



Administrative Approval Action

Case File / Name: SUB-0001-2022
DSLCL - Leesville Rd Townhomes

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is generally located on the northeast corner of the intersection of Leesville Road and Shady Grove Road and is addressed 7403 Leesville Road.

REQUEST: Conventional subdivision of approximately .713 acres for eight (8) townhouse lots and one common lot on property zoned R-10-CU.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** SUR-0853-2022: DSENG - Surety/Infrastructure

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated November 10, 2022 by TMTLA Associates.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Public Utilities

1. A deed shall be recorded prior to concurrent approval for all necessary offsite City of Raleigh Sanitary Sewer Easements to accommodate future sewer line construction.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required
<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering



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1. A 5' utility placement easement deed of easement on Shady Grove and Leesville, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
2. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
3. A 5' slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
4. A fee-in-lieu for sidewalk, curb and gutter is paid to the City of Raleigh (UDO 8.1.10).
5. A public access deed of easement for the 20' residential alley, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
6. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities



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7. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

8. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
9. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
10. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
11. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
12. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
13. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater

1. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

2. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 3 street trees along Leesville Rd and 5 street trees along Shady Grove Lane.
3. A public infrastructure surety for the 8 required street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion of infrastructure.



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The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: May 8, 2026

Record at least ½ of the land area approved.

5-Year Sunset Date: May 8, 2028

Record entire subdivision.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* **Date:** 01/09/2023
Development Services Director/Designee

Staff Coordinator: Rachel Smith

7403 LEESVILLE RD TOWNHOMES

DURHAM, NORTH CAROLINA PRELIMINARY SUBDIVISION PLAN SUB-0001-2022

Preliminary Subdivision Application Planning and Development

Planning and Development Customer Service Center • One Exchange Place, Suite 400 | Raleigh, NC 27601 | (919) 486-2500



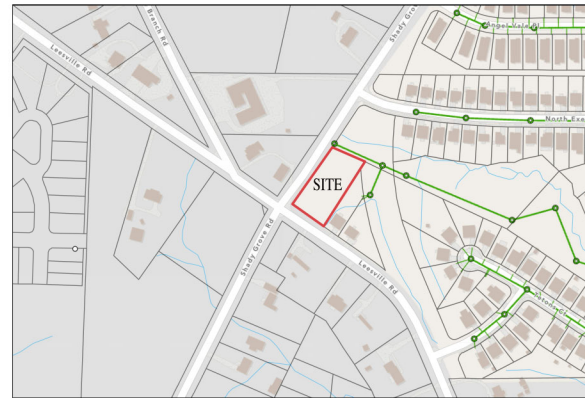
INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to info@raleighnc.gov.

DEVELOPMENT TYPE (UDO Section 2.1.2)	
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development <input type="checkbox"/> Conservation Development <input type="checkbox"/> Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District	
GENERAL INFORMATION	
Scoping/sketch plan case number(s): N/A	
Development name (subject to approval): Leesville Rd Townhomes	
Property Address(es): 7403 Leesville Rd	
Recorded Deed PIN(s): 0779-02-90-2907	
What is your project type?	
<input type="checkbox"/> Single family	<input checked="" type="checkbox"/> Townhouse <input type="checkbox"/> Non-residential <input type="checkbox"/> Other <input type="checkbox"/> Attached houses
CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form	
Company: MEJM Properties, LLC	Owner/Developer Name and Title: Joe Mitchell
Address: PO Box 90667, Raleigh, NC	
Phone #: 919-484-2280	Email: jmt.rpt@gmail.com
APPLICANT INFORMATION	
Company: TMTLA Associates	Contact Name and Title: Chris Rurkowski
Address: 5011 Southpark Dr, Ste 200, Durham, NC 27713	
Phone #: 919-484-8880	Email: chris@tmtla.com

Continue to page 2 >>

Page 1 of 2

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VICINITY MAP

1"=200'



IMPERVIOUS ALLOCATION	
LOT 1	1,874 SF
LOT 2	1,756 SF
LOT 3	1,756 SF
LOT 4	1,800 SF
LOT 5	1,800 SF
LOT 6	1,756 SF
LOT 7	1,756 SF
LOT 8	1,874 SF
LOT 9 (HOA)	5,315 SF

SUBMITTALS

FIRST SUBMITTAL	1/14/2022
SECOND SUBMITTAL	5/17/2022
THIRD SUBMITTAL	8/1/2022
FOURTH SUBMITTAL	9/26/2022
FIFTH SUBMITTAL	11/11/2022

DEVELOPER/OWNER
MEJM PROPERTIES, LLC
7403 LEESVILLE RD,
DURHAM, NC 27703

LANDSCAPE ARCHITECT
TMTLA ASSOCIATES
5011 SOUTHPARK DRIVE, STE 200
DURHAM, NC 27713
919-484-8880

CIVIL ENGINEER
ALLEN CONSULTING
10609 OLD PINE COURT,
RALEIGH, NC 27613

SURVEYOR
PUCKETT SURVEYORS, PLLC
105 W LAKE RD
CREEDMOOR, NC 27522



SITE DATA- 7403 LEESVILLE RD

PID (DURHAM)	194525
PIN (DURHAM)	0779-02-80-2807
ADDRESSES: 7403 LEESVILLE RD, DURHAM, NC 27703	
TOTAL TRACT AREA:	31,055 SF 0.713 AC
ZONING:	R-10-CU
PROPOSED USE:	MULTI-UNIT LIVING (TOWNHOUSE)
NUMBER OF UNITS:	8
OWNER:	MEJM PROPERTIES, INC

R-10-CU ZONING CONDITIONS

Z-47-20: 7403 LEESVILLE RD
CONDITIONS DATED: 4/15/2021

- ONLY THE FOLLOWING USES SHALL BE PERMITTED ON THE PROPERTY AS LISTED IN 6.1.4 OF THE RALEIGH UDO UNDER RESIDENTIAL: SINGLE UNIT LIVING, TWO-UNIT LIVING, MULTI-UNIT LIVING, COTTAGE COURT, AND COMPACT DEVELOPMENT. ALL OTHER USES SHALL BE PROHIBITED.
RESPONSE: THIS CONDITION IS BEING MET BY THIS PLAN AS MULTI-UNIT LIVING (TOWNHOMES) IS THE PROPOSED USE.
- PRIOR TO THE SALE OF THE REZONED PROPERTY OR ANY LOT WITHIN THE REZONED PROPERTY, WHICHEVER EVENT FIRST OCCURS, THE OWNER SHALL RECORD WITH THE LOCAL REGISTER OF DEEDS IN THE COUNTY WHERE THE PROPERTY IS LOCATED, AN AIRCRAFT NOISE NOTIFICATION STATEMENT READING AS FOLLOWS:
"THIS PROPERTY LIES WITHIN THE RALEIGH DURHAM INTERNATIONAL AIRPORT COMPOSITE 60 DNL NOISE CONTOUR PROJECTED IN THE LONG RANGE FACILITY PLANS OF THE AIRPORT. THIS STATEMENT SHALL NOT BE REMOVED WITHOUT PRIOR CONSENT OF THE RALEIGH PLANNING AND DEVELOPMENT DIRECTOR." THIS STATEMENT SHALL BE INCLUDED IN RESTRICTIVE COVENANTS RUNNING WITH THE LAND THAT ARE RECORDED PRIOR TO THE SALE OF THE PROPERTY OR TO ANY LOT WITHIN THE PROPERTY, WHICHEVER EVEN OCCURS FIRST, WITHIN THREE DAYS FOLLOWING RECORDING OF THIS STATEMENT. A RECORDED COPY SHALL BE PROVIDED TO PLANNING AND DEVELOPMENT DEPARTMENT.
RESPONSE: THIS CONDITION SHALL BE MET PRIOR TO THE SALE OF THIS PROPERTY. IT SHALL BE RECORDED DURING SITE REVIEW.
- ANY NEW RESIDENTIAL DWELLING(S) ON SUBJECT PROPERTY SHALL BE CONSTRUCTED WITH MATERIAL AND IN A MANNER SUFFICIENT TO ASSURE A 25 dB REDUCTION OF A-WEIGHTED AIRCRAFT SOUND LEVELS REACHING THE INTERIOR OF THE DWELLING RESULTING IN INTERIOR SOUND LEVELS NOT EXCEEDING 42 dB. A SEALED LETTER FROM AN ARCHITECTURAL ACOUSTICIAN ACCREDITED BY THE ACOUSTICAL SOCIETY OF AMERICA, OR STATE LICENSED ENGINEER OR ARCHITECT TO THE DIRECTOR OF THE PLANNING AND DEVELOPMENT DEPARTMENT SHALL BE DEEMED TO SATISFY THIS CONDITION.
RESPONSE: THIS CONDITION SHALL BE MET DURING THE BUILDING PERMIT REVIEW FOR THE TOWNHOME UNITS THEMSELVES.

INDEX

EXISTING CONDITIONS	EX-1
SITE PLAN	L-1
SUBDIVISION PLAN	L-2
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LANDSCAPE DETAILS	L-4
UTILITY PLAN	C2
GRADING PLAN	C3
ENGINEERING DETAILS	D1-D2



TMTLA ASSOCIATES
5011 SOUTHPARK DRIVE, STE 200 | DURHAM, NC 27713
p: (919) 484-8880 e: info@tmtla.com

PRELIMINARY
NOT FOR CONSTRUCTION



Know what's below.
Call before you dig.

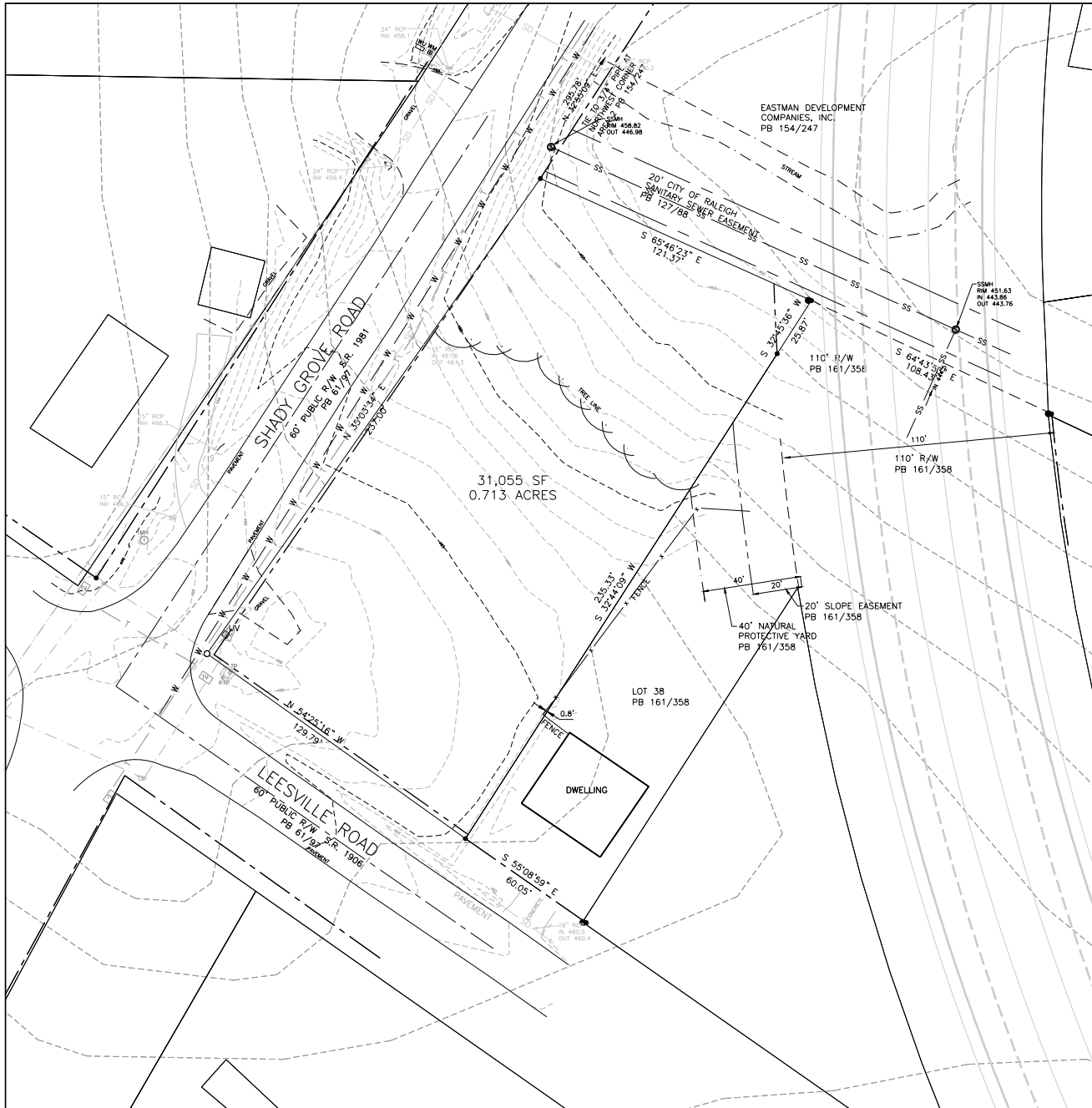
REVISIONS:

5/17/2022- PER COR COMMENTS
8/1/2022- PER COR COMMENTS

Cover
Leesville Rd Townhomes
7403 Leesville Rd
Durham, NC

SCALE:
AS NOTED
DRAWN BY:
CDR
PROJECT #
21146
DATE:
11/9/2021
SHEET

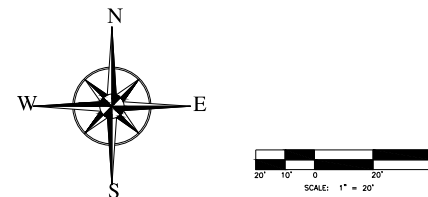
COVER
OF



SITE DATA- 7403 LEESVILLE RD	
PID (DURHAM)	194525
PIN (DURHAM)	0779-02-80-2807
ADDRESSES: 7403 LEESVILLE RD, DURHAM, NC 27703	
TOTAL TRACT AREA:	31,055 SF 0.713 AC
ZONING:	R-10-CU
OWNER:	MEJM PROPERTIES, INC

Notes:
1. Boundary, field topographic, building, and utility information taken from a digital file provided by Puckett Surveyors, PLLC dated 11/02/2021.
2. The site is located within Zone X (MINIMAL FLOOD RISK) on FEMA flood map panel 3720077900J dated 05/02/06.

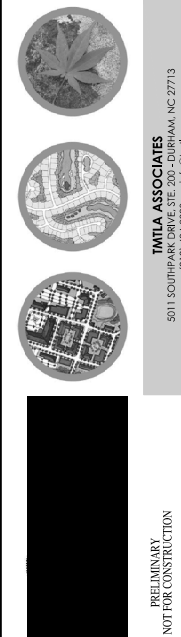
Legend (unless noted otherwise)	
1/2" Pipe Found	● Electrical Transformer ET
#5 Rebar Set	○ Telephone Pedestal TP
Rebar Found	RF Cable T.V. Pedestal CT
Nail Found	NF Water Meter WM
Nail Set	NS Water Utilities WU
Calculated Point	▲ Fire Hydrant Q
Electrical Pedestal	EP Septic Utilities SU
Power Meter	PM Septic Tank ST
Clean Out	CO Catch Basin CB
Gas Meter	GM Storm Drain Pipe SD
Screened Porch	SP Concrete CC
Covered Porch	CP Area Light L
Deck	DK Utility Pole P
H.V.A.C.	HV Sanitary Sewer Manhole S
Retaining Wall	RW Overhead Utilities OHU
Asphalt Pavement	AP Gas Line G
Brick Pavers	BP Water Line W
Stone Pavers	SP Telephone Cable T
Concrete	CC Property Line
Curb Inlet	CI Right of Way Line
Yard Inlet	YI Deed or Plat Line
Drainage Pipe	DP Property Line Tie
Water Valve	WV Overhead Utility Line
Fiber Optic	FO Fire Department Connection FDC
FO Marker Post	FP Gas Valve GV
Fiber Optic Vault	FV Corrugated Plastic Pipe CPP
Traffic Signal Vault	TSV Fire Protection Valve FPV
Cable Vault	CV Telecommunications Vault TV
Traffic Signal Box	TSB Telecommunications Manhole TMH



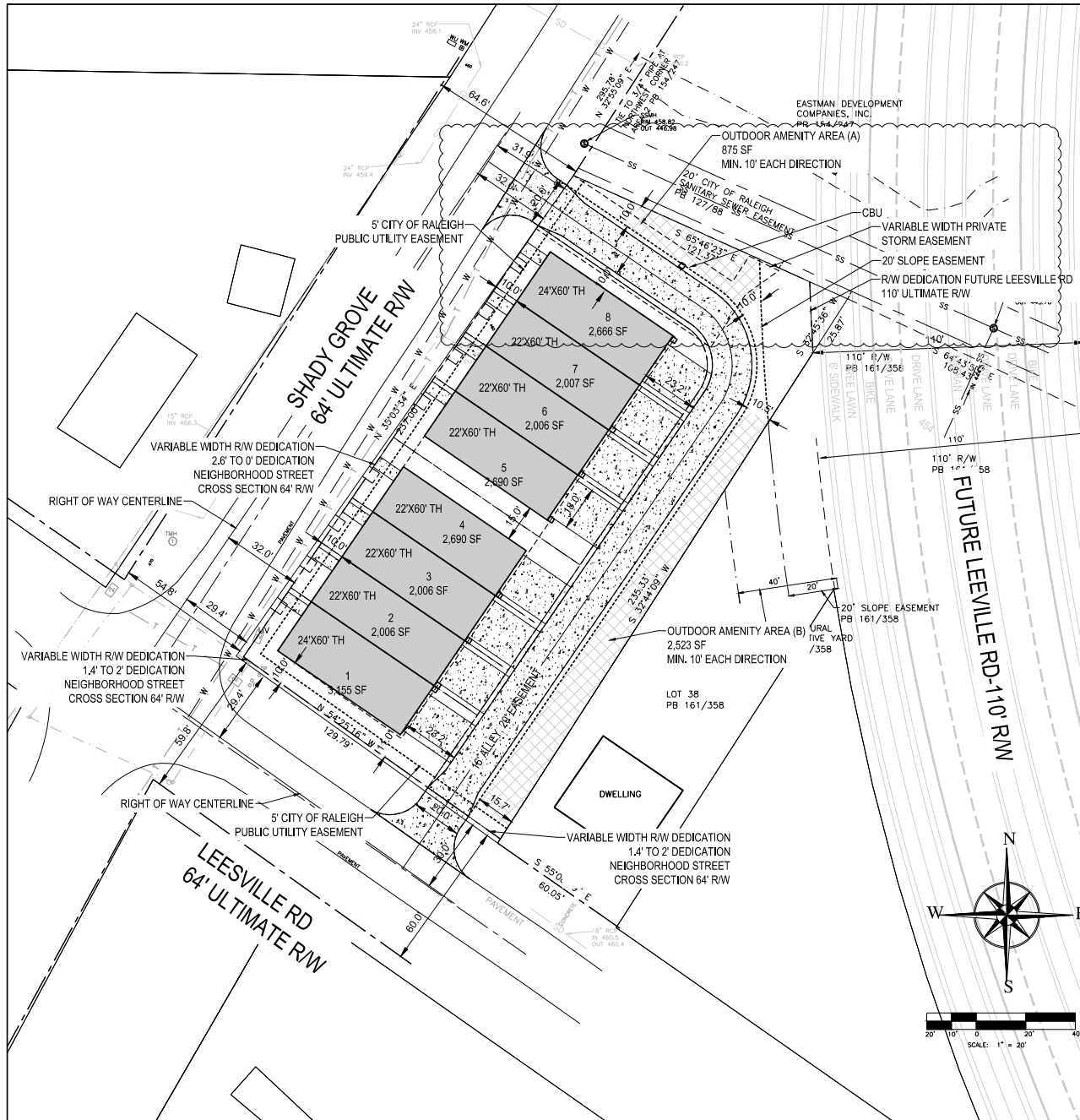
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SCALE:
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SHEET
EX-1
OF



TWILA ASSOCIATES
5011 SOUTH PARK DRIVE, STE. 200 - DURHAM, NC 27713
p: (919) 484-8880 e: info@twila.com



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PIN (DURHAM) 0779-02-80-2807
ADDRESSES: 7403 LEESVILLE RD, DURHAM, NC 27703

TOTAL TRACT AREA: 31,055 SF
0.713 AC

SITE AREA AFTER R/W TAKING: 30,341 SF
NET SITE AREA PER UNIT: 30,341/ 8 UNITS = 3,792 SF PER UNIT

ZONING: R-10-CU
PROPOSED USE: MULTI-UNIT LIVING (TOWNHOMES)
NUMBER OF UNITS: 8 UNITS
NUMBER OF LOTS: 9 LOTS

OWNER: MEJM PROPERTIES, INC

PARKING REQUIRED
MULTI-UNIT LIVING 4 BR: 2.5 SPACES PER UNIT
(TOWNHOMES) 20 SPACES REQUIRED
4 BICYCLE PARKING SPACES REQUIRED

PARKING PROVIDED: 32 VEHICLE SPACES (2 DRIVEWAY AND 2 GARAGE PER UNIT)
BICYCLE SPACES PROVIDED INTERNAL TO BUILDINGS

OUTDOOR AMENITY AREA:
30,341 SF X 10% = 3,034 SF REQUIRED
3,398 SF PROVIDED (11%)

EXISTING IMPERVIOUS: 0 SF
PROPOSED IMPERVIOUS: 19,687 SF (64%)

Notes:

- Boundary, field topographic, building, and utility information taken from a digital file provided by Puckett Surveyors, PLLC dated 11/02/2021.
- The site is located within Zone X (MINIMAL FLOOD RISK) on FEMA flood map panel 3720077900 dated 05/02/06.
- Contractor shall verify the location of all existing utilities and shall be responsible for any damage resulting from his activities. Call Utility locator service at least 48 hours prior to digging.
- All construction shall be in accordance with all City of Raleigh standards and specifications.
- All construction shall conform to all state and local standards and specifications and code requirements. Notify designer of any discrepancies. If discrepancies are found the more stringent requirements will prevail.
- All utilities shall be located underground.
- No changes may be made to the approved drawings without written permission from the issuing authority.
- Do not scale the drawings. Digital information is provided for construction drawings.
- Contractor shall coordinate all work with all construction trades prior to start of construction.
- All dimensions are references from back-of-curb to back-of-curb.
- Erosion control plans shall be approved prior to any grading on this site.
- Boundary information shall be field verified by Professional Surveyor before construction staking begins.
- Prior to the issuance of the Certificate of Occupancy the Owner shall record the site easement as shown. There shall be no site obstruction or party obstruction wall, fence, sign, foliage, berming, or parked vehicles between the heights of twenty four (24) inches and eight (8) feet above the curb line elevation or the nearest traveled way if no curbing exists.
- Within the sight triangles shown on this plan, no obstruction between two (2) feet and eight (8) feet in height above the curb line elevation or the nearest traveled way, if no curbing exists.
- All necessary HVAC units will be located at the rear of the buildings.
- A final plat indicating right of way dedication, cross access easements and any other public easements shall be recorded.
- Tree conservation area not required per City of Raleigh UDO Section 9.1.2. Site area does not meet minimum requirement.
- Site Lighting: none required per City of Raleigh UDO Section 7.4.
- Site Landscaping: no landscaping required for transitional protective yard or screening otherwise.

BUILDING SETBACKS

FROM PRIMARY ST (MIN)	10'
FROM SIDE ST (MIN)	10'
FROM SIDE LOT LINE (MIN)	6'
FROM REAR LOT LINE (MIN)	20'
FROM ALLEY	4' OR 20' MIN

PARKING SETBACKS

FROM PRIMARY ST (MIN)	20'
FROM SIDE ST (MIN)	10'
FROM SIDE LOT LINE (MIN)	0'
FROM REAR LOT LINE (MIN)	3'
FROM ALLEY, GARAGE ONLY	4' MIN

REVISIONS:

5/17/2022-PER COR COMMENTS
8/17/2022-PER COR COMMENTS

SITE PLAN
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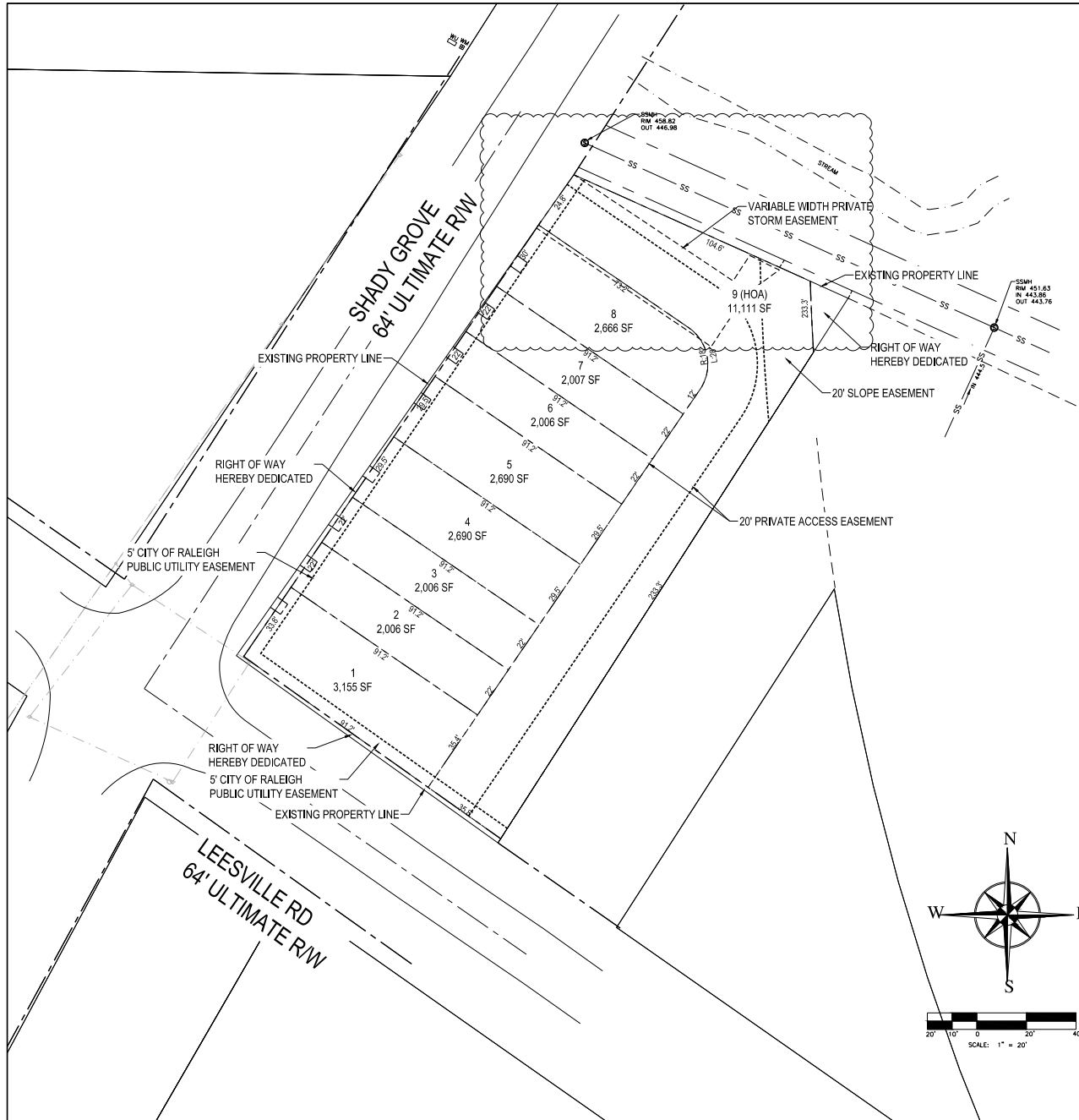
SCALE:
1"=20'
DRAWN BY:
CDR
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11/9/21

SHEET
L-1
OF 1



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PROPOSED USE:	MULTI-UNIT LIVING (TOWNHOMES)
NUMBER OF UNITS:	8 UNITS
NUMBER OF LOTS:	9 LOTS

- Notes:
- Boundary, field topographic, building, and utility information taken from a digital file provided by Puckett Surveyors, PLLC dated 11/02/2021.
 - The site is located within Zone X (MINIMAL FLOOD RISK) on FEMA flood map panel 372007900J dated 05/02/06.
 - Contractor shall verify the location of all existing utilities and shall be responsible for any damage resulting from his activities. Call Utility locator service at least 48 hours prior to digging.
 - All construction shall be in accordance with all City of Raleigh standards and specifications.
 - All construction shall conform to all state and local standards and specifications and code requirements. Notify designer of any discrepancies. If discrepancies are found the more stringent requirements will prevail.
 - All utilities shall be located underground.
 - No changes may be made to the approved drawings without written permission from the issuing authority.
 - Do not scale the drawings. Digital information is provided for construction drawings.
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 - Within the sight triangles shown on this plan, no obstruction between two (2) feet and eight (8) feet in height above the curb line elevation or the nearest traveled way, if no curbing exists.
 - All necessary HVAC units will be located at the rear of the buildings.
 - A final plat indicating right of way dedication, cross access easements and any other public easements shall be recorded.
 - Tree conservation area not required per City of Raleigh UDO Section 9.1.2. Site area does not meet minimum requirement.
 - Site lighting- none required per City of Raleigh UDO Section 7.4.
 - Site landscaping- no landscaping required for transitional protective yard or screening otherwise.

BUILDING SETBACKS	
FROM PRIMARY ST (MIN)	10'
FROM SIDE ST (MIN)	10'
FROM SIDE LOT LINE (MIN)	6'
FROM REAR LOT LINE (MIN)	20'
FROM ALLEY	4' OR 20' MIN
PARKING SETBACKS	
FROM PRIMARY ST (MIN)	20'
FROM SIDE ST (MIN)	10'
FROM SIDE LOT LINE (MIN)	0'
FROM REAR LOT LINE (MIN)	3'
FROM ALLEY, GARAGE ONLY	4' MIN

REVISIONS:	
5/17/2022- PER COR COMMENTS	
8/17/2022- PER COR COMMENTS	

SUBDIVISION PLAN
Leesville Rd Townhomes
7403 Leesville Rd
Durham, NC

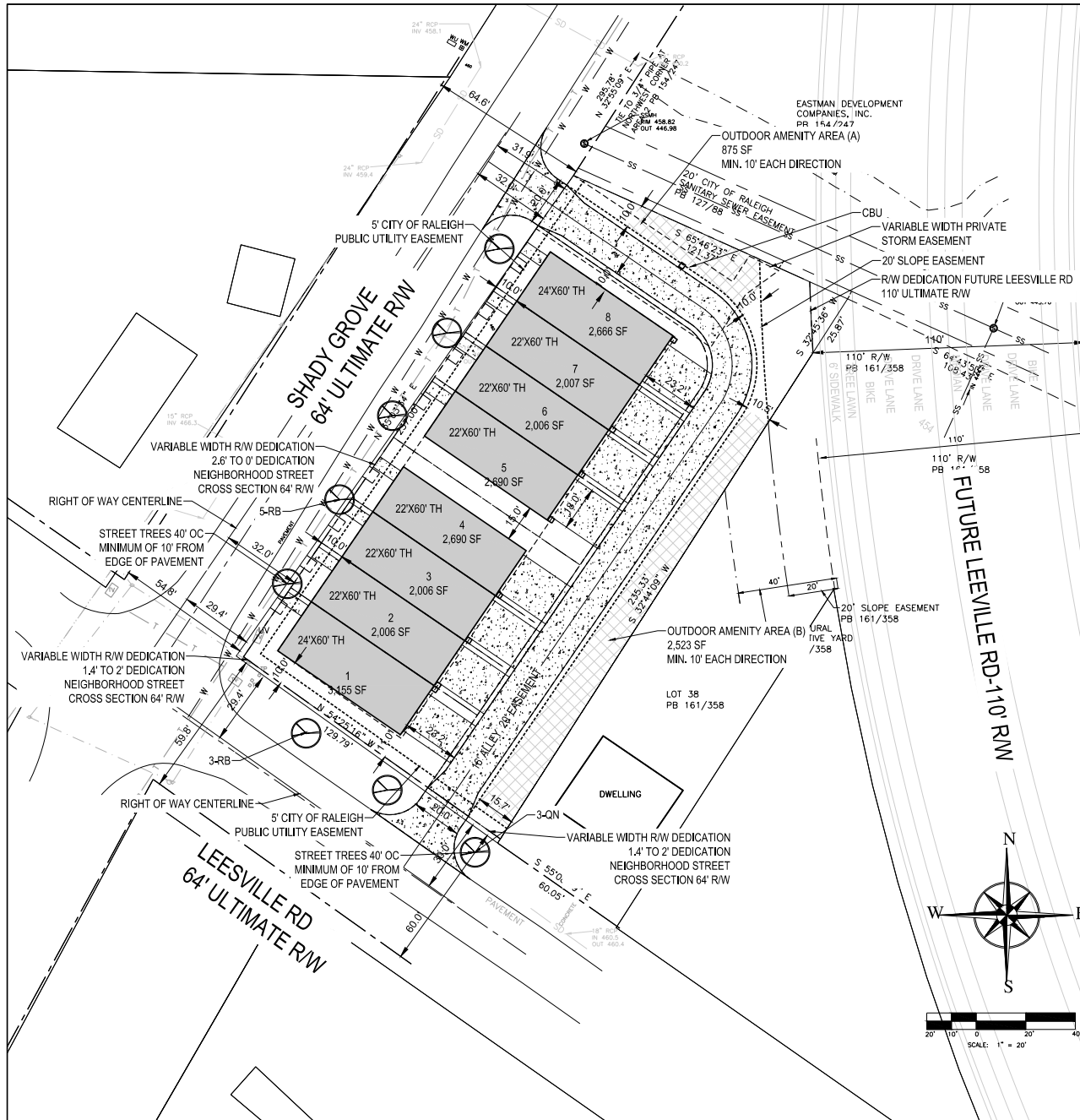
SCALE:
1"=20'
DRAWN BY:
CDR
PROJECT #
21146
DATE:
11/9/21

SHEET
L-2
OF 1



TWILA ASSOCIATES
5011 SOUTHPARK DRIVE, STE. 202 - DURHAM, NC 27713
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TOTAL TRACT AREA: 31.055 SF
0.713 AC

SITE AREA AFTER R/W TAKING: 30.341 SF
NET SITE AREA PER UNIT: 30.341/ 8 UNITS = 3.792 SF PER UNIT

ZONING: R-10-CU
PROPOSED USE: MULTI-UNIT LIVING (TOWNHOMES)
NUMBER OF UNITS: 8 UNITS
NUMBER OF LOTS: 9 LOTS

OWNER: MEJM PROPERTIES, INC

STREET TREES REQUIRED
1 TREE 40' ON CENTER
TREES PROVIDED: SHADY GROVE- 200 LF/40= 5 TREES
LEESVILLE RD- 116 LF/40= 3 TREES

TREES PROVIDED: SHADY GROVE- 5 TREES
LEESVILLE RD- 3 TREES

PLANT LIST
RB- CERCIS CANADENSIS RED BUD (single stem) 1.5" CAL QTY: 8

Notes:

- Boundary, field topographic, building, and utility information taken from a digital file provided by Puckett Surveyors, PLLC dated 11/02/2021.
 - The site is located within Zone X (MINIMAL FLOOD RISK) on FEMA flood map panel 37200779001 dated 05/02/06.
 - Contractor shall verify the location of all existing utilities and shall be responsible for any damage resulting from his activities. Call Utility locator service at least 48 hours prior to digging.
 - All construction shall be in accordance with all City of Raleigh standards and specifications.
 - All construction shall conform to all state and local standards and specifications and code requirements. Notify designer of any discrepancies. If discrepancies are found the more stringent requirements will prevail.
 - All utilities shall be located underground.
 - No changes may be made to the approved drawings without written permission from the issuing authority.
 - Do not scale the drawings. Digital information is provided for construction drawings.
 - Contractor shall coordinate all work with all construction trades prior to start of construction.
 - All dimensions are references from back-of-curb to back-of-curb.
 - Erosion control plans shall be approved prior to any grading on this site.
 - Boundary information shall be field verified by Professional Surveyor before construction staking begins.
 - Prior to the issuance of the Certificate of Occupancy the Owner shall record the site easement as shown. There shall be no site obstruction or party obstruction wall, fence, sign, foliage, berming, or parked vehicles between the heights of twenty four (24) inches and eight (8) feet above the curb line elevation or the nearest traveled way if no curbing exists.
 - Within the sight triangles shown on this plan, no obstruction between two (2) feet and eight (8) feet in height above the curb line elevation or the nearest traveled way, if no curbing exists.
 - All necessary HVAC units will be located at the rear of the buildings.
 - A final plat indicating right of way dedication, cross access easements and any other public easements shall be recorded.
 - Tree conservation area not required per City of Raleigh UDO Section 9.1.2. Site area does not meet minimum requirement.
 - Site Lighting: none required per City of Raleigh UDO Section 7.4.
 - Site Landscaping: no landscaping required for transitional protective yard or screening otherwise.
 - Street trees shall be installed and maintained in accordance with the requirements of Chapter 2 of the City Tree Manual. Trees shall be planted in accordance with City of Raleigh Standard Detail, TPP-03.
- ## LANDSCAPE NOTES
- All landscaping shall be installed and maintained in accordance with the City of Raleigh development code and the latest edition of nursery standards by the American Nursery and Landscape Association (ANLA).
 - Call utility locator service prior to any disturbance on this site. Contractor shall be responsible for confirmation of marked utilities within the area of work.
 - Do not change the design without approval from the Owner and/or code compliance authority.
 - All turf areas or areas not otherwise specified shall be seeded with Rebel IV or approved equal turf rescue and established per sediment and erosion control requirements.
 - All exposed soil or areas of disturbance shall be mulched, seeded, covered with sod or stabilized per sediment and erosion control requirements.
 - Hard fescue/wildflower mix shall be seeded in disturbed area not intended to be maintained as mowed turf or mulched landscape beds.
 - Products: Delfant Hard fescue or eqv. seed rate at 5 lbs / 1000 sf.
 - Products: Native Southeast Wildflower Seed Mix by American Meadows Seed Company or eqv at a seeding rate of 1 lb / 1000 sf.
 - Planting areas shall be fine graded consisting of 8" of native topsoil or imported eav and fertilized/limed per soil report.
 - Seeded or turf areas shall be fine graded, consisting of 4" of native topsoil or imported eav and fertilized/limed per soil report.
 - Landscaping contractor shall verify plant quantities. If discrepancy exists, use higher quantity.
 - Sod or seeding areas shall be established per sediment and erosion control requirements for vegetative coverage.
 - All newly installed trees and shrubs shall be guaranteed for one year and replaced at the owners request if plant is stressed, damaged, diseased or dead.

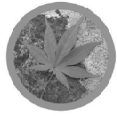
REVISIONS:

5/17/2022- PER COR COMMENTS
8/1/2022- PER COR COMMENTS

LANDSCAPE PLAN
Leesville Rd Townhomes
7403 Leesville Rd
Durham, NC

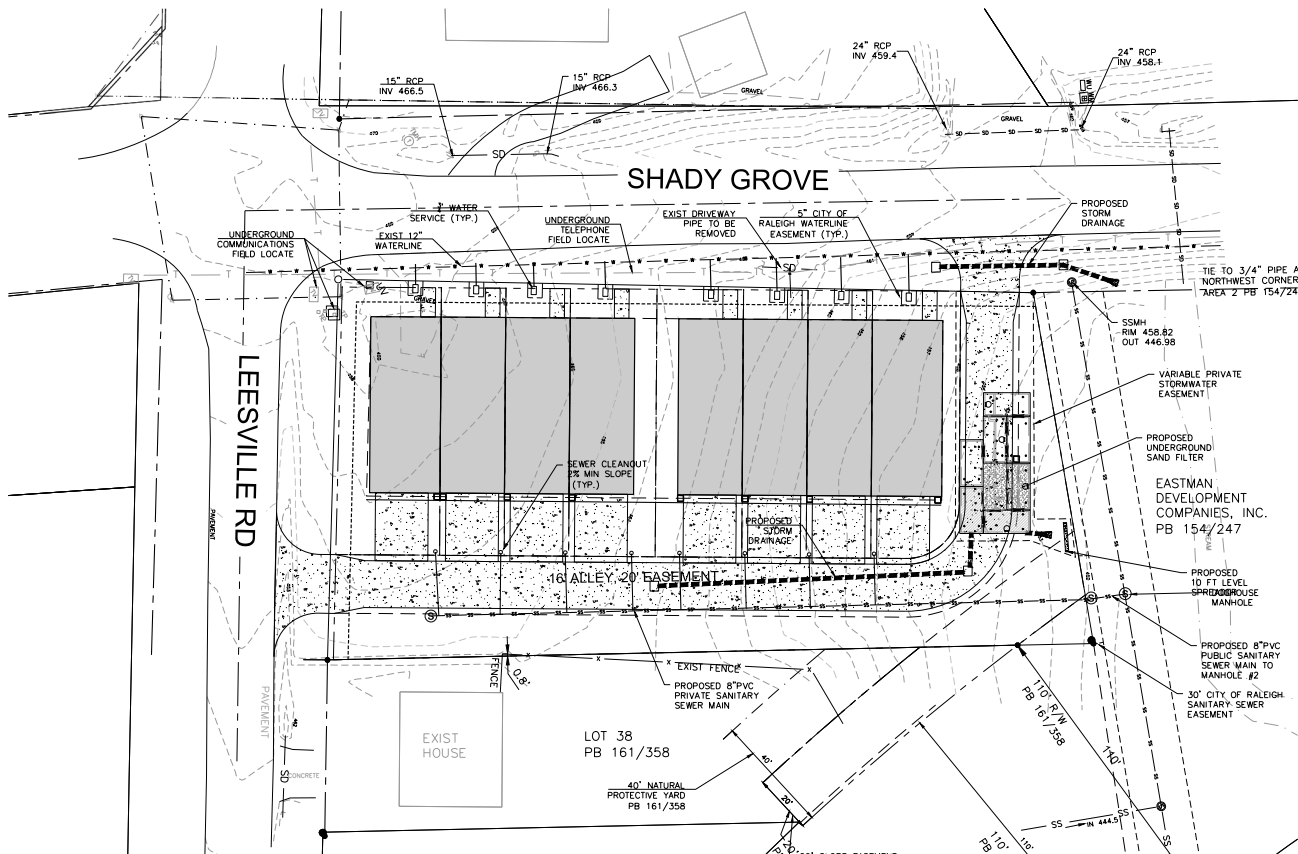
SCALE:
1"=20'
DRAWN BY:
CDR
PROJECT #
21146
DATE:
11/9/21

SHEET
L-3
OF 1



TWILA ASSOCIATES
5011 SOUTH PARK DRIVE, STE 200 - DURHAM, NC 27713
P: (919) 484-8880 E: info@twila.com

PRELIMINARY
NOT FOR CONSTRUCTION



STANDARD UTILITY NOTES (as applicable):

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
- Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, forsan sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 30' from a public well.
 - When installing water & sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed in the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel casement extended 10' on each side of crossing must be specified & installed to watertight specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separation cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 5.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all gas mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
- Install 1" copper* water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. *NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.*
- Install 4" PVC* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NC DOT Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
- Gross Interceptor (OI) Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 996-2334 or timothy.beasley@raleighnc.gov for more information.
- Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested both initial and periodic testing thereafter in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-2923 or joanie.hartley@raleighnc.gov for more information.

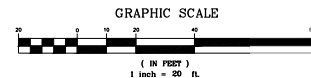
* Edit typical service size & material as appropriate

GENERAL CONTRACTOR

PRIOR TO BEGINNING ANY CONSTRUCTION, FIELD VERIFYING LOCATION, DEPTH, TYPE, MATERIAL AND CONDITION OF ALL EXISTING UTILITIES IN CASE OF CONFLICT THE ENGINEER MUST BE NOTIFIED.

GENERAL NOTES

- INSTALL WATERMAINS WITH A COVER OF NO LESS THAN 3 FT. INSTALL WATER SERVICES WITH NO LESS THAN 18 IN OF COVER TO SUBGRADE.
- INSTALL SEWER MAINS WITH A COVER OF NO LESS THAN 4 FT TO FINISHED GRADE UNLESS DUCTILE IRON PIPE IS USED. INSTALL SEWER SERVICES WITH NO LESS THAN 24 IN COVER TO SUBGRADE.
- INSTALL ALL UTILITIES TO PROVIDE REQUIRED CLEARANCES AS INDICATED IN THE SPECIFICATIONS.
- WATERLINES AND SEWER MAINS SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL CLEARANCE OF 10 FT.
- WATER AND SEWER MAINS SHALL BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24-IN TO STORM DRAINAGE PIPES.
- COORDINATE AND SCHEDULE INSTALLATION OF ALL UTILITIES WITH OTHER PRIME CONTRACTORS, UTILITY COMPANIES AND OTHER TRADES INCLUDING BUT NOT LIMITED TO: P&N, DUKE ENERGY, TELEPHONE AND CATV.
- VERIFY EXISTING CONDITIONS AND CONNECTION TO EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES DURING CONSTRUCTION AND SHALL MAKE REPAIRS AT NO EXPENSE TO THE OWNER.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE NCBC AND OSHA REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY OF ALL UTILITY AND STORM DRAINAGE IMPROVEMENTS FOLLOWING CONSTRUCTION.
- CONTRACTOR SHALL PHASE DEMOLITION AND NEW CONSTRUCTION TO ENSURE UNINTERRUPTED ACCESS AND UTILITY TO ADJACENT FACILITIES.
- SEE GENERAL NOTES ON EXISTING CONDITIONS AND DEMOLITION PLAN FOR REQUIREMENTS FOR REMOVAL AND PATCHING OF PAVEMENT FOR UTILITY INSTALLATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL JURISDICTION STANDARDS AND SPECIFICATIONS.
- CONTRACTOR TO PROVIDE TESTING FOR FILL ON SEWER LINES.
- CONTRACTOR WILL NEED TO HAVE A PRE-CONSTRUCTION MEETING WITH WAKE COUNTY AND AQUA PRIOR TO RELEASE OF APPROVED PERMITTED PLANS.



PRELIMINARY UTILITY PLAN

LEESVILLE TOWNES

SHADY GROVE ROAD RALEIGH, NC

ALLEN CONSULTING, PLLC
1000 OLD JUNE CT
RALEIGH, NC 27603
919-666-3035
allenconsulting.com

REVISIONS:

SCALE:
1" = 20' (HORIZ)

DRAWN BY:
CTA

DATE:
11/10/2022

PROJECT NO.

SHEET
C2
OF