

Preliminary Subdivision Application

Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



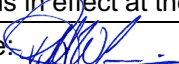
INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)				
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development		
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot	<input type="checkbox"/> Frequent Transit Development Option		
<i>NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District</i>				
GENERAL INFORMATION				
Scoping/sketch plan case number(s):				
Development name (subject to approval): CITY GATEWAY SUBDIVISION II				
Property Address(es): 0, 120, 121, 130, & 131 KINDLEY STREET, RALEIGH, NC 27601				
Recorded Deed PIN(s): 1703-55-7221, 1703-55-9286, 1703-65-1298, 1703-55-8561, 1703-65-0617				
Building type(s):	<input type="checkbox"/> Detached House	<input type="checkbox"/> Attached House	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Apartment
<input type="checkbox"/> General Building	<input checked="" type="checkbox"/> Mixed Use Building	<input type="checkbox"/> Civic Building	<input type="checkbox"/> Open Lot	<input type="checkbox"/> Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
Current Property Owner(s) Names: CAPITAL CITY URBAN DEVELOPMENT GROUP, LLC	
Company: CAPITAL CITY URBAN DEVEL. LLC	Title:
Address: 333 FAYETTEVILLE STREET SUITE 225, RALEIGH, NC 27601-2932	
Phone #: 919.610.2251	Email: RFerris@sfla.biz
Applicant Name (If different from owner. See "who can apply" in instructions): BRIAN RICHARDS, PLA	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input checked="" type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company: URBAN DESIGN PARTNERS	Address: 150 FAYETTEVILLE STREET, SUITE 1310, RALEIGH, NC 27601
Phone #: 919.275.5002	Email: brichards@urbandesignpartners.com
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact Names: ROBBIE FERRIS	
Company: CAPITAL CITY URBAN DEVEL. LLC	Title: CEO / PRESIDENT
Address: 333 FAYETTEVILLE STREET SUITE 225, RALEIGH, NC 27601-2932	
Phone #: 919.610.2251	Email: RFerris@sfla.biz

DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION			
Gross site acreage: 10.14 AC			
Zoning districts (if more than one, provide acreage of each): DX-20			
Overlay district(s): N/A	Inside City Limits?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Historic District/Landmark: N/A <input type="checkbox"/>
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA- 0048-2021	Design Alternate Case # DA-	

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) <u>109,495</u> Proposed total (sf) <u>0</u>	Impervious Area for Compliance (includes right-of-way): Existing (sf) <u>27,744</u> Proposed total (sf) <u>20,519</u>
NUMBER OF LOTS AND DENSITY	
# of Detached House Lots:	# of Attached House Lots: # of Townhouse Lots:
# of Tiny House Lots:	# of Open Lots: # of Other Lots (Apartment, General, Mixed Use, Civic): 7
Total # of Lots: 7	Total # Dwelling Units: 0
Proposed density for each zoning district (UDO 1.5.2.F):	

SIGNATURE BLOCK	
<p>Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.</p> <p>By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).</p> <p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.</p>	
Signature: 	Date: 11/29/22
Printed Name: ROBBIE FERRIS	
Signature:	Date:
Printed Name:	

