## **Preliminary Subdivision Application**



**Site Review** 

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

**INSTRUCTIONS:** This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)									
<b>✓</b> Conventional Subdi	vision	Compact Development		Conservation Development					
Cottage Court		Flag lot	Fr	Frequent Transit Development Option					
NOTE: Subdivisions may requ	ire City Council a	pproval if in a Metro Pa	rk Overlay	or Historic Ove	rlay District				
	GE	NERAL INFORMATIO	N						
Scoping/sketch plan case number(s):									
Development name (subject to approval): CITY GATEWAY SUBDIVISION II									
Property Address(es): 0, 120	, 121, 130, & 13	1 KINDLEY STREE	T, RALEI	GH, NC 2760	1				
Recorded Deed PIN(s): 1703-55-7221, 1703-55-9286, 1703-65-1298, 1703-55-8561, 1703-65-0617									
Building type(s):	ached House	Attached House	Townh	nouse	Apartment				
General Building Mixe	ed Use Building	Civic Building	Open I	Lot	Tiny House				
CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION									
Current Property Owner(s) Names: CAPITAL CITY URBAN DEVELOPMENT GROUP, LLC									
Company: CAPITAL CITY URBAN DEVEL. LLC Title:									
Address: 333 FAYETTEVILLE STREET SUITE 225, RALEIGH, NC 27601-2932									
Phone #: 919.610.2251 Email: RFerris@sfla.biz									
Applicant Name (If different from owner. See "who can apply" in instructions): BRIAN RICHARDS, PLA									
Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder									
Company: URBAN DESIGN PARTNERS Address: 150 FAYETTEVILLE STREET, SUITE 1310, RALEIGH, NC 27601									
Phone #: 919.275.5002 Email: brichards@urbandesignpartners.com									
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.									
Developer Contact Names: ROBBIE FERRIS									
Company: CAPITAL CITY URBAN DEVEL. LLC Title: CEO / PRESIDENT									
Address: 333 FAYETTEVILLE STREET SUITE 225, RALEIGH, NC 27601-2932									
Phone #: 919.610.2251	Em	ail: RFerris@sfla.biz							

DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION								
Gross site acreage: 10.14 AC								
Zoning districts (if more than one	e, pı	rovide acreage of ea	ich)	):				
DX-20								
Overlay district(s): N/A		Inside City Limits?	<b>'</b>	Yes		No	Historic District/Landmark: N/A	
Conditional Use District (CUD) Board of Adjustme BOA- 0048-2021		Board of Adjustment BOA- 0048-2021					Design Alternate Case # DA-	
STORMWATER INFORMATION								
Imperious Area on Parcel(s):  Existing (sf) 109,495 Proposed total (sf) 0 Existing (sf) 27,744 Proposed total (sf) 20,519								
NUMBER OF LOTS AND DENSITY								
# of Detached House Lots:	of Detached House Lots:			Lots:	# of Townhouse Lots:			
# of Tiny House Lots:	# o	of Open Lots: # of Other Lots (Apa Mixed Use, Civic):				ots (Apartment, General, Civic): 7		
otal # of Lots: 7 Total # Dwelling Units: 0								
Proposed density for each zoning district (UDO 1.5.2.F):								
SIGNATURE BLOCK								
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.								
By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).								
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.								
The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.								
Signature Signat						Date: 11/29/22		
Printed Name: ROBBIE FERRIS								
Signature:						Date:		

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Printed Name:

## **Preliminary Subdivision Application**

Phone #: 919.610.2251

Phone #: 919.275.5002

Phone #: 919.610.2251

**Developer Contact Names: ROBBIE FERRIS** 

Company: CAPITAL CITY URBAN DEVEL. LLC

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Conventional Subdivision			ct Development		Conservat	tion Development		
Cottage Court			Flag lot		Frequent Transit Development Option			
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District								
GENERAL INFORMATION								
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Development name (s	Development name (subject to approval): CITY GATEWAY SUBDIVISION II							
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Company: CAPITAL CITY URBAN DEVEL. LLC Title:								

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Email: RFerris@sfla.biz

DEVELOPI	MEN	T TYPE + SITE DA	ΓΕ	TABLE	- ZON	IING INFORMATION		
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Zoning districts (if more than on	e, pr	ovide acreage of ea	ich)	):				
DX-20								
Overlay district(s): N/A		nside City Limits?	<b>√</b>	Yes [	No	Historic District/Landmark: N/A		
Conditional Use District (CUD)  Case # Z-  Board of Adjustment BOA- 0048-2021			t Ca	Design Alternate Case # DA-				
STORMWATER INFORMATION								
Imperious Area on Parcel(s): Existing (sf) 109,495 Proposed total (sf) 0			Impervious Area for Compliance (includes right-of-way): Existing (sf) 27,744 Proposed total (sf) 20,519					
		NUMBER OF LC	TS	AND [	DENSIT	Y		
# of Detached House Lots:		# of Attached House L		Lots:		# of Townhouse Lots:		
# of Tiny House Lots:	# of	# of Open Lots: 6			# of Other Lots (Apartment, General, Mixed Use, Civic):			
Total # of Lots: 6	Total # Dwelling Units: 0							
Proposed density for each zoning	na dis	strict (UDO 1.5.2.F)						

#### SIGNATURE BLOCK

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[ - 9	F
Signature Signature	Date: 11/29/22
Printed Name: ROBBIE FERRIS	
Signature:	Date:
Printed Name:	

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raleighnc.gov

# City Gateway Subdivision II

Raleigh, NC

City of Raleigh - Preliminary Subdivision Review Subdivision Case Number: SUB-XXXX-2022 Submittal: 12-14-2022



#### **GENERAL NOTES:**

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE
- 2. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT
- 3. NO WORK WILL BE ALLOWED WITHIN NCDOT ROW UNTIL ALL ENCROACHMENT AGREEMENTS ARE
- 4. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT. 5. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED
- 6. ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO
- BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS. 7. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS. 8. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN
- HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE. 9. UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- 10. TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR
- 11. ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY. 12. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- 13. HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
- 15. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.

14. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.

- 16. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR RESIDENTIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCROACH ON THIS MINIMUM CORNER CLEARANCE.
- 17. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS
- 18. ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
- 19. ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMER'S, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- 20. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 21. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- 22. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE
- 23. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF
- 24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE
- PROVISIONS OF THE MUTCD (MOST CURRENT EDITION). 25. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON <u>WWW.RALEIGHNC.GOV</u>. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO <u>RIGHTOFWAYSERVICES@RALEIGHNC.GOV</u>.
- 26. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE

#### **CONTACT INFORMATION**

#### OWNER/APPLICANT:

CAPITAL CITY URBAN DEVELOPMENT GROUP, LLC. **CONTACT: ROBBIE FERRIS** 

ADDRESS: 4400 SILAS CREEK PARKWAY

URBAN DESIGN PARTNERS PLLC CONTACT: BRIAN A. RICHARDS, PLA ADDRESS: 150 FAYETTEVILLE ST. SUITE 1310

RALEIGH, NC 27601 PHONE: 919.275.5002

#### MASTER PLAN ARCHITEC

SFL+A ARCHITECTS CONTACT: BARRY BUCKMAN, AIA, GG ADDRESS: 333 FAYETTEVILLE ST

RALEIGH, NC 27601 PHONE: 919.573.6350

#### SHEET INDEX

#### Sheet Number Sheet Title Cover Sheet C-1.0 **Boundary Survey** C-2.0 **Existing Conditions** C-2.1 C-2.2 Demo Plan C-2.3 Tree Conservation Area Plan C-3.0 Site Plan C-4.0 Grading Plan C-5.0 Storm Drainage Plan

**Utility Plan** C-6.0 Utility Plan C-6.1 Site Specifications & Details C-8.0

Site Specifications & Details C-8.1 Site Specifications & Details C-8.2

Landscape Plan LS-1.0 LS-2.0 Landscape Details

#### SITE DATA

PROJECT NAME: CITY GATEWAY SUBDIVISION II SITE ADDRESSES: 120, 121, 130, & 131 KINDLEY ST. RALEIGH, NC 27601

COUNTY: WAKE PIN'S: 1703557221, 1703559286, 1703651298, 1703558561, GROSS SITE ACREAGE: 10.14 AC

**ROW DEDICATION: 1.02 AC CURRENT ZONING: DX-20** PROPOSED ZONING: DX-20 OVERLAY DISTRICT: N/A

NO. OF PROPOSED LOTS: 7

# NC BROWNFIELDS PROGRAM EMP

THERE IS A BROWNFIELDS EMP FOR THIS PROJECT SITE BROWNFIELDS ASSIGNED PROJECT NAME: DUKE ENERGY DATA CENTER **BROWNFIELDS PROJECT NUMBER:** 25025-21-092

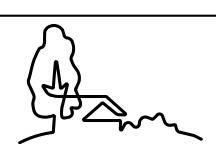
## BOARD OF ADJUSTMENT VARIANCE FOR TCA

VARIANCE PER BOA-0048-2021 NO TREE CONSERVATION AREA IS REQUIRED.

VARIANCE PER BOA-0058-2022 NO TREE CONSERVATION AREA IS REQUIRED.

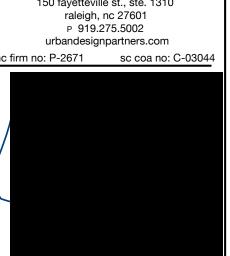
#### BLOCK PERIMETER

PER RALEIGH UDO SEC. 8.3.2.A.1.b.vi.b) THE SUBJECT SITE IS EXEMPT FROM COMPLIANCE WITH THE MAXIMUM BLOCK PERIMETER STANDARDS.



URBAN DESIGN PARTNERS

150 fayetteville st., ste. 1310 P 919.275.5002 urbandesignpartners.com



12/14/2022

0 N N

S e

Project No: 22-RDU-065 Date: 12.14.2022 Designed By: UDP Checked By: SSM Sheet No:

