET
B-B	BACK-TO-BACK	LOC	LOCATION
BM	BOOK OF MAPS	MH	MANHOLE
BR	BOTTOM OF RISER	NIF	NOW OR FORMERLY
BW	BOTTOM OF WALL	PG	PAGE
CB	CATCH BASIN	PROP	PROPOSED
CIP	CAST IRON PIPE	PVC	POLYVINYL CHLORIDE
CONC	CONCRETE	ROW	RIGHT OF WAY
DEED	DEED BOOK	RSDM	RALEIGH STREET DESIGN MANUAL
ELEC	ELECTRIC	SF	SQUARE FEET
EIP	EX IRON PIPE	SS	SANITARY SEWER
EX	EX IRON ROD	SWM	STORMWATER
ELEV	ELEVATION	TBD	TO BE DETERMINED
ESMT	EASEMENT	TBR	TO BE REMOVED
EX	EXISTING	TBR	TO BE RELOCATED
FDC	FIRE DEPARTMENT CONNECTION	TC	TOP OF CURB
FFE	FINISHED FLOOR ELEVATION	TF	TRANSFORMER
FH	FIRE HYDRANT	TR	TOP OF RISER
G	GRADE	TW	TOP OF WALL
GAR	GARAGE	TYP	TYPICAL
GIS	GEOGRAPHIC INFORMATION SYSTEM	UDO	UNIFIED DEVELOPMENT ORDINANCE
GP	GALVANIZED PIPE		
HDPE	HIGH DENSITY POLYETHYLENE		

LEGEND

EX PROPERTY LINE	---
EX ADJACENT PROPERTY LINE	---
EX CENTERLINE	---
EX MAJOR CONTOUR	---xxx---
EX MINOR CONTOUR	---xxx---
EX FENCE	---X---
EX WATER LINE	---W---
EX SEWER LINE	---SS---

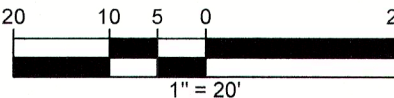
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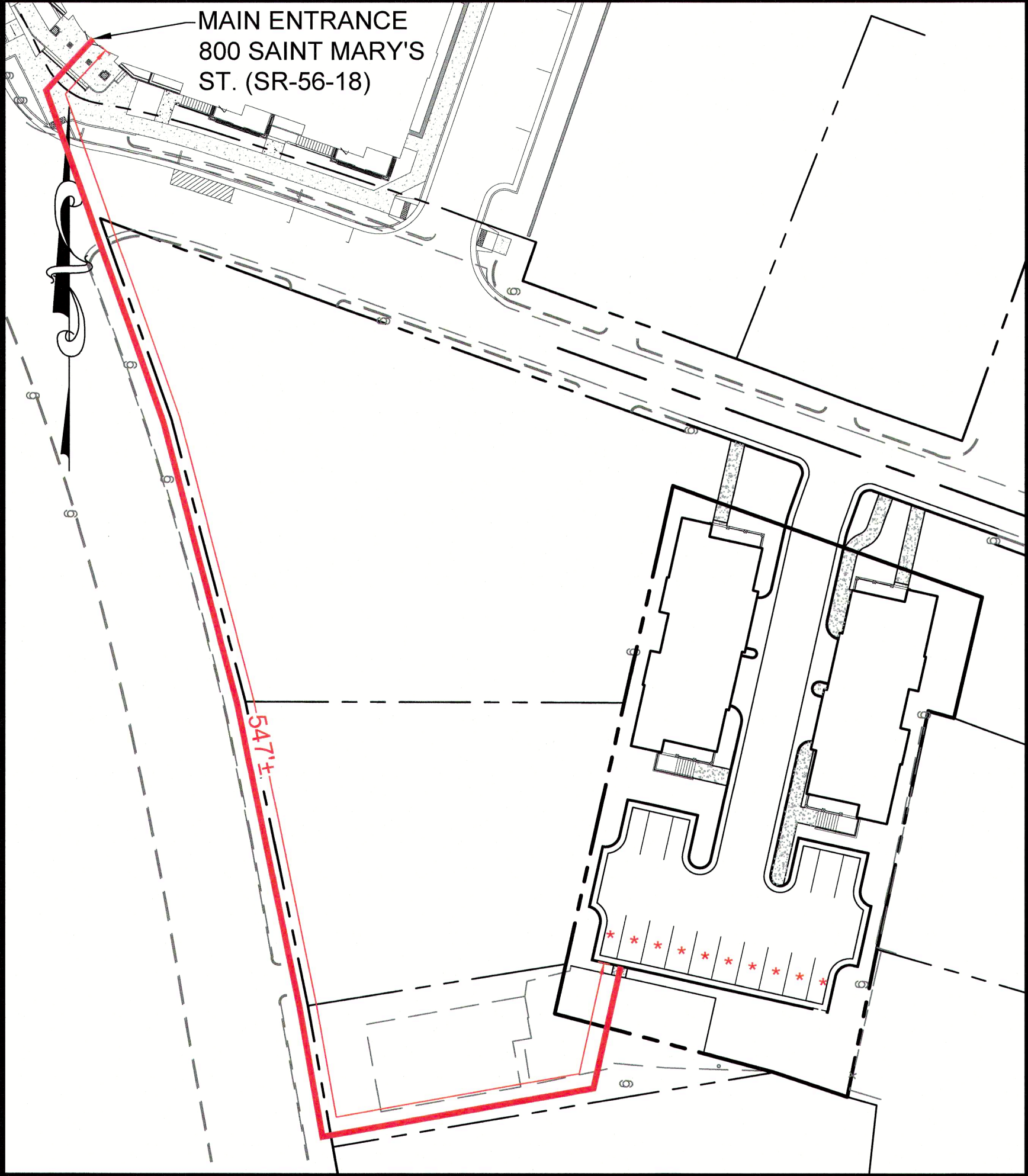
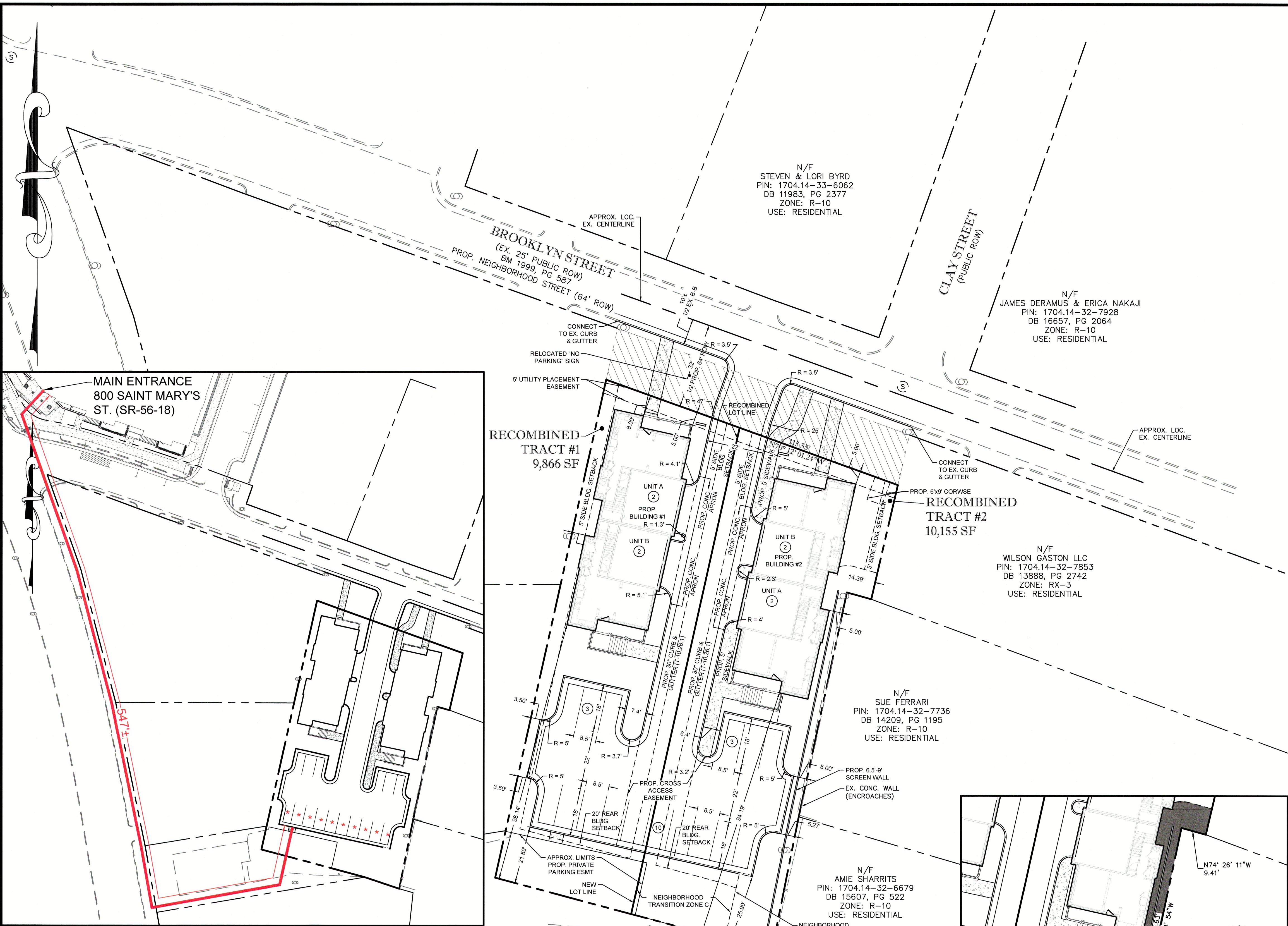
EXISTING CONDITIONS

Number	Description	Date
1	PER CITY COMMENTS	01/30/19
2	PER CITY COMMENTS	04/02/19
3	PER CITY COMMENTS	05/02/19

JAECO #:	298-03
DRAWING SCALE:	1" = 20'
DRAWN BY:	TT
CHECKED BY:	JC
DATE ISSUED:	12/20/18

CE-1





PARKING CALCULATIONS			
800 SAINT MARY'S STREET (SR-56-18)	REQUIRED	86 SPACES	
	PROVIDED	76 SPACES	
	BALANCE	10 SPACES	
809 BROOKLYN STREET (SR-119-18)	REQUIRED	8 SPACES	
	PROVIDED	24 SPACES	
	SURPLUS	16 SPACES	
16 SURPLUS SPACES - 10 SPACE BALANCE =		6 SURPLUS SPACES	

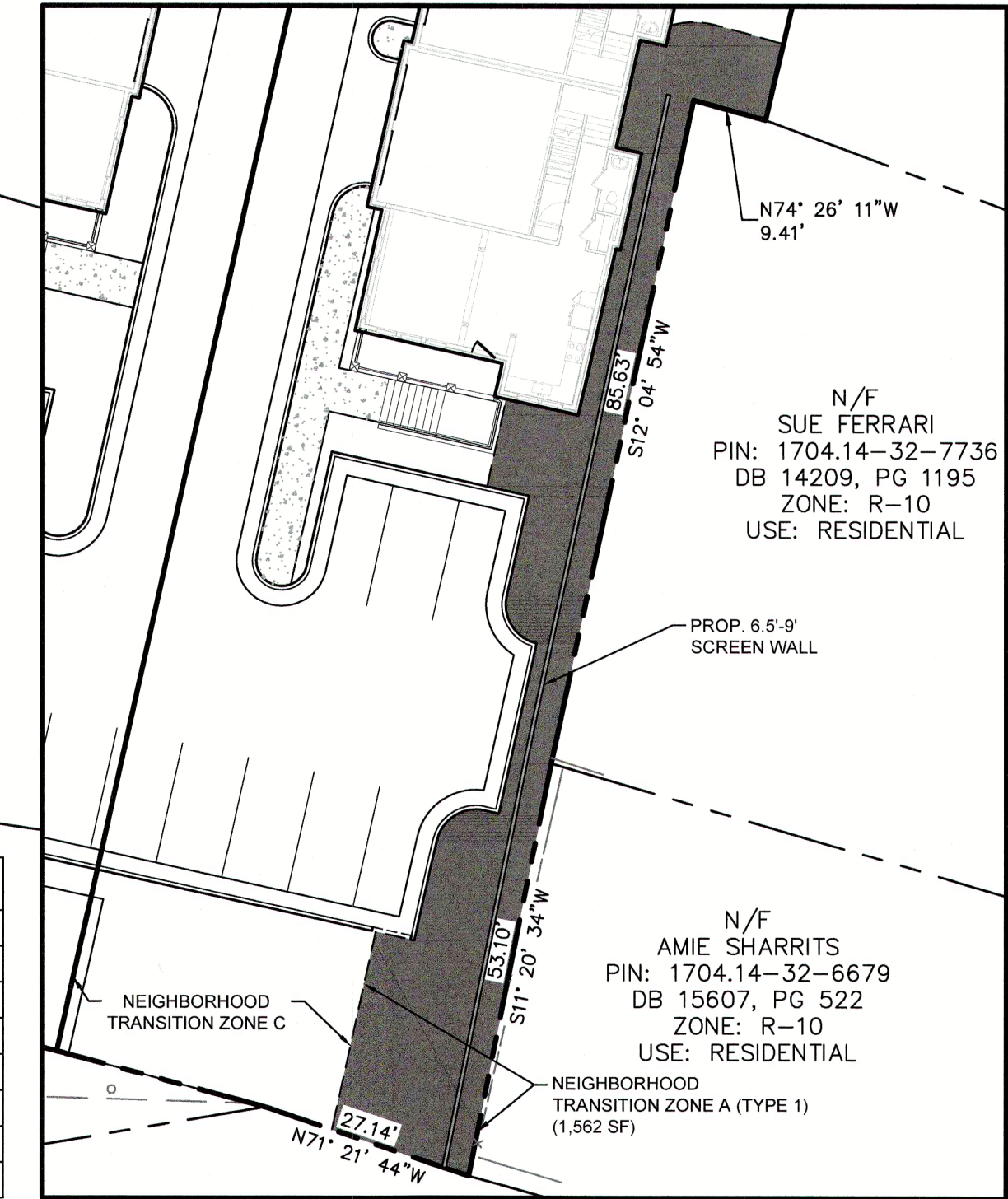
- REMOTE PARKING NOTE**
- PER UDO SECTION 7.1.5.B - REMOTE PARKING "REQUIRED PARKING SPACES MAY BE PERMITTED ON A SEPARATE SITE FROM THE SITE ON WHICH THE PRINCIPAL USE IS LOCATED IF THE REMOTE PARKING" FOR THE OX-BASE DISTRICT WITHIN 660 FEET MEASURED IN WALKING DISTANCE FROM THE NEAREST POINT OF THE REMOTE PARKING AREA TO THE PRIMARY ENTRANCE OF THE USE SERVED.
 - THE 800 SAINT MARY'S STREET (SR-56-18) SITE IS ZONED OX-4 AND THE SUBJECT SITE IS ZONED OX-3 PER THE CITY OF RALEIGH IMAPS AS OF 01/28/19.

LEGEND

PEDESTRIAN PATH
REMOTE PARKING SPACES

N/F
COLDONE HOLDINGS LLC
PIN: 1704.14-32-5617
DB 15938, PG 1789
ZONE: OX-3
USE: COMMERCIAL

ZONE A CALCULATIONS	
ABUTTING DISTRICT BOUNDARY LENGTH	
SHARRITS - PIN 170414327736	53.10'
FERRARI - PIN 170414328679	85.63'
	9.41'
TOTAL	148.14'
ZONE A AREA PROVIDED	
1,562 SF / 148.14' = 10.54' AVERAGE WIDTH	



GENERAL NOTES:

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.

CONSTRUCTION NOTES:

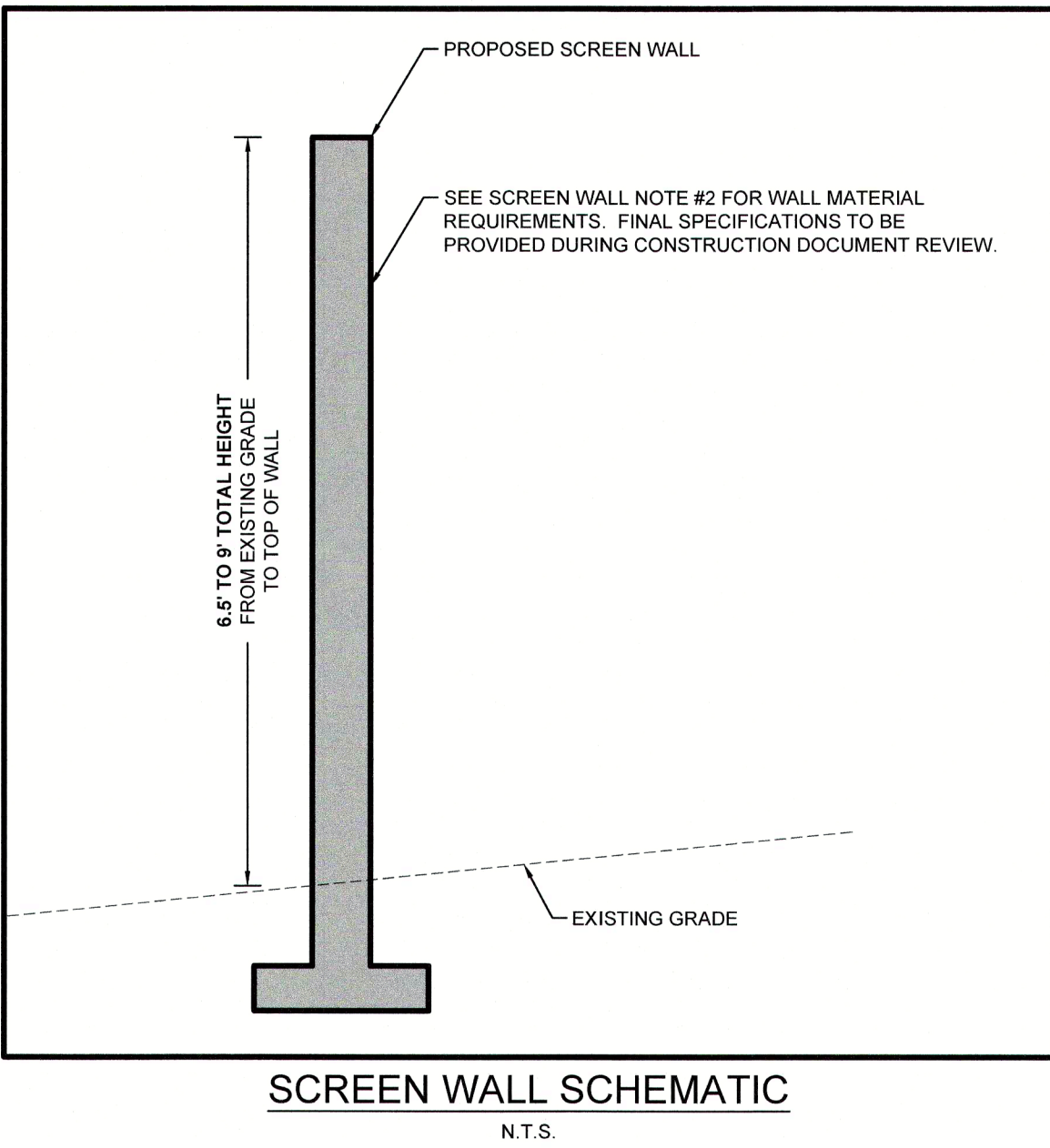
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT (919) 996-2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

TRANSPORTATION NOTES:

- RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50 FEET OF ALL RESIDENTIAL OR RESIDENTIAL COLLECTOR INTERSECTIONS. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 100 FEET OF ALL OTHER STREET INTERSECTIONS.
- HANDICAPPED RAMPS TO BE CONSTRUCTED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH ENGINEERING STANDARD DETAIL T-20.01.2.
- SIGHT TRIANGLES TO BE LOCATED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS. AREAS WHERE SIGHT TRIANGLE ARE LOCATED OUTSIDE THE RIGHT-OF-WAY SHALL BE RECORDED AS SIGHT EASEMENTS. FINAL LAYOUT OF SIGHT TRIANGLES TO BE APPROVED WITH CONSTRUCTION DRAWINGS.
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, PARKED VEHICLES, SIGN OR OTHER OBJECTS BETWEEN THE HEIGHTS OF 2 FEET AND 8 FEET ABOVE THE CURB LINE ELEVATION, OR NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
- ALL STREET SECTIONS SHALL MEET OR EXCEED SPECIFICATIONS DETAILED IN CITY OF RALEIGH ENGINEERING STANDARDS T-10.10, T-10.12, AND T-10.14 AS NOTED.
- ALL STREETS AND RIGHT-OF-WAYS WITHIN AND ADJACENT TO THE PROJECT ARE CONSISTENT WITH THE RALEIGH COMPREHENSIVE PLAN WITH REGARD TO PROPOSED ROADWAY LOCATIONS AND RIGHT-OF-WAY REQUIREMENTS.
- UNLESS OTHERWISE SHOWN, TURNOUT RADII TO BE MINIMUM OF 35' AT ALL PUBLIC STREET INTERSECTIONS AND DRIVEWAY TURNOUTS TO BE A MINIMUM OF 28'.

HATCH LEGEND

PROPOSED DEDICATION AREA
(2,225 SF OR 0.05 AC.)



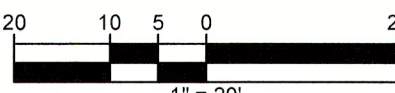
SCREEN WALL NOTES

- DETAIL SHOWN IS SCHEMATIC ONLY. FINAL STRUCTURAL DESIGN TO BE PROVIDED DURING BUILDING PERMIT REVIEW.
- PER UDO 7.2.4.D.2.C: "WALL MATERIAL SHALL BE COMPATIBLE WITH THE PRINCIPAL BUILDING IN TERMS OF TEXTURE, QUALITY, MATERIAL AND COLOR. WALLS MUST BE CONSTRUCTED OF HIGH QUALITY MATERIALS INCLUDING ONE OR A COMBINATION OF THE FOLLOWING: DECORATIVE BLOCKS: BRICK, STONE, CAST-STONE; ARCHITECTURAL BLOCK; SPLIT-FACED BLOCK; STUCCO OVER STANDARD CONCRETE MASONRY BLOCKS; OR GLASS BLOCK IN A STRUCTURALLY SAFE AND ATTRACTIVE CONDITION."

NEIGHBORHOOD TRANSITION NOTES

- ZONE A OF NEIGHBORHOOD TRANSITION IS ONLY REQUIRED ABUTTING THE R-10 DISTRICT BOUNDARY (SHARRITS - PIN 170414327736 AND FERRARI - PIN 170414328679).
- SUBJECT APPLICATION HAS ELECTED TO PROVIDE A "TYPE 1" ZONE A PROTECTIVE YARD, WHICH, PER UDO 3.5.3.A.1 "MUST BE AN AVERAGE WIDTH OF AT LEAST 10 FEET".
- PER UDO 3.5.3.D.4: "PROTECTIVE YARDS MUST MEET THE LOCATION REQUIREMENTS OF SEC. 7.2.4.C."
- PER UDO 7.2.4.C.2: "THE MINIMUM WIDTH OF THE PROTECTIVE YARD AT ANY ONE POINT SHALL NOT BE LESS THAN ONE-HALF OF THE REQUIRED WIDTH OF THE PROTECTIVE YARD". THEREFORE, AT NO POINT IS ZONE A LESS THAN FIVE (5) FEET WIDE.

SOLID WASTE INSPECTIONS STATEMENT
SOLID WASTE TO BE COLLECTED IN ROLL-OUT CONTAINERS BY INDIVIDUAL UNITS AND ROLLED TO CURB FOR CITY PROVIDED PICKUP ON DESIGNATED DATES.



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Project

809 Brooklyn Street
809 Brooklyn Street
Raleigh, NC 27605

Client

800 St. Mary's JV, LLC
4310 Park Road
Suite 101
Charlotte, NC 28209

ABBREVIATIONS

AC	ACRE	IPS	IRON PIPE SET
APPROX	APPROXIMATE	LF	LINEAR FEET
B-S	BACK-TO-BACK	LOC	LOCATION
BM	BOOK OF MAPS	MH	MANHOLE
BR	BOTTOM OF RISER	NIF	NOW OR FORMERLY
BW	BOTTOM OF WALL	PG	PAGE
CIO	CLEANOUT	PROP	PROPOSED
CB	CATCH BASIN	PVC	POLYVINYL CHLORIDE
CIP	CAST IRON PIPE	RWD	RIGHT OF WAY
CONC	CONCRETE	RSDM	RALEIGH STREET DESIGN MANUAL
DB	DEED BOOK	SS	SANITARY SEWER
ELEC	ELECTRIC	SWM	STORMWATER
EIP	EX IRON PIPE	TBD	TO BE DETERMINED
EIR	EX IRON ROD	TBR	TO BE RELOCATED
ELEV	ELEVATION	TC	TOP OF CURB
ESMT	EASEMENT	TF	TRANSFORMER
EX	EXISTING	TR	TOP OF RISER
FDC	FIRE DEPARTMENT	TW	TOP OF WALL
FFE	FINISHED FLOOR	TY	TYPICAL
FH	FIRE HYDRANT	UDO	UNIFIED DEVELOPMENT ORDINANCE
G	GRADE		
GA	GARAGE		
GIS	GEOGRAPHIC INFORMATION SYSTEM		
GP	GALVANIZED PIPE		
HDPE	HIGH DENSITY POLYETHYLENE		

LEGEND

RECOMBINED PROPERTY LINE	---
PROP. ESMT	---
PROP. SETBACK	---
PROP. CURB & GUTTER	---
PROP. PARKING COUNT	(X)

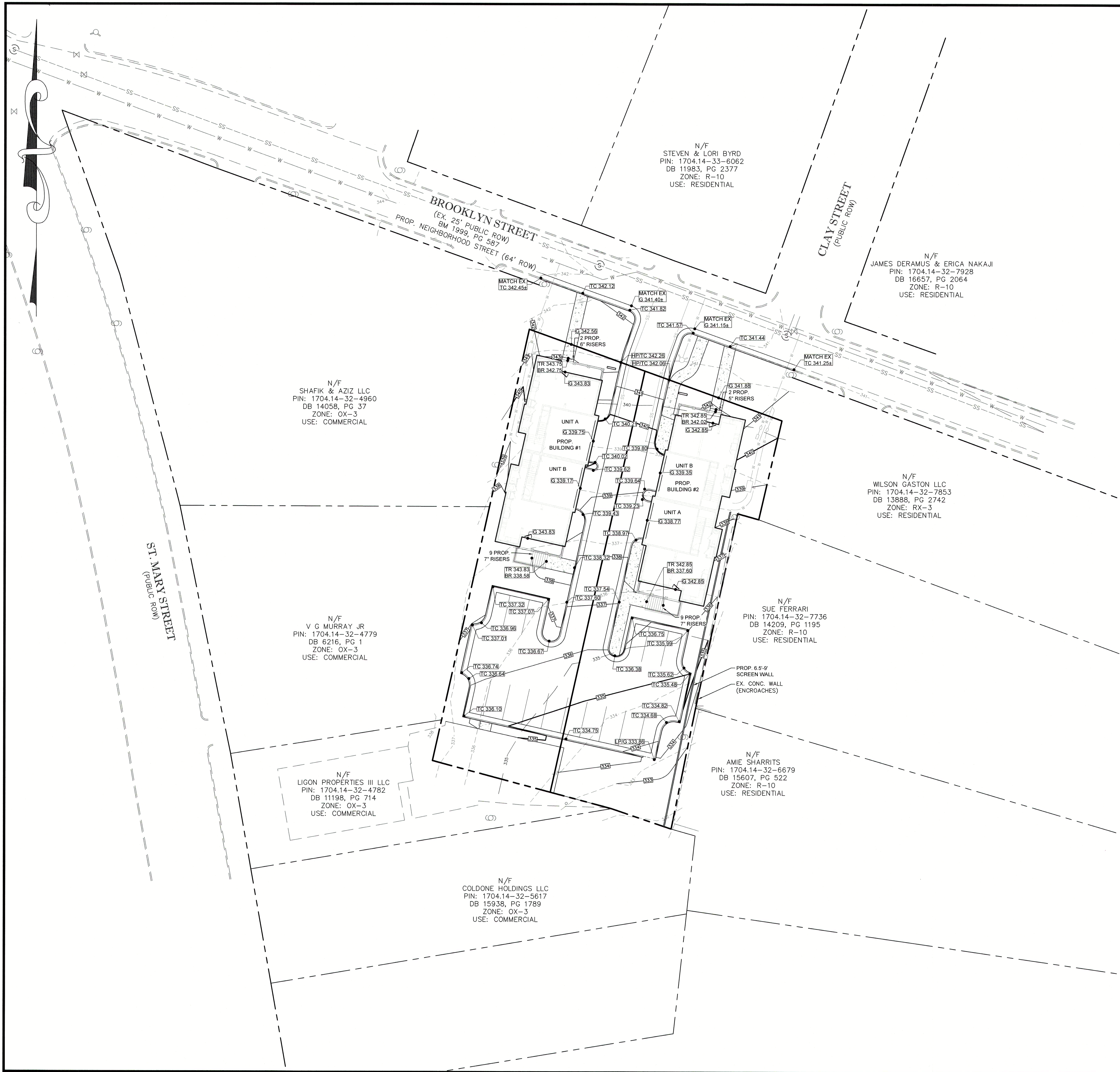
Drawing Title

SITE PLAN

Revisions		
Number	Description	Date
1	PER CITY COMMENTS	01/30/19
2	PER CITY COMMENTS	04/02/19
3	PER CITY COMMENTS	05/02/19

JAECO #: 298-03
DRAWING SCALE: 1" = 20'
DRAWN BY: TT
CHECKED BY: JC
DATE ISSUED: 12/20/18

CE-2



GENERAL NOTES

- 1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.



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Seals



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CIP	CAST IRON PIPE	PVC	POLYVINYL CHLORIDE
CONC	CONCRETE	RSDM	RALEIGH STREET DESIGN MANUAL
DB	DEED BOOK	ROW	RIGHT OF WAY
ELEC	ELECTRIC	SF	SQUARE FEET
EIP	EX IRON PIPE	SS	SANITARY SEWER
EX	EXISTING	SWM	STORMWATER MANAGEMENT
ESMT	EASEMENT	TBD	TO BE DETERMINED
EX	EXISTING	TBR	TO BE REMOVED
FDC	FIRE DEPARTMENT CONNECTION	TBRL	TO BE RELOCATED
FFE	FINISHED FLOOR ELEVATION	TC	TOP OF CURB
FH	FIRE HYDRANT	TF	TRANSFORMER
G	GRADE	TR	TOP OF RISER
GAR	GARAGE	TW	TOP OF WALL
GIS	GEOGRAPHIC INFORMATION SYSTEM	TYP	TYPICAL
GP	GALVANIZED PIPE	UDO	UNIFIED DEVELOPMENT ORDINANCE
HDPE	HIGH DENSITY POLYETHYLENE		

LEGEND

EX MAJOR CONTOUR	---	XXX---
W/ ELEV LABEL		
EX MINOR CONTOUR	----	XXX----
W/ ELEV LABEL		
PROP MAJOR CONTOUR	---	XXX---
W/ ELEV LABEL		
PROP MINOR CONTOUR	----	XXX----
W/ ELEV LABEL		
SPOT ELEVATION	XXX	•

Drawing Title

GRADING PLAN

Revisions

Number	Description	Date
1	PER CITY COMMENTS	01/30/19
2	PER CITY COMMENTS	04/02/19
3	PER CITY COMMENTS	05/02/19

JAECO #: 298-03
DRAWING SCALE: 1" = 20'
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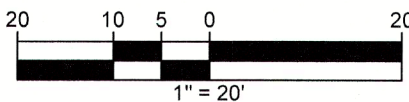
CE-3

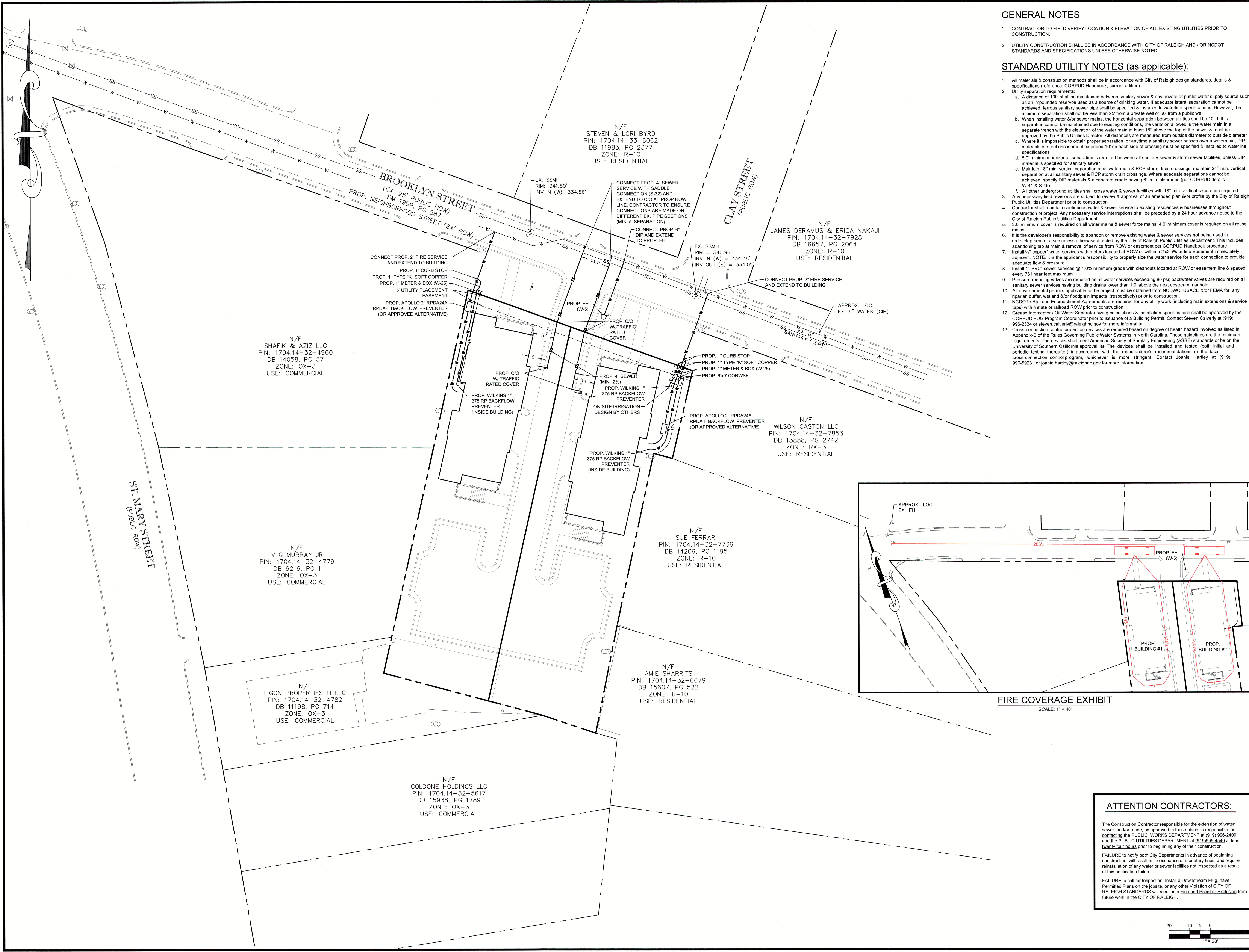
ATTENTION CONTRACTORS:

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the PUBLIC WORKS DEPARTMENT at (919) 996-2409 and the PUBLIC UTILITIES DEPARTMENT at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.

FAILURE to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

FAILURE to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of CITY OF RALEIGH STANDARDS will result in a Fine and Possible Exclusion from future work in the CITY OF RALEIGH.





GENERAL NOTES

- 1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.

STANDARD UTILITY NOTES (as applicable):

- 1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
- 2. Utility separation requirements:
 - a. A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 40' from a public well.
 - b. When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - c. Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications.
 - d. 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - e. Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings, maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
 - f. All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- 3. Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- 4. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 5. 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
- 6. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
- 7. Install 1/2" copper water services with meters located at ROW or within a 2x2' Watertight Easement immediately adjacent. NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
- 8. Install 4" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
- 9. Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- 10. All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- 11. NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
- 12. Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Steven Calverly at (919) 996-2334 or steven.calverly@raleighnc.gov for more information.
- 13. Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information.



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Seals



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ABBREVIATIONS

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EX	EXISTING	TF	TRANSFORMER
FDC	FIRE DEPARTMENT	TR	TOP OF RISER
FFE	FINISHED FLOOR	TW	TOP OF WALL
FH	FIRE HYDRANT	TYP	TYPICAL
G	GRADE	UDO	UNIFIED DEVELOPMENT ORDINANCE
GAR	GARAGE		
GIS	GEOGRAPHIC INFORMATION SYSTEM		
GP	GALVANIZED PIPE		
HDPE	HIGH DENSITY POLYETHYLENE		

LEGEND

PROP WATER LINE	— W — W — W — W —
PROP SEWER LINE	— SS — SS — SS — SS —
EX SEWER LINE	— W — W — W — W —
EX SEWER LINE	— SS — SS — SS — SS —

FIRE COVERAGE EXHIBIT

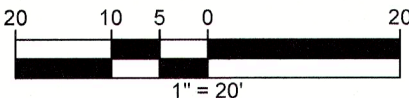
SCALE: 1" = 40'

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Drawing Title

UTILITY PLAN

Number	Description	Date
1	PER CITY COMMENTS	01/30/19
2	PER CITY COMMENTS	04/02/19
3	PER CITY COMMENTS	05/02/19

JAECO # 298-03
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CE-4